

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 19/10/21 - 2 Princeton Avenue Adamstown Heights -
DA2021/00729 - Residential Flat Building - Three Storey Residential
Flat Building Comprising Seven Units and Basement Parking,
Associated Earthworks, Landscaping and Infrastructure**

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**DAC 19/10/21 - 2 Princeton Avenue Adamstown Heights -
DA2021/00729 - Residential Flat Building - Three Storey Residential
Flat Building Comprising Seven Units and Basement Parking,
Associated Earthworks, Landscaping and Infrastructure**

ITEM-19 Attachment A: Submitted Plans

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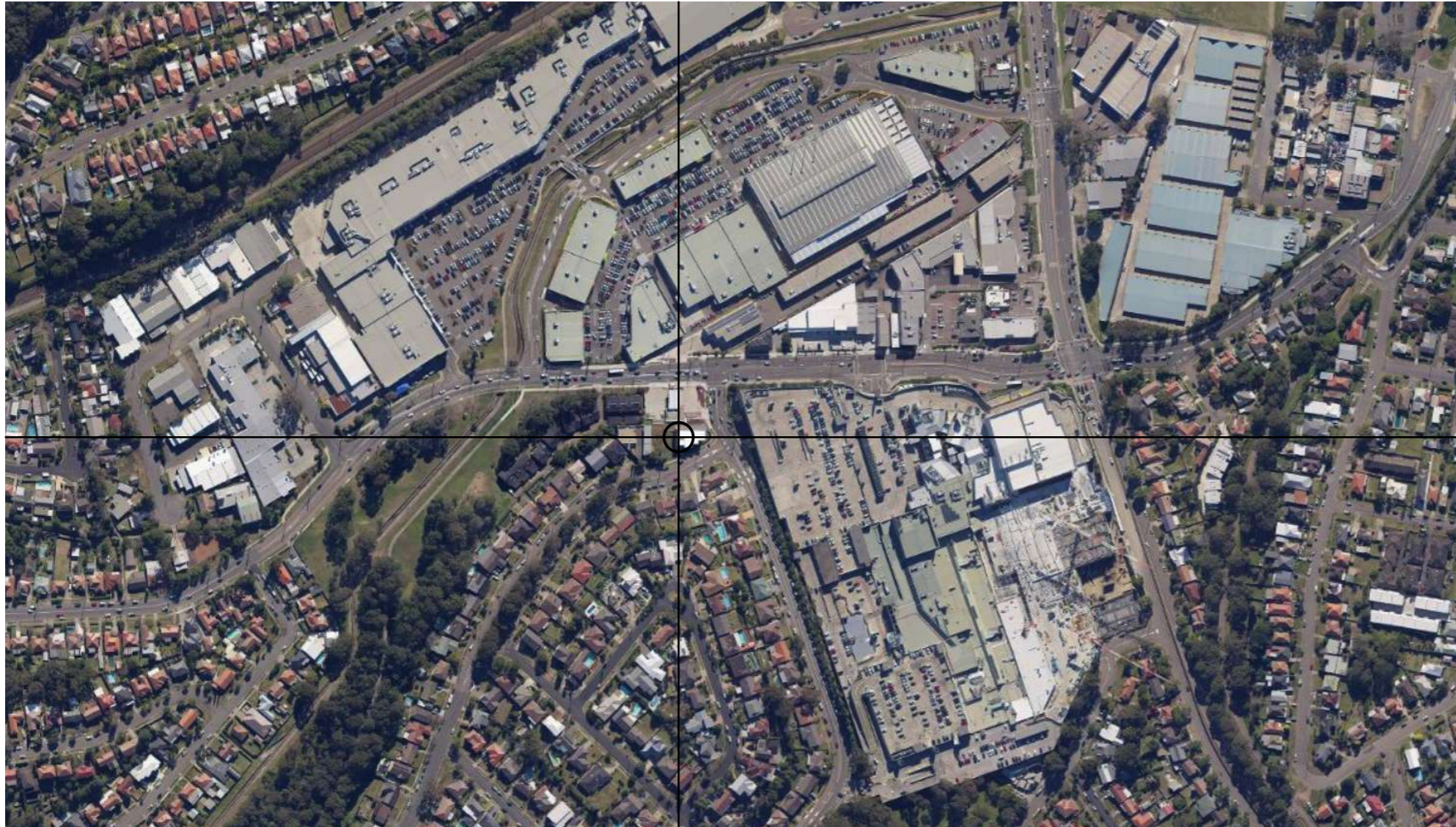


Image Source: SixMaps

Manitta Princeton Development

2 Princeton Avenue
Adamstown Heights
NSW 2289

DEVELOPMENT APPLICATION

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- A-0003 Planning Controls
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Site Information

Property Details
Address: 2 Princeton Avenue, Adamstown Heights

Lot / Plan: 931 DP569169

Council: City of Newcastle

Site Area: 1201.30m²
Maximum GFA @ 0.9:1 (FSR)
Minimum Landscape @ 25% (12% DSZ)
Height Limit: 10m

Project Brief

Project brief for Manitta Princeton Development at 2 Princeton Avenue, Adamstown Heights

Development Goal

- Construction of a new residential flat building (7 units) & Associated carpark

Development Statistics

Proposal

- 4 x 2 bed apartment
- 3 x 3 bed apartment

Statistics

- Site area: 1201.30m²

- GFA:

Existing Commercial Building

- Carpark -
- Level 1 229m²
- Level 2 213m²

Proposed Residential Building

- Ground 254m²
- Level 1 240m²
- Level 2 227m²

Total: 1163m²

- FSR: 0.96:1 (0.9:1 permitted)

• Landscape:

- Landscaped area: 278.18m² (23.16%)
- Deep Soil Zone: 220.86m² (18.39%)

• Carparking:

- 9 car spaces: 7 residents + 2 visitors
- 8 bicycles: 7 residents + 1 visitor
- 1 motorbike: 1 resident

• P.O.S (2 bed: 10m², 3 bed: 12m² minimum):

- Unit 01: 13.5m²
- Unit 02: 12.6m²
- Unit 03: 13.3m²
- Unit 04: 10.5m²
- Unit 05: 10.5m²
- Unit 06: 18.6m²
- Unit 07: 18.6m²

BASIX Requirements

Basix Requirements Summary - Multi Units					
Sanlar Holdings 2 Princeton Avenue ADAMSTOWN HEIGHTS NSW 2289		Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914			
Water Target	40	Water Score	42		
Energy Target	30	Energy Score	33		
Max Average Heating Load is (MJ/m ²)	54	Actual Average Heating Load	36.9		
Max Average Cooling Load is (MJ/m ²)	32	Actual Average Cooling Load	7		
Basix Commitments					
Fixtures	Shower heads	4 star (> 6 but <= 7.5 L/min)	Toilets	4 star	All taps 4 star
Alternative Water	Minimum Rainwater tank size (L)	5000	Collect run off from roof area of at least (m ²)	300	
	Toilet connection	Yes	Laundry connection	Yes	Pool top up n/a Spa top up n/a
Energy	Hot water system	Gas instantaneous	Rating	6 star	
	Bathroom ventilation	Individual fan, not ducted	with	Manual switch on/off	
	Kitchen ventilation	Individual fan, not ducted	with	Manual switch on/off	
	Laundry ventilation	Individual fan, not ducted	with	Manual switch on/off	
	Cooling - living areas	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Cooling - bedrooms	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Heating - living areas	1-phase airconditioning	Rating	EER 2.5 - 3.0	
	Heating - bedrooms	1-phase airconditioning	Rating	EER 2.5 - 3.0	
Alternate Energy	Photovoltaic system able to generate at least		0	peak kilowatts of electricity	
Gas cooktop & electric oven	No outdoor clothesline required			Indoor clothesline required	
Thermal Performance Assessment Based on the Following Requirements					
Floor Types	Concrete slab on ground	with	Nil		
	Suspended concrete slab	with	R1.2 Foilboard insulation (Units 01, 02, 03)		
Floor Coverings	Tiles	Living & Wet Areas	Timber	Nil	
	Carpet	Bedrooms	Concrete	Basement	
External Walls	Cavity brick	with	Nil	Colour	Medium
	Brick veneer	with	Sarking and R2.5 bulk insulation	Colour	Medium
Internal Walls	Plasterboard	with	Nil		
Ceiling (floor over)	Concrete above plasterboard	with	Nil		
Ceilings (roof over)	Timber above plasterboard.	with	R3.5 bulk insulation		
Roof	Metal	3 degrees	with	R1.3 roof blanket	Colour Light
Windows and Doors	Architectural Window Systems 6.38 Comfort Plus Single Clear to all windows and glazed doors unless noted otherwise	AWS-066-03 A AWS Uval 3.91 SHGC 0.62	Glass 638ComPlsClr		
		Frame AWS-066 RES SERIES 516 FIXED WINDOW SG	VAN-004-08 A AWS Uval 4.51 SHGC 0.54		
		Glass 6ET	Frame VAN-004 SERIES 525 LOUVRE WINDOW SG		
		AWS-011-06 A AWS Uval 4.38 SHGC 0.45	Glass 6.38CP		
				Frame AWS-011 541-542 Al Sliding Door SG	
				AWS-001-19 A AWS Uval 4.52 SHGC 0.59	
				Glass 638CP	
				Frame AWS-001 502-504 Al Sliding Window SG	

Notes

1. RWT usage as follows: Units 01, 02, 03 Landscape tap, Toilet, Laundry

This document to be read in conjunction with the Basix Certificate and Naters Universal Certificate

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North Point



Manitta Princeton Development

project #
20071

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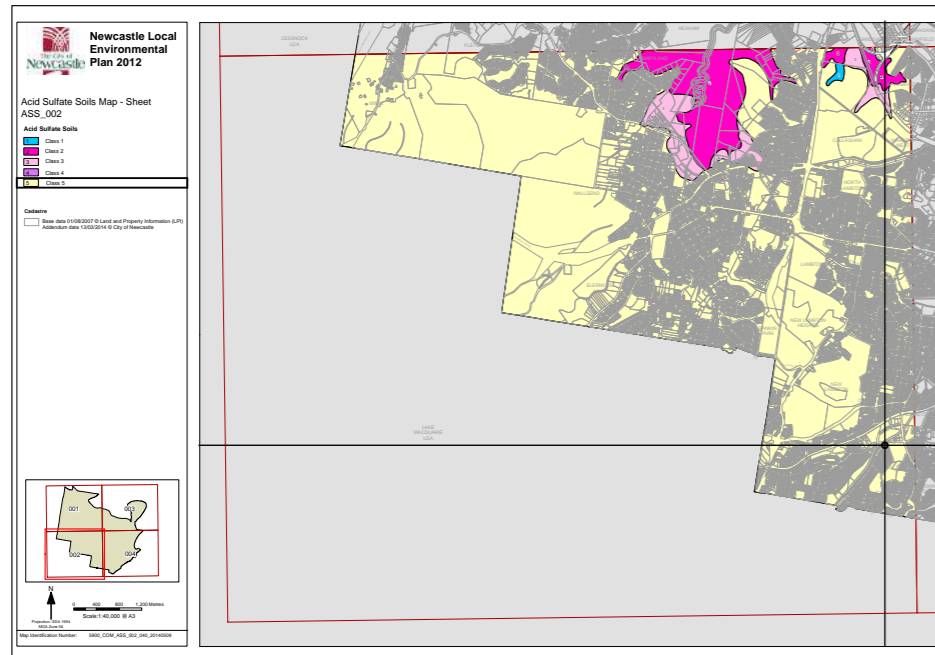
Legends / BASIX

drawing #
A-0002 issue
03

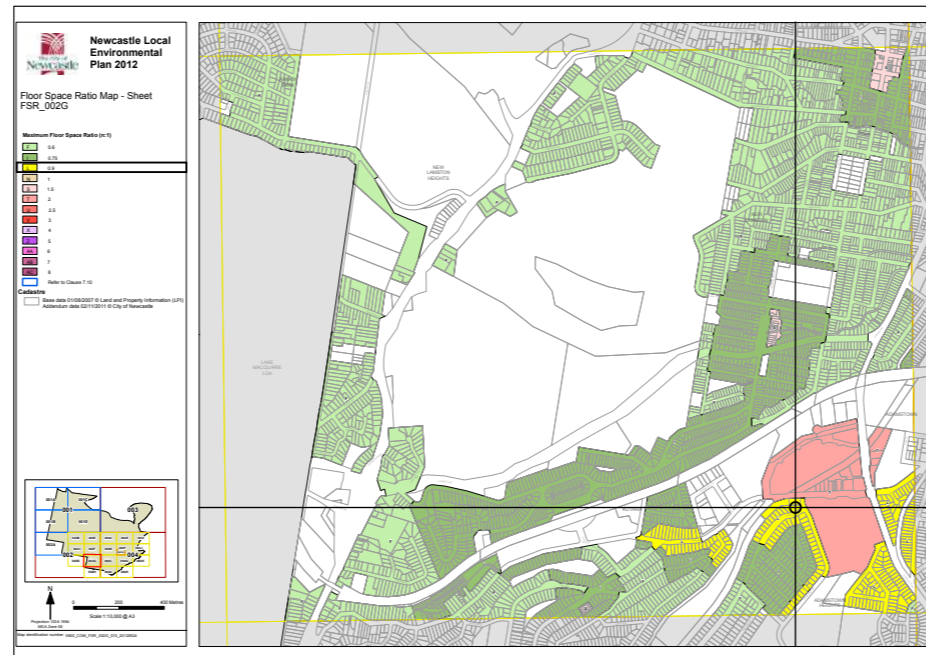
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Planning Constraints
Newcastle LEP 2012

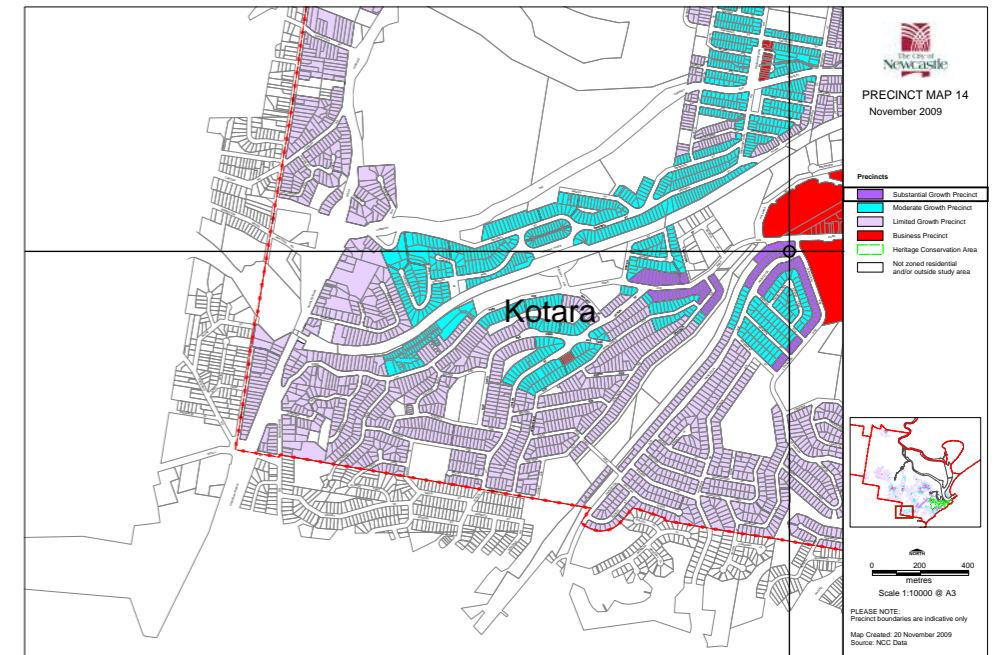


Acid Sulfate Soils - Class 5



Floor Space Ratio - 0.9:1

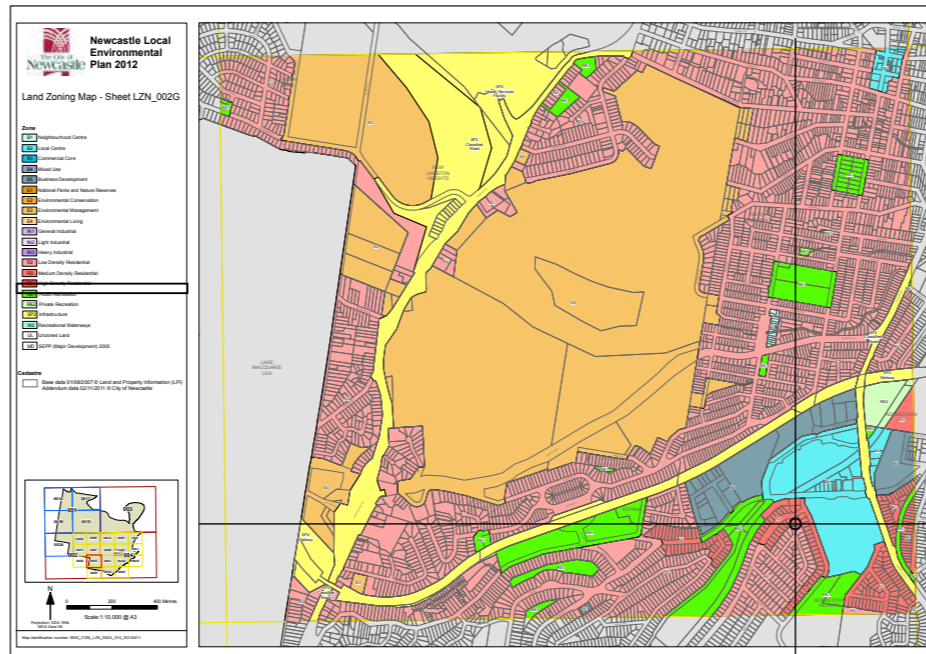
City of Newcastle
Newcastle DCP 2012



Precinct Map 14 - Substantial Growth Precinct



Height of Buildings - 10m



Land Zoning - R3 Medium Density Residential

Figure 1: Front setbacks consistent with neighbouring buildings 40m either side



Side & Rear Setbacks

Wall height	Side and rear setbacks
Up to 4.5	1.5m
4.5 - 8.5m	3m
Over 8.5m	6m

Landscape Requirements

Zone	Minimum landscaped area (% of site area)	Minimum deep soil zone (% of site area)
R2 zone	30%	15%
R2 zone - Moderate Growth Precinct	25%	12%
R3 zone	25%	12%
R4 and B4 zones	20%	10%

Parking Rates

RESIDENTIAL ACCOMMODATION

Attached dwellings, Dual occupancies, Multi dwelling housing, Residential Flat Buildings, Semi-detached dwellings, Shop Top Housing	City wide (excluding Newcastle City Centre and Renewal Corridors): Minimum of 1 space per dwelling. Minimum 1 space for the first 5 dwellings (excluding dual occupancies) plus 1 space for every 5 thereafter or part thereof for visitors.	Bike parking of 1 space per dwelling is required unless separate storage is provided (Council determine the required class of security) 1 space per 10 dwellings (Class 3) for visitors	1 space per 20 car spaces
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Note: Preliminary Planning Constraints subject to planner and Council review and further investigation

R3 Medium Density Residential - Zone Objectives

- To provide for the housing needs of the community within a medium density residential environment.
- To provide a variety of housing types within a medium density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To allow some diversity of activities and densities if—
 - the scale and height of proposed buildings is compatible with the character of the locality, and
 - there will be no significant adverse impact on the amenity of any existing nearby development.
- To encourage increased population levels in locations that will support the commercial viability of centres provided that the associated new development—
 - has regard to the desired future character of residential streets, and
 - does not significantly detract from the amenity of any existing nearby development.

Mine Subsidence District - Newcastle Guideline 8

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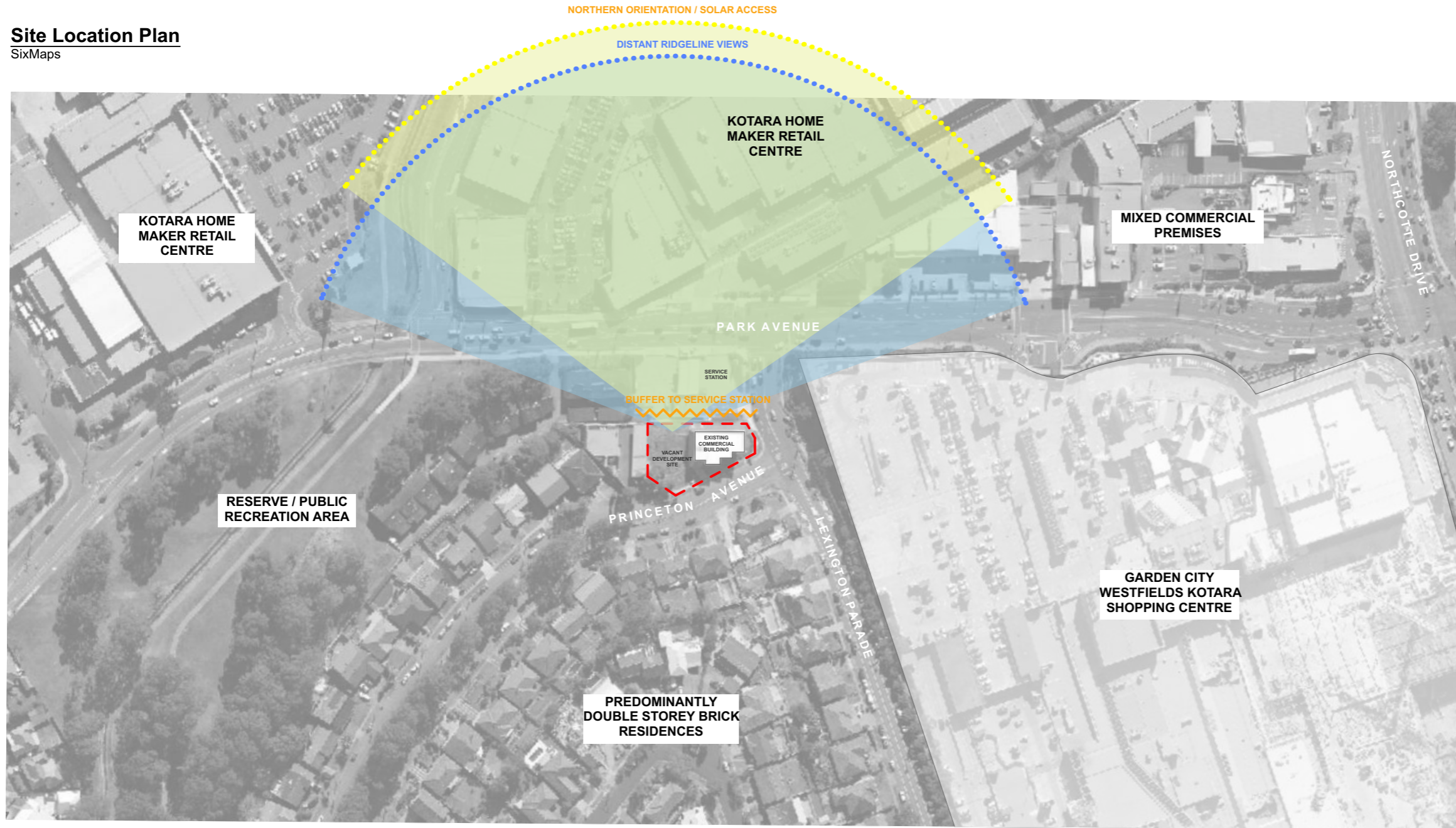
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Planning Controls
drawing #
A-0003
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Site Location Plan

SixMaps



Site Character

The proposed site is located in Adamstown Heights on the fringe of Kotara's primary food, retail and entertainment precinct. Within walking distance of shopping centres and public transport, the site is conveniently located and currently accommodates a two storey brick commercial building with undercroft parking.

To the west of the existing commercial building is an undeveloped area of the site which slopes from Lexington Avenue down to a retaining wall on the northern boundary separating the site and an existing Service Station.

The site overlooks an adjacent Service Centre and Kotara Home Maker Centre yet offers a northerly aspect and distant ridgeline views.



Existing Photos

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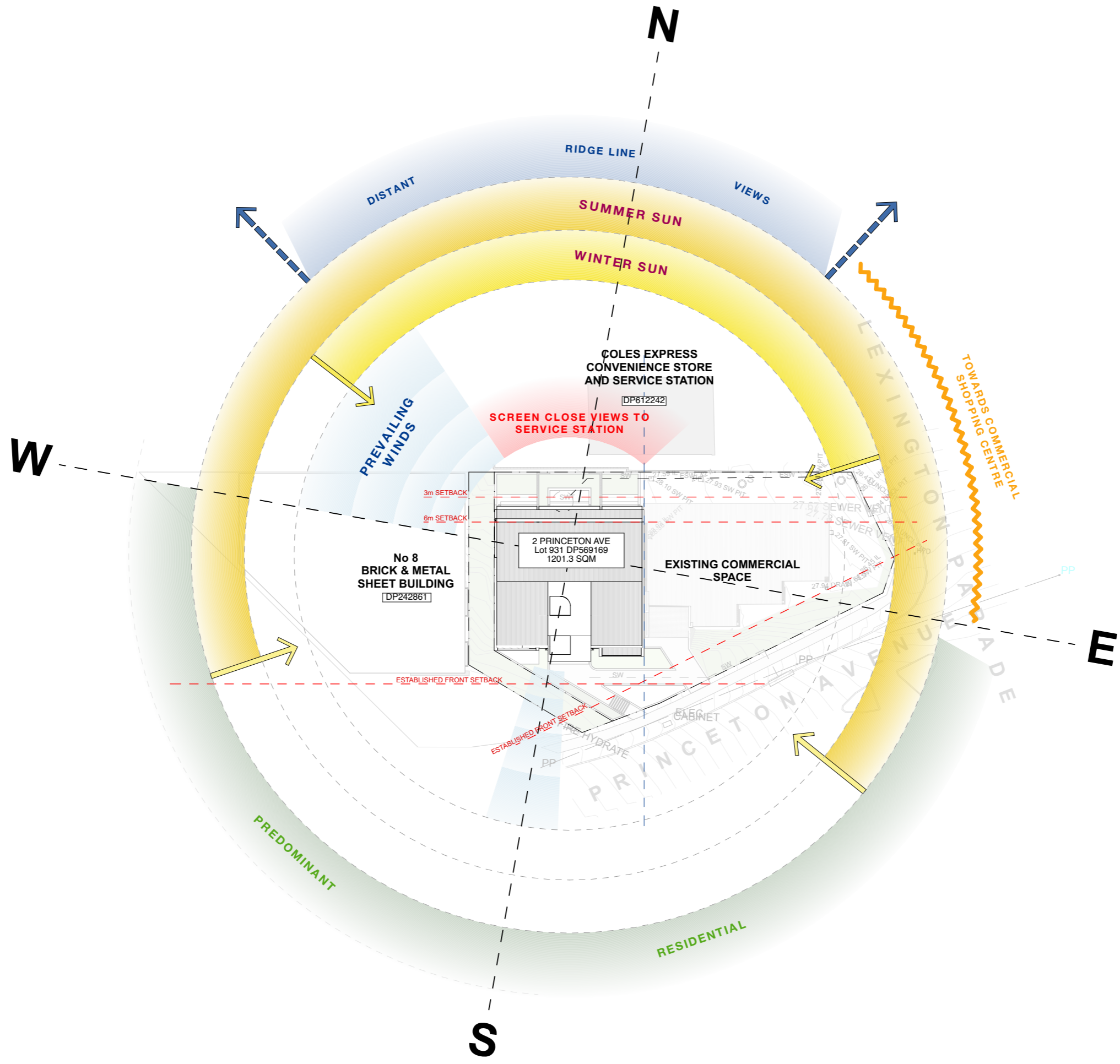
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Site Location Plan
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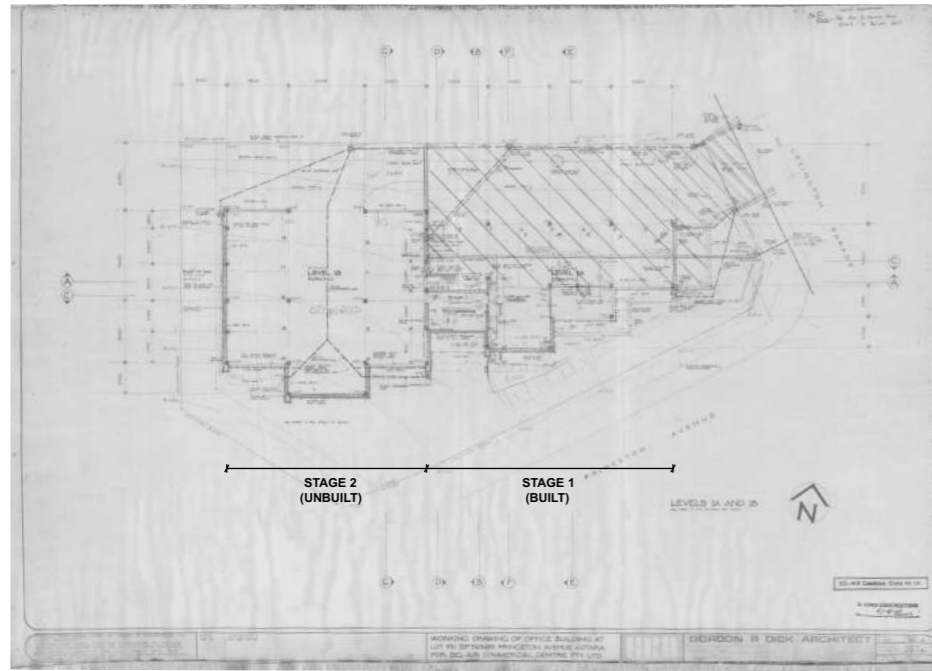


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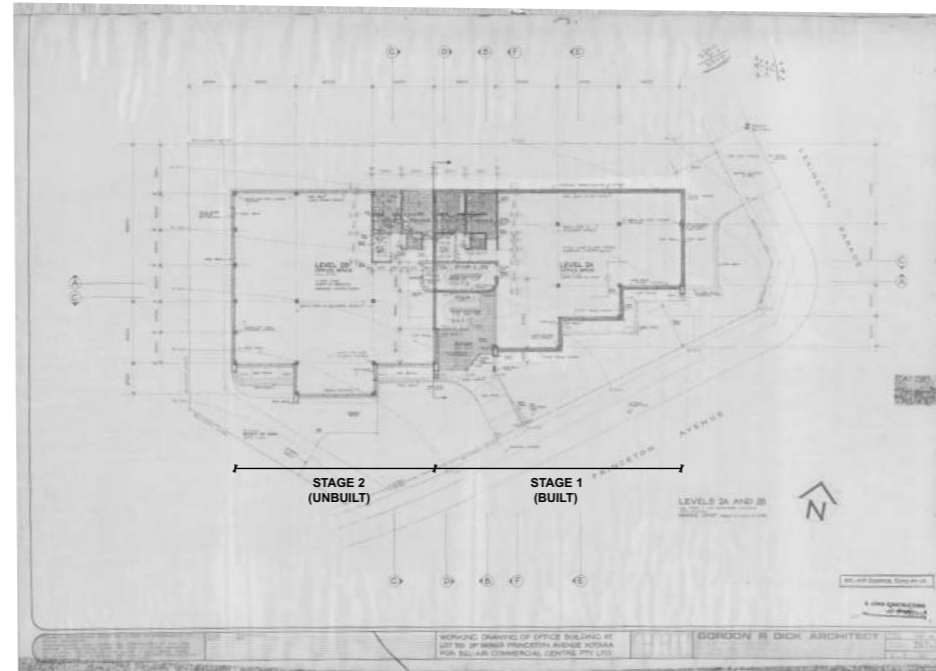
Site Analysis Plan
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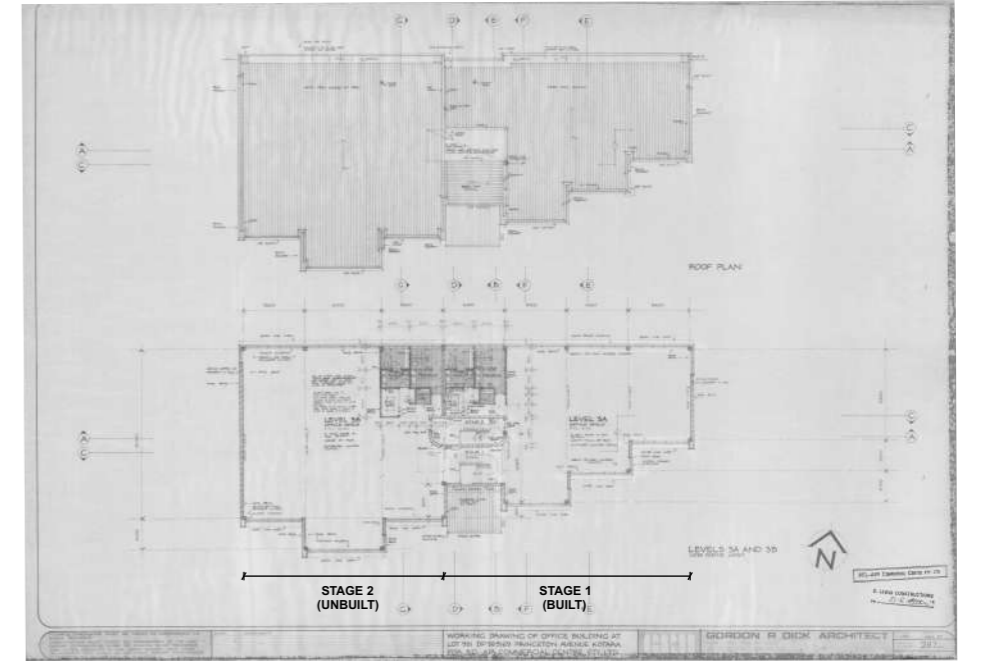
Historic DA Approval



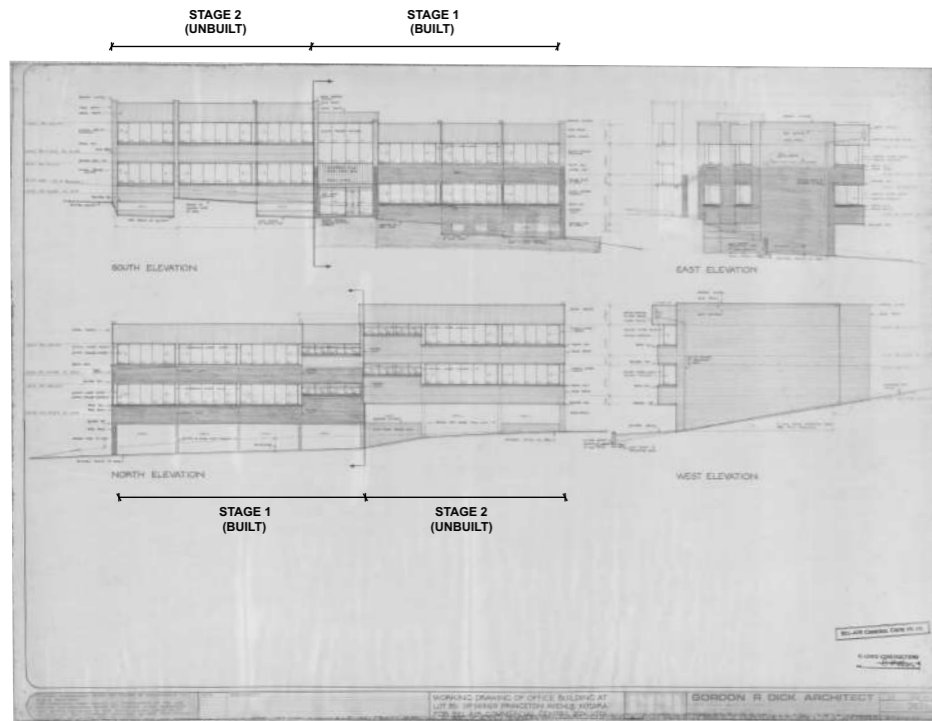
Levels 1A & 1B Plan



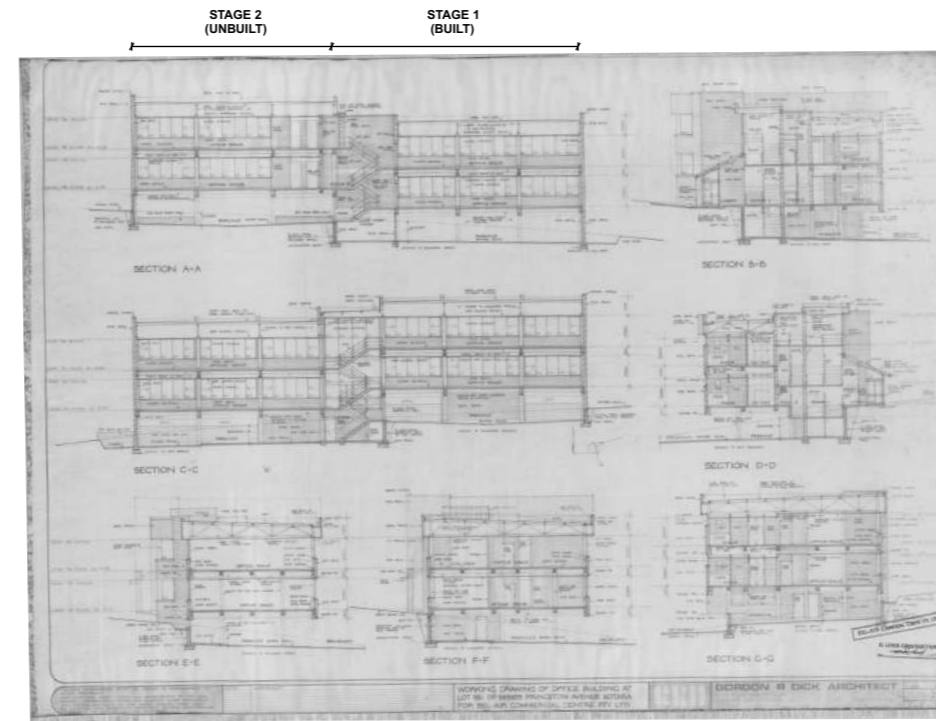
Levels 2A & 2B Plan



Levels 3A & 3B, Roof Plan



Elevations



Sections

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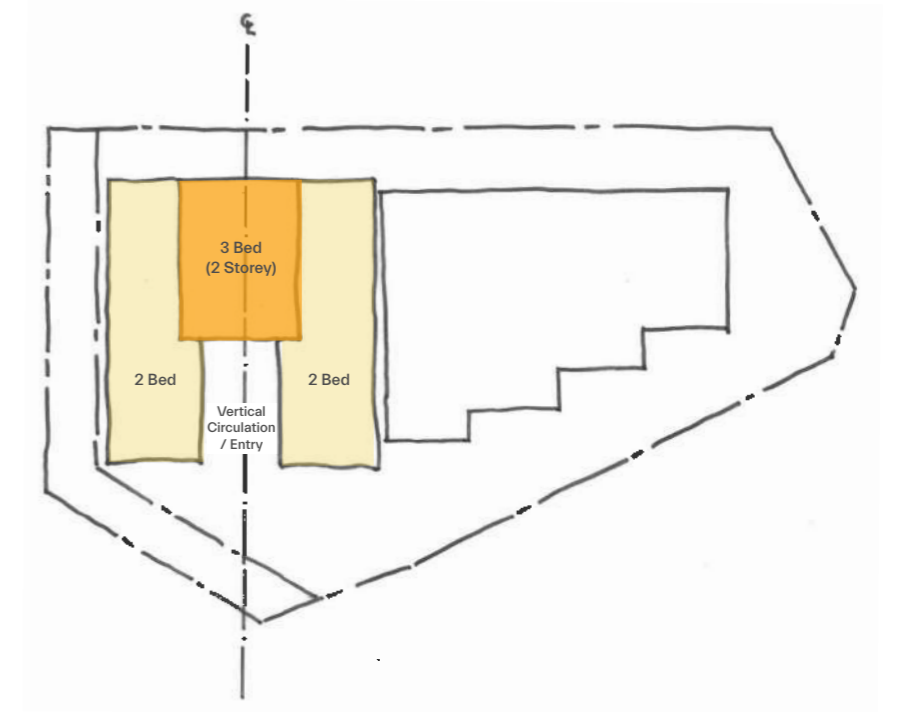
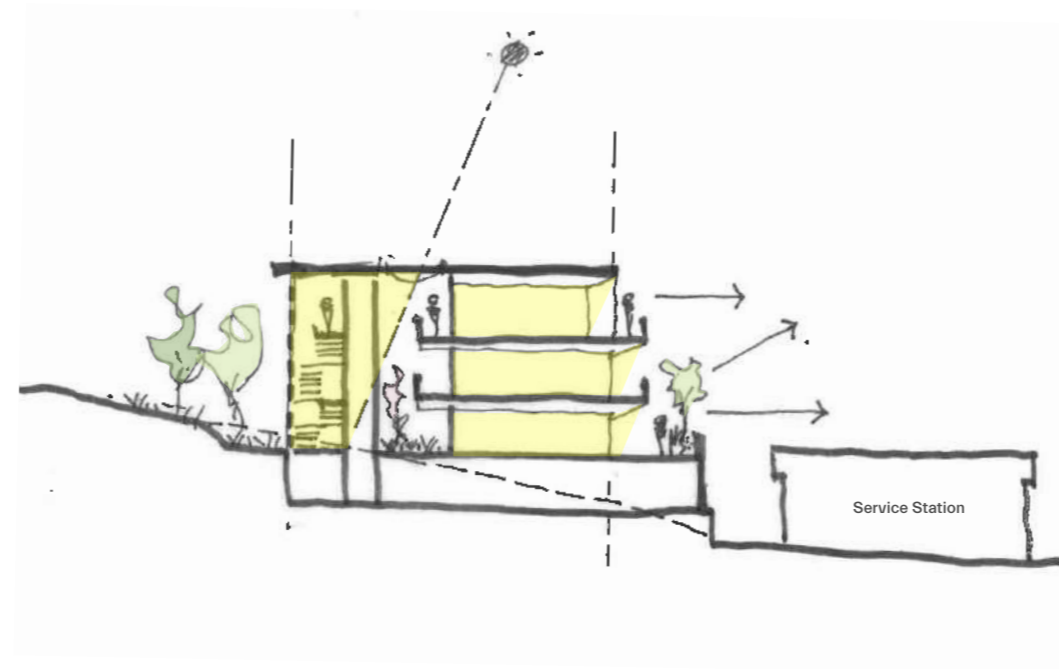
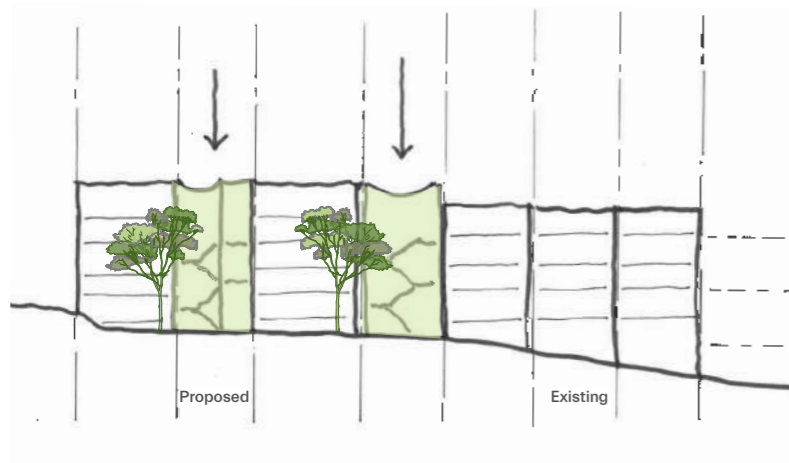
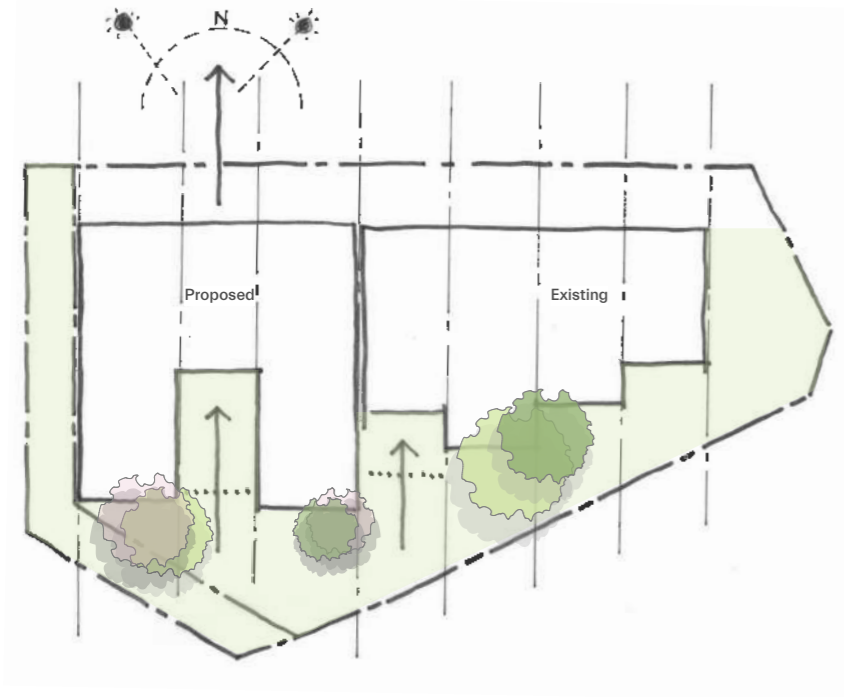


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Historic DA Drawings
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Key Design Principles



01. Creating Amenity Within

02. Focusing Views

03. Rational and Efficient Planning

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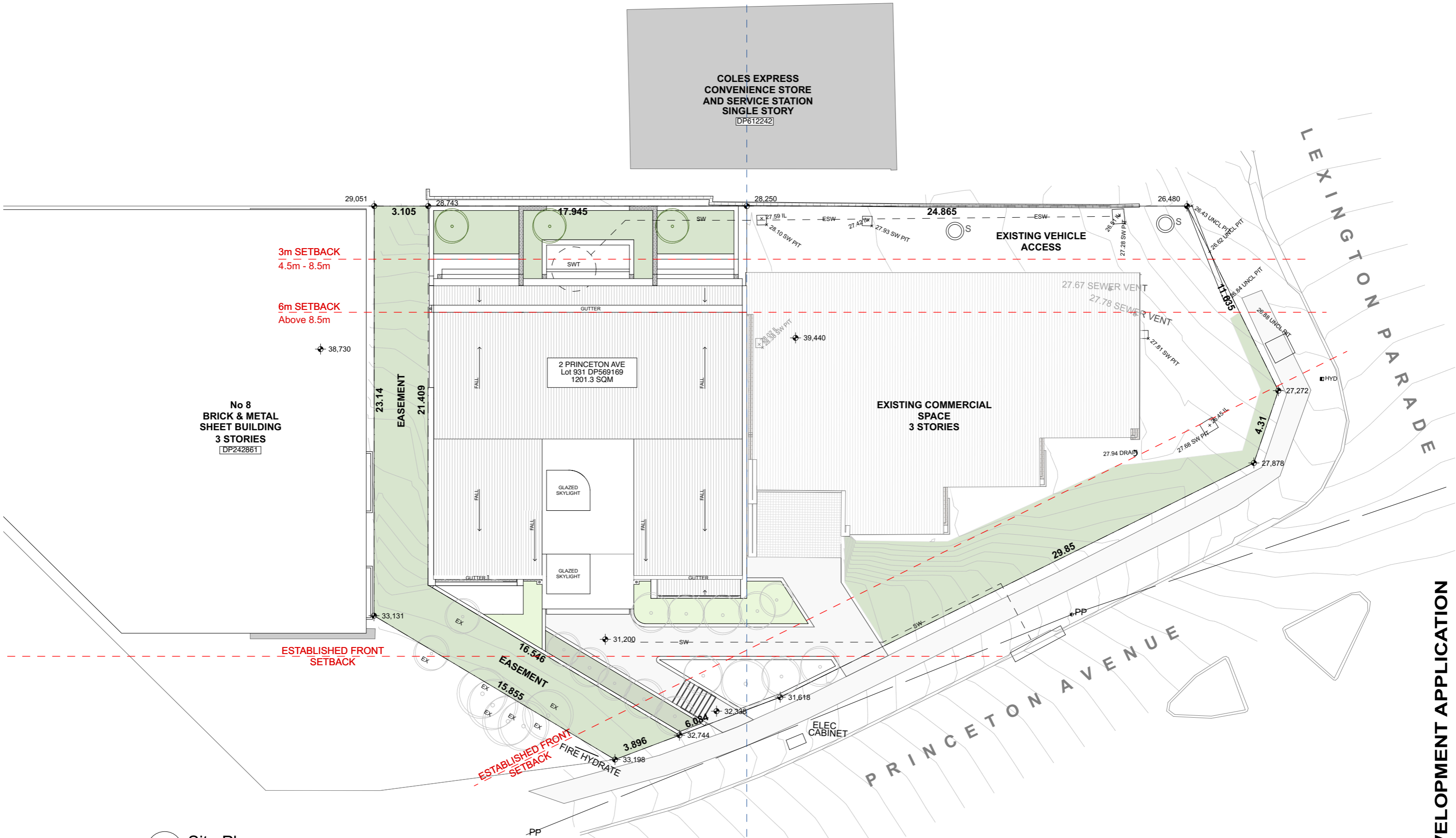
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Concept Diagrams
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A-1004
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Site Plan
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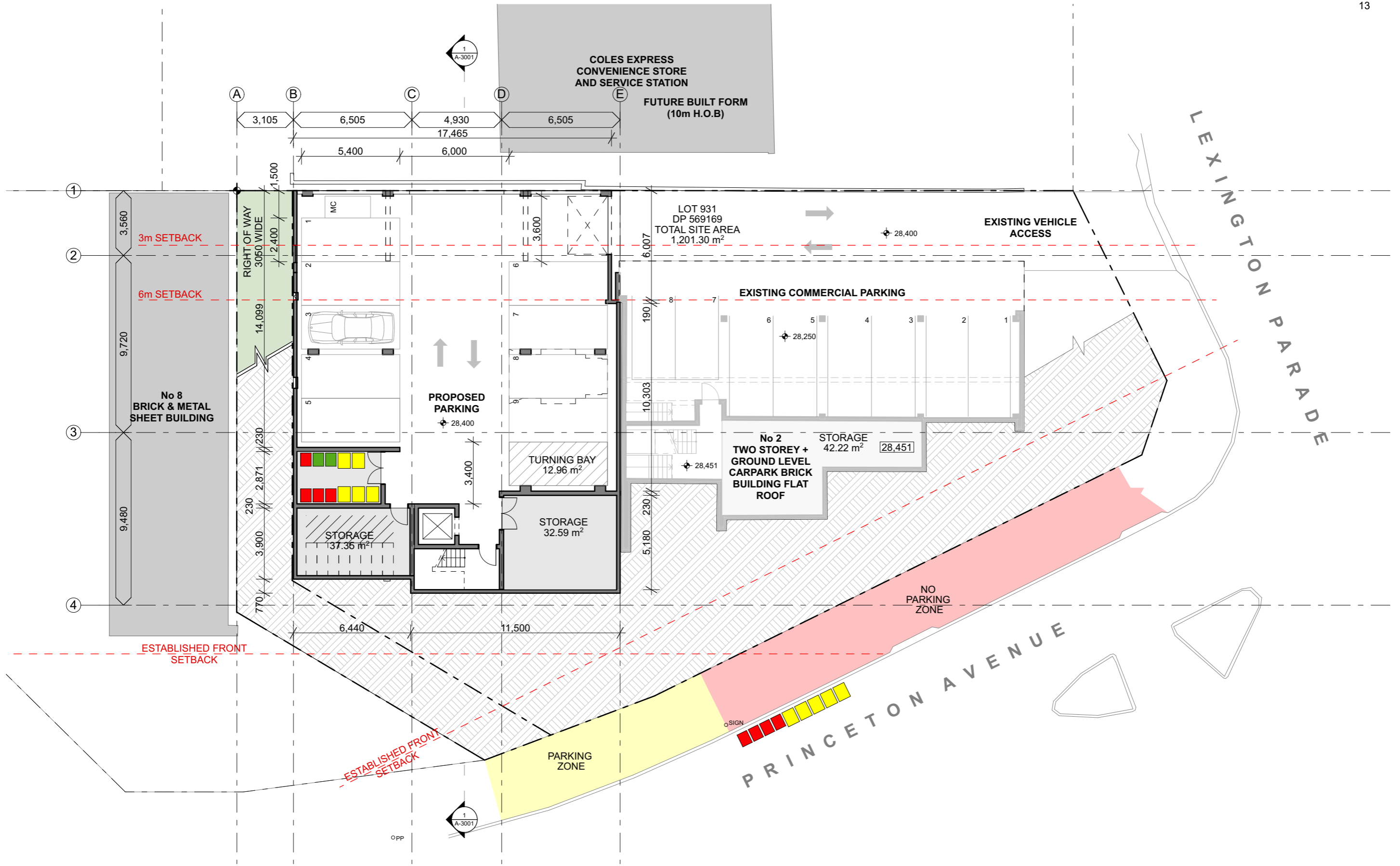
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Site Plan	drawing #	issue
A-1005	AS SHOWN	03
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1 Lower Level Parking Plan
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Lower Ground Floor Plan
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1 Ground Floor Plan
SCALE 1:200 @ A3

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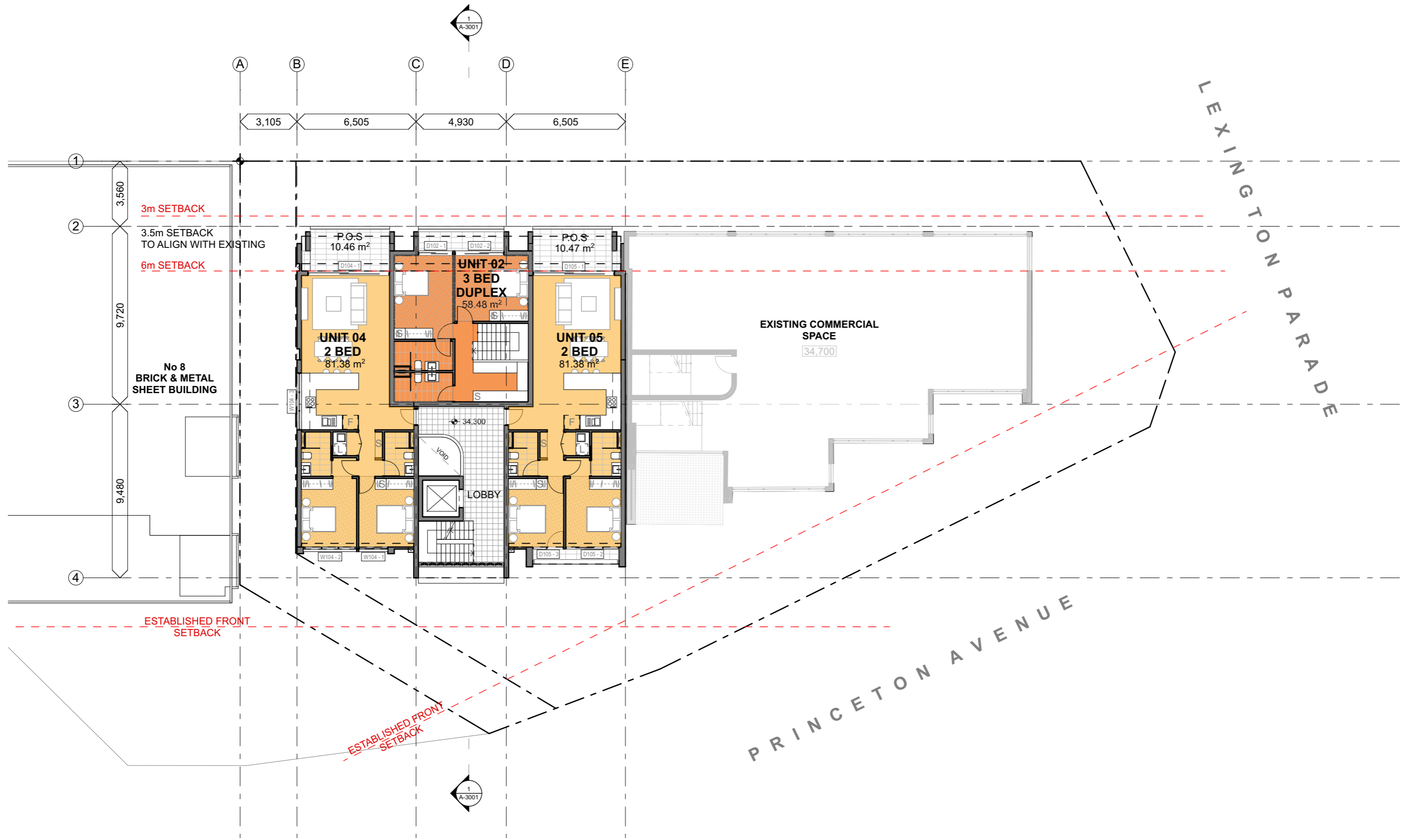


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Ground Floor Plan
drawing # A-1102
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1 Level 01 Plan
SCALE 1:200 @ A3

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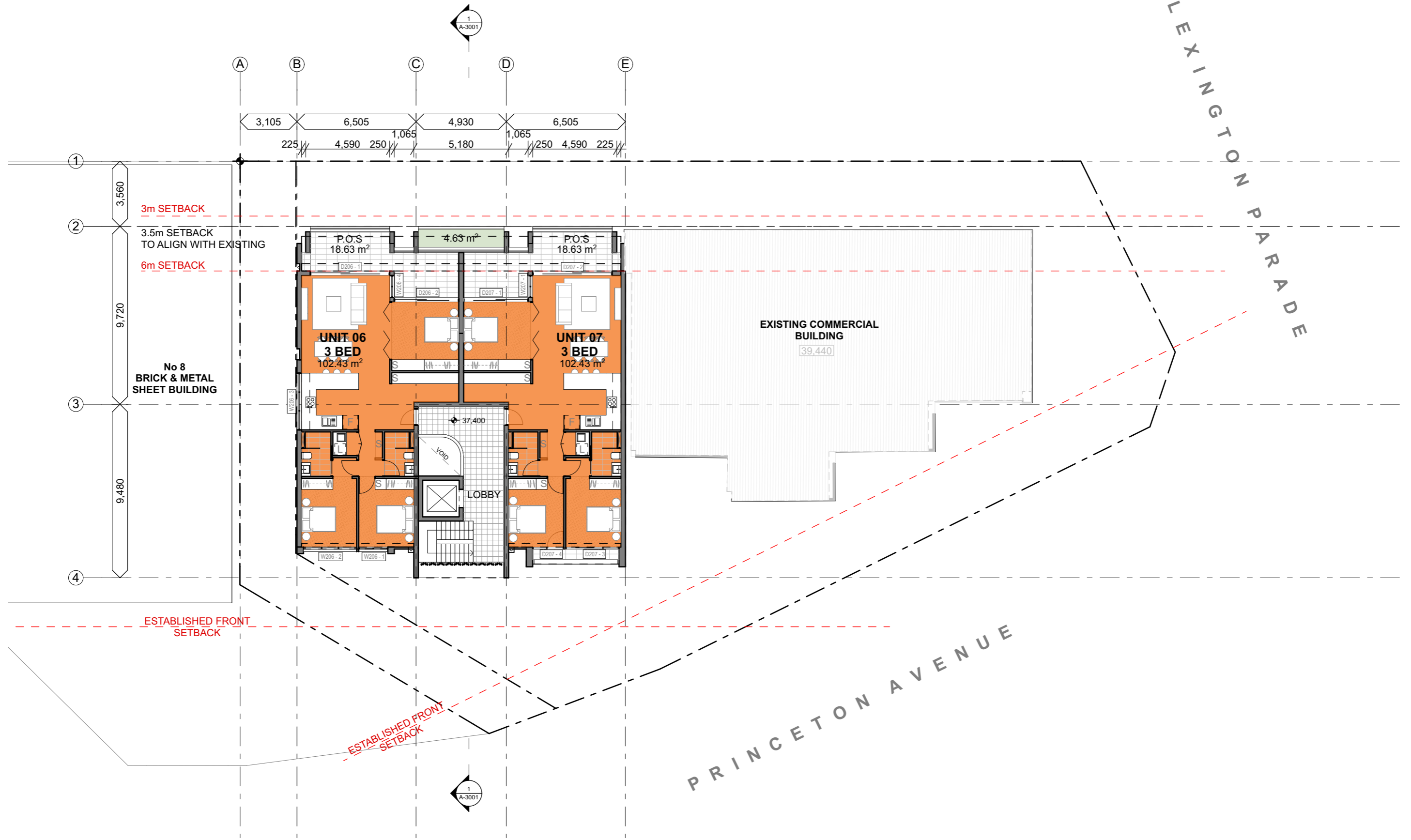


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Level 01 Plan
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1 Level 02 Plan
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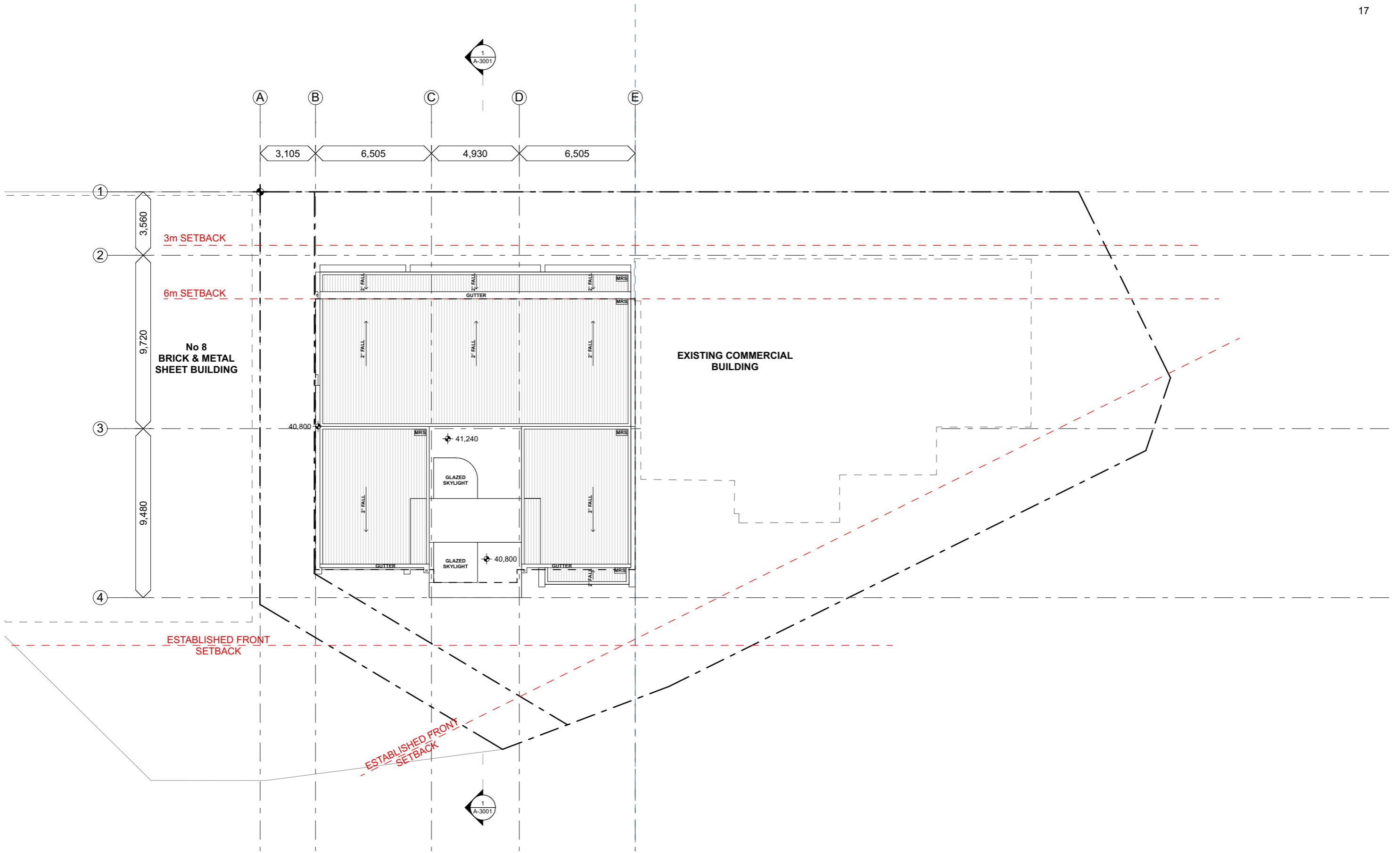
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Level 02 Plan
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1 Roof Plan
SCALE 1:200 @ A3

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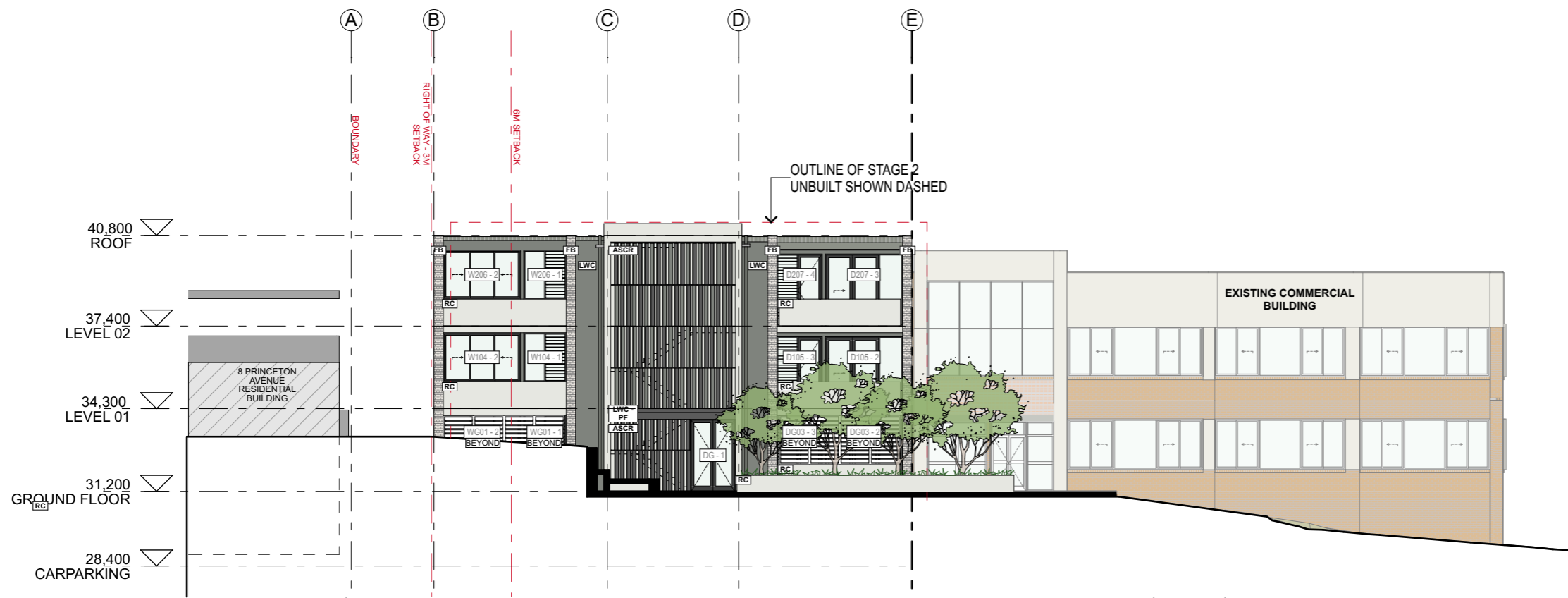
Roof Plan
drawing # A-1105
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1 North Elevation
SCALE 1:200 @ A3

02 West Elevation
SCALE 1:200 @ A3



03 South Elevation
SCALE 1:200 @ A3

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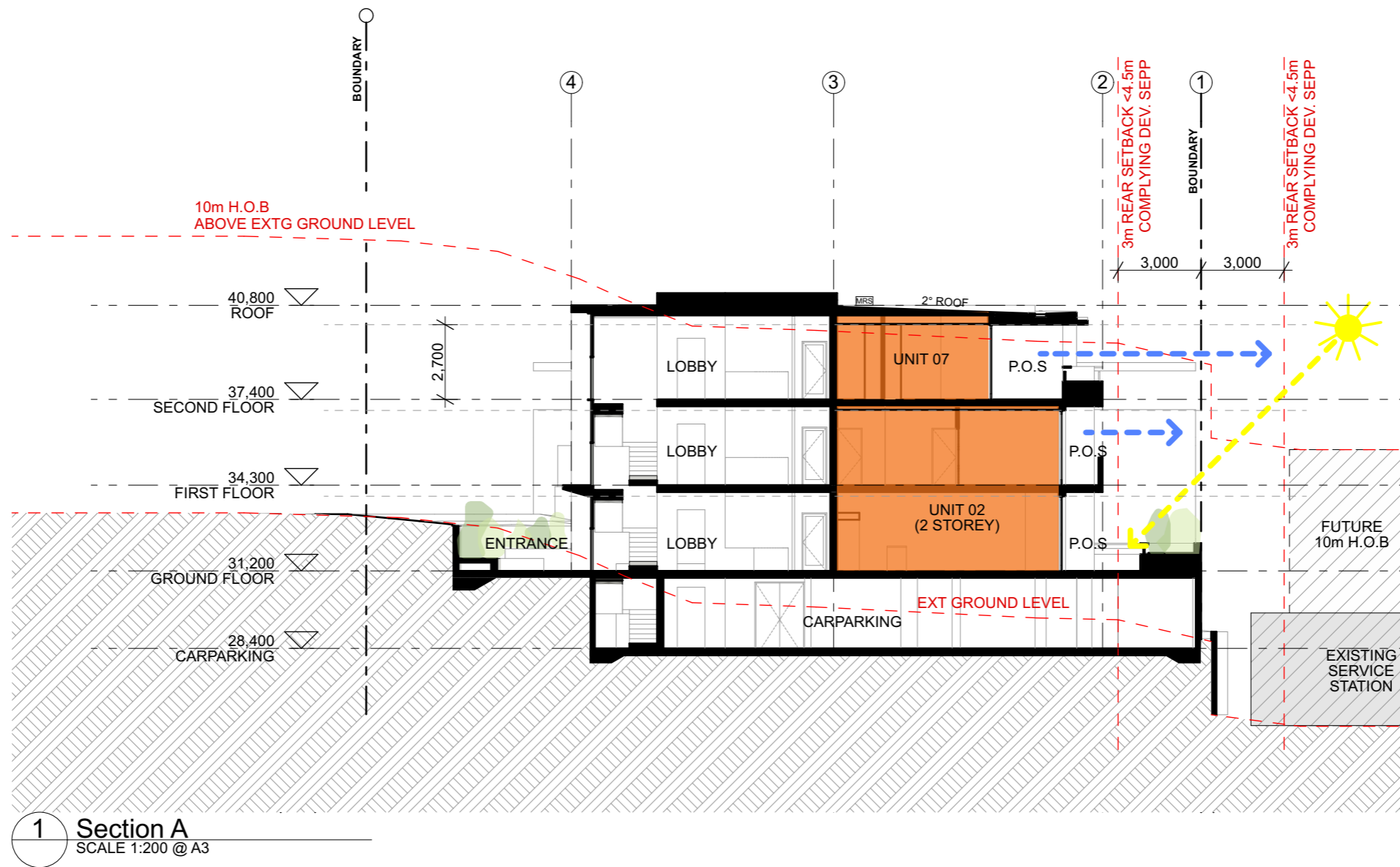
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Elevations	Issue
drawing # A-2001	03
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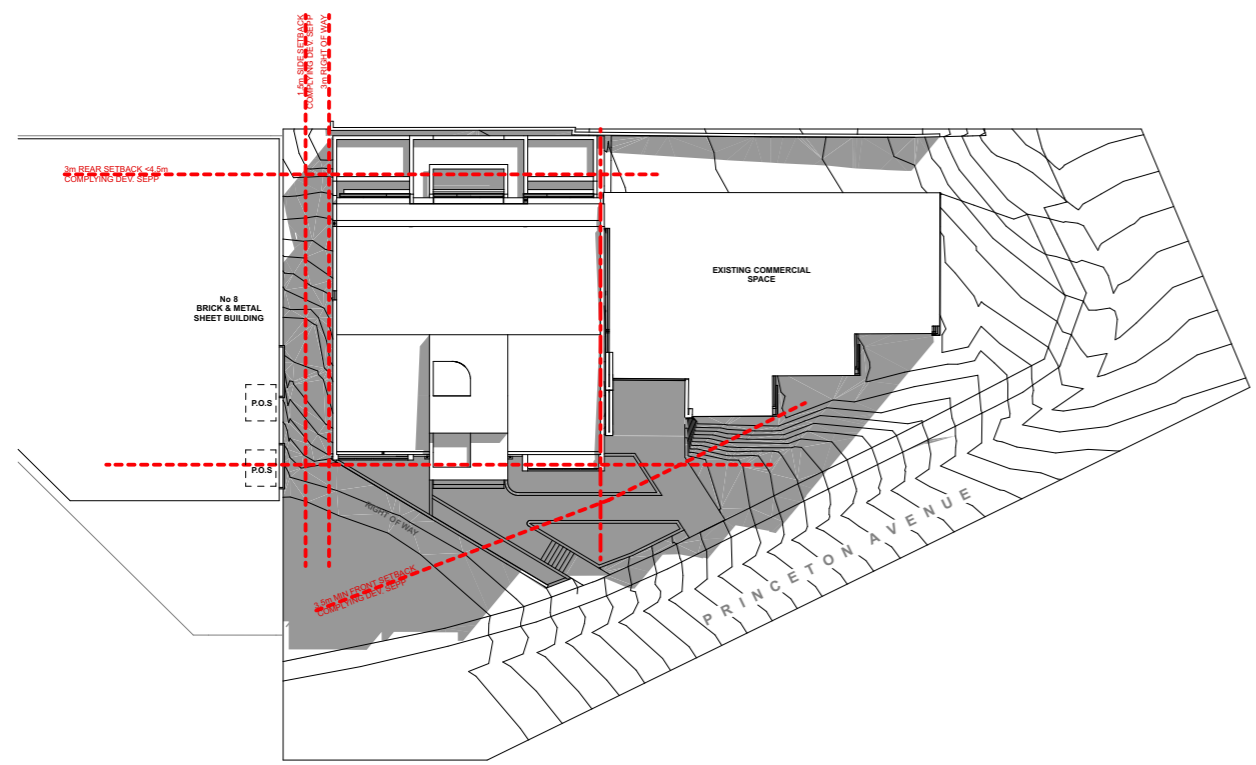
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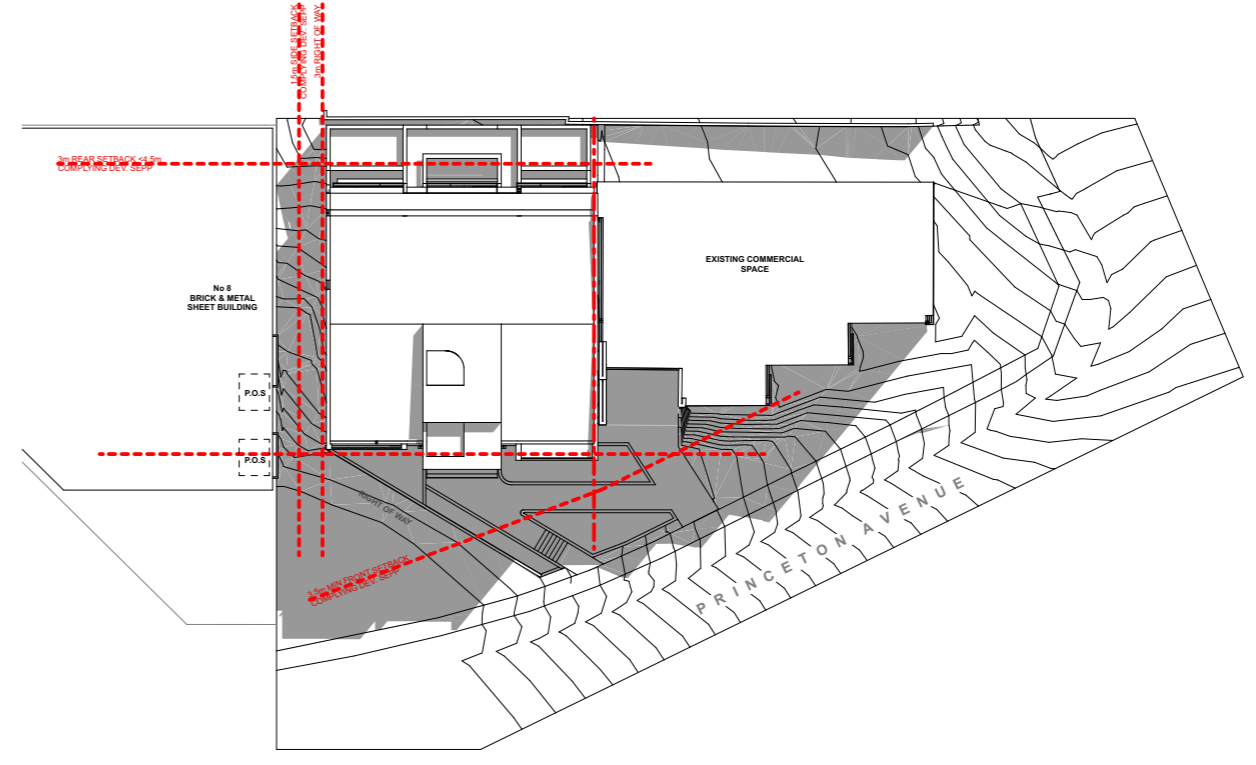
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Section drawing #	Issue
A-3001	03
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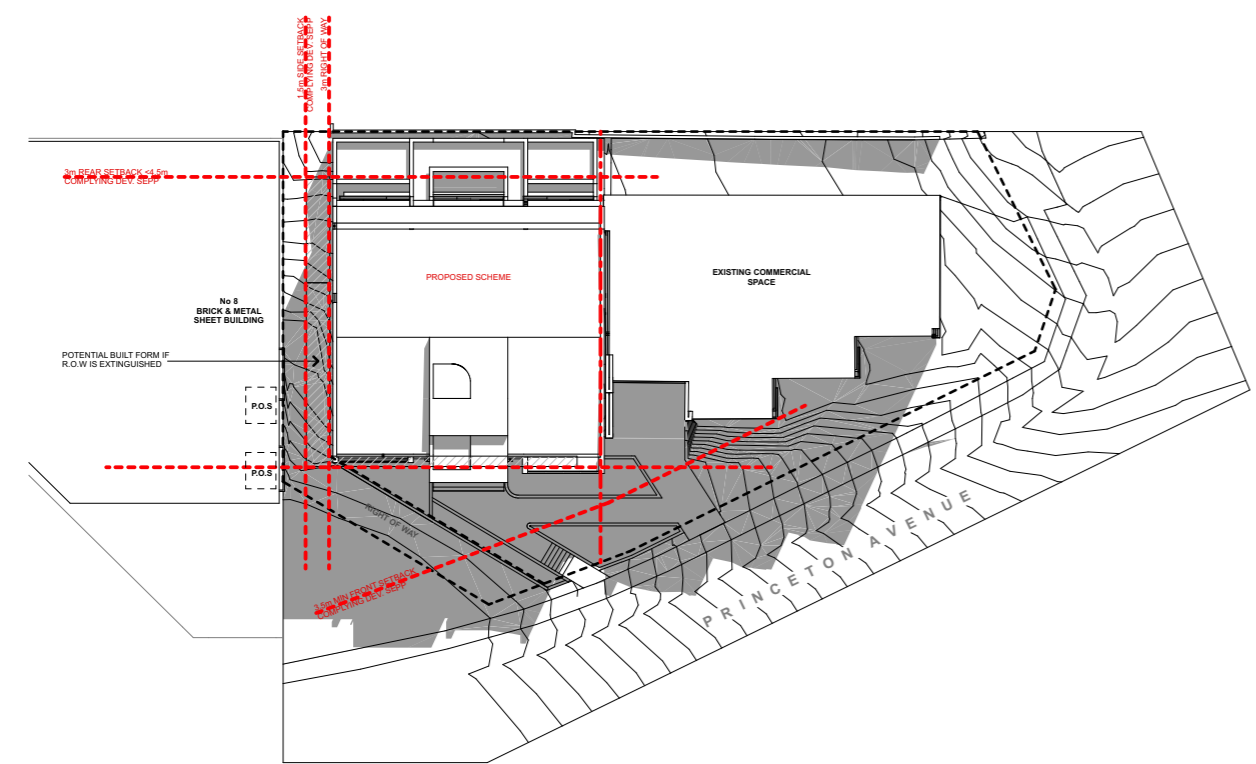
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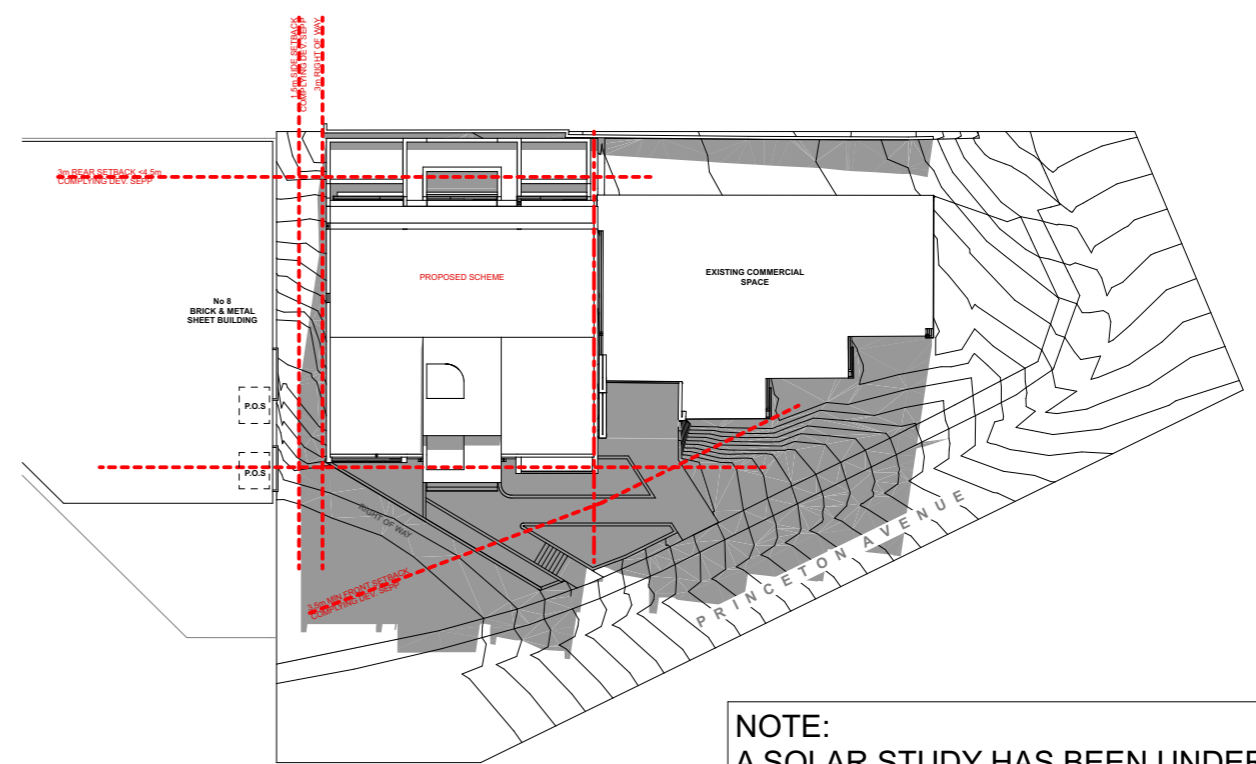
21st June 9am
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21st June 10am
SCALE 1:500 @ A3



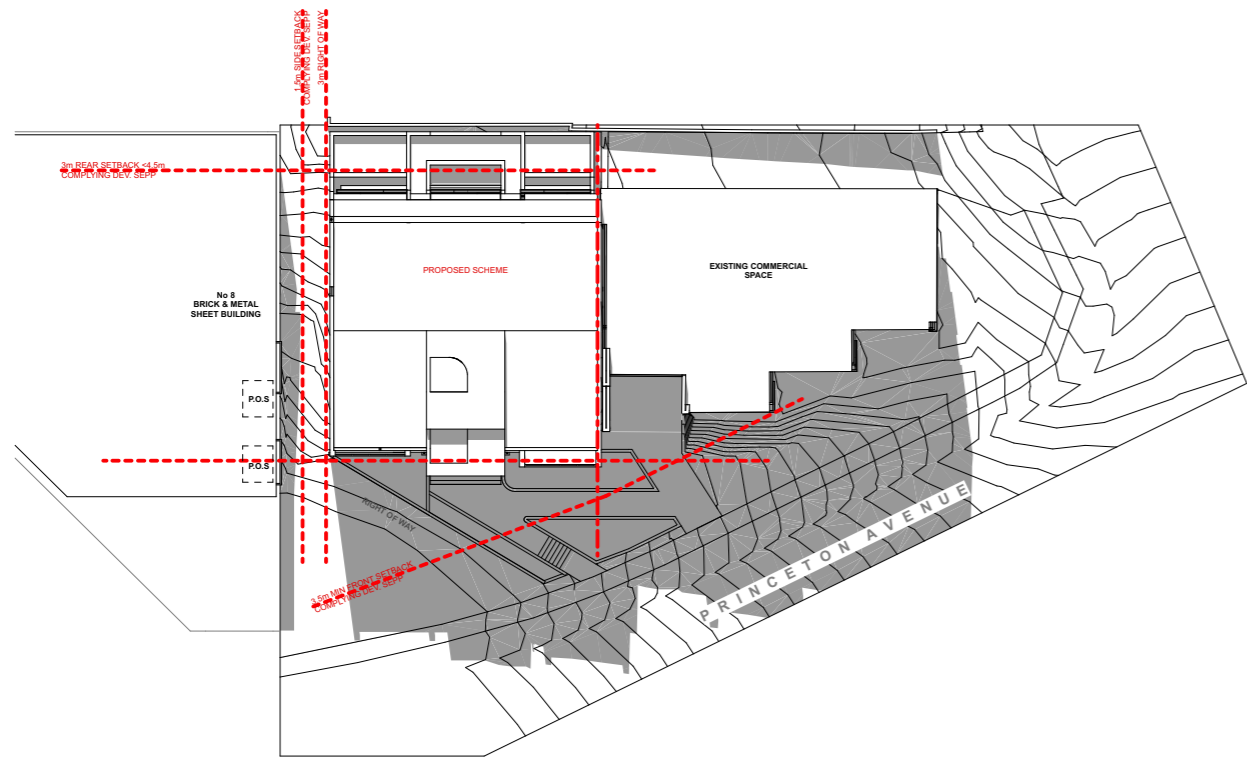
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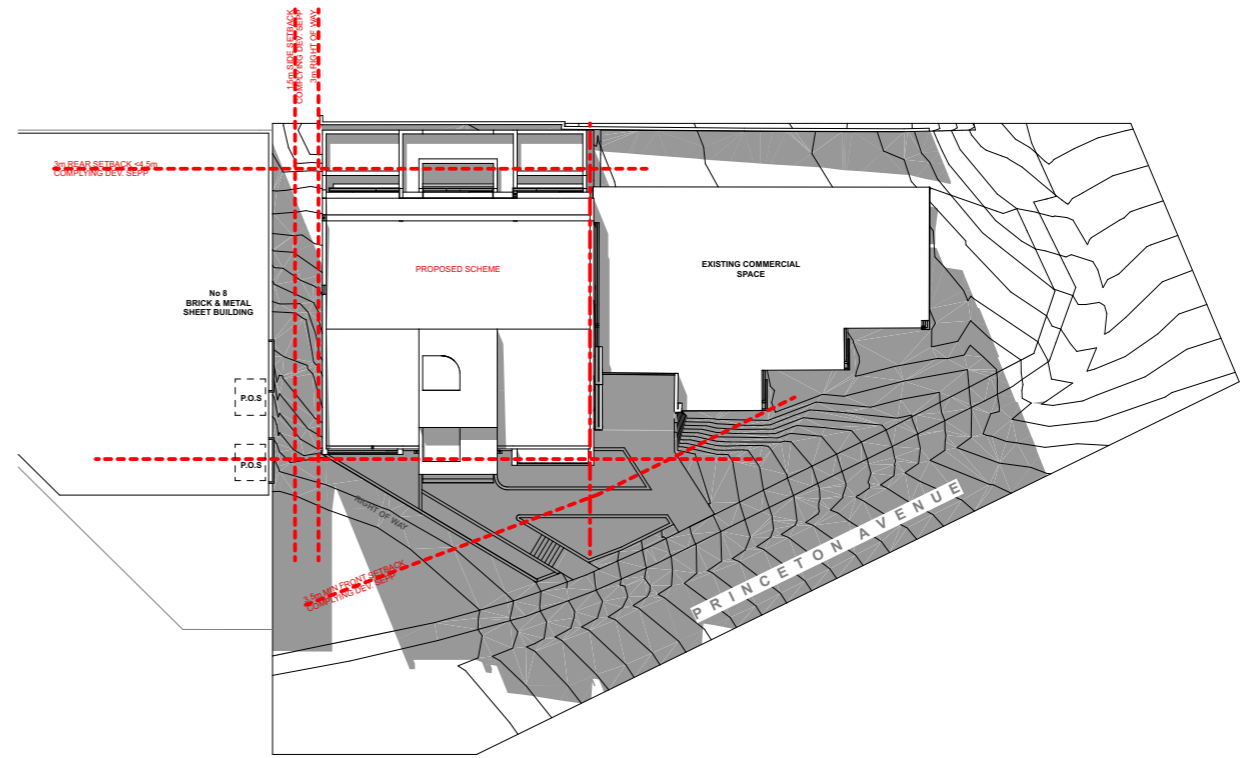
21st June 12pm
SCALE 1:500 @ A3

NOTE:
A SOLAR STUDY HAS BEEN UNDERTAKEN TO EXPLORE THE IMPACTS OF THE PROPOSED RESIDENTIAL SCHEME ON THE ADJACENT RESIDENTIAL DEVELOPMENT AT 8 PRINCETON AVE.

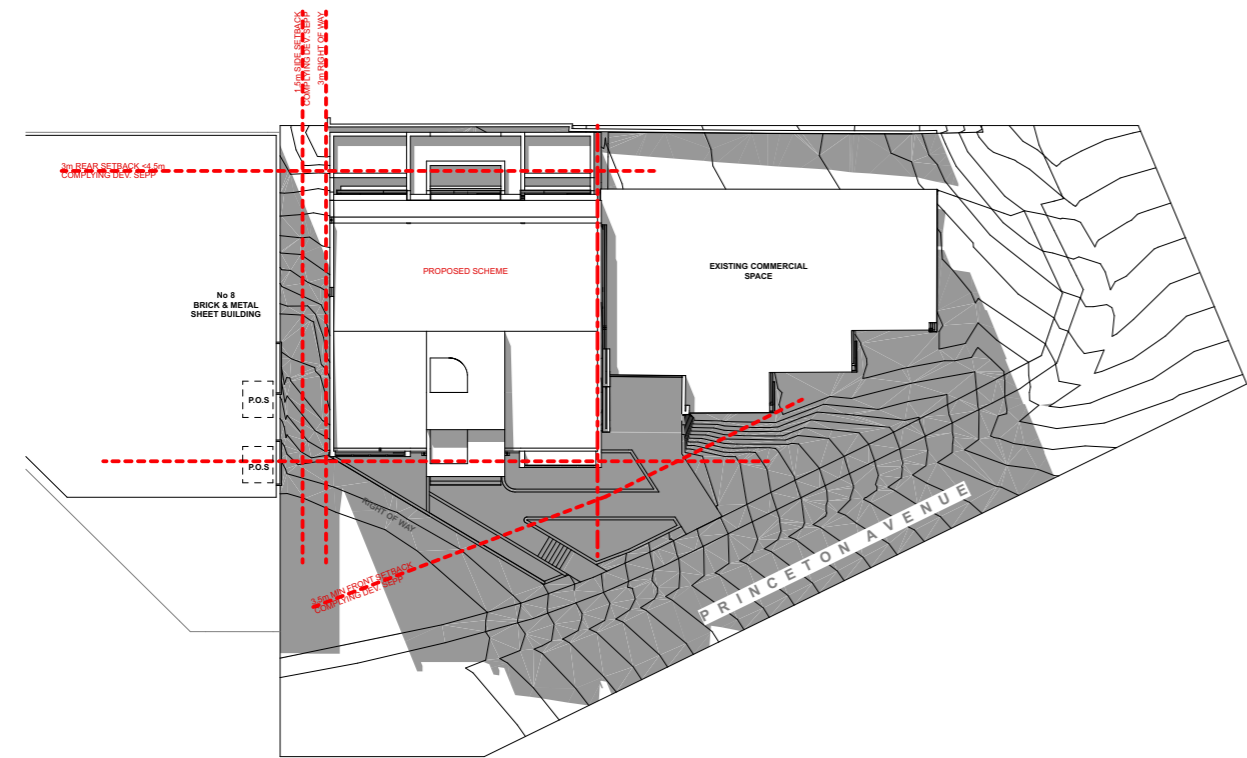
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21st June 1pm
SCALE 1:500 @ A3



21st June 2pm
SCALE 1:500 @ A3



21st June 3pm
SCALE 1:500 @ A3

NOTE:
A SOLAR STUDY HAS BEEN UNDERTAKEN TO EXPLORE THE IMPACTS OF THE PROPOSED RESIDENTIAL SCHEME ON THE ADJACENT RESIDENTIAL DEVELOPMENT AT 8 PRINCETON AVE.

DEVELOPMENT APPLICATION



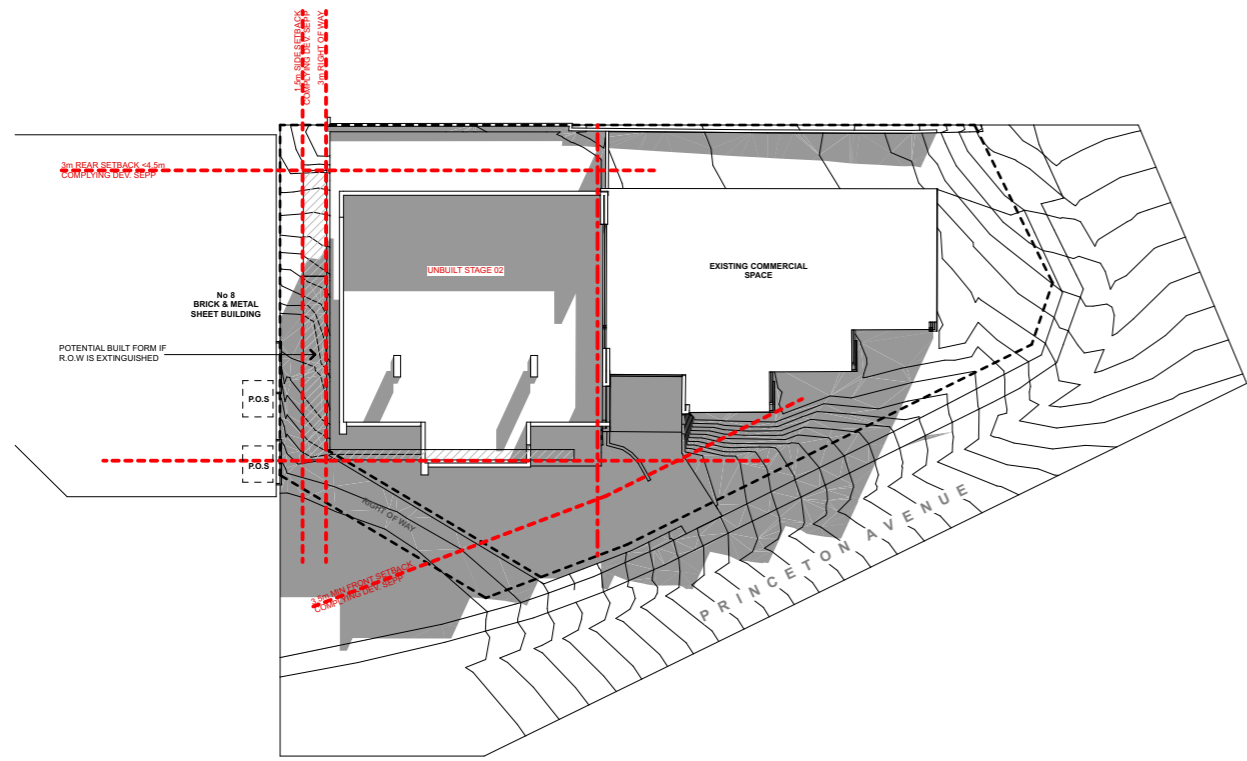
Architecture | Planning | Interiors
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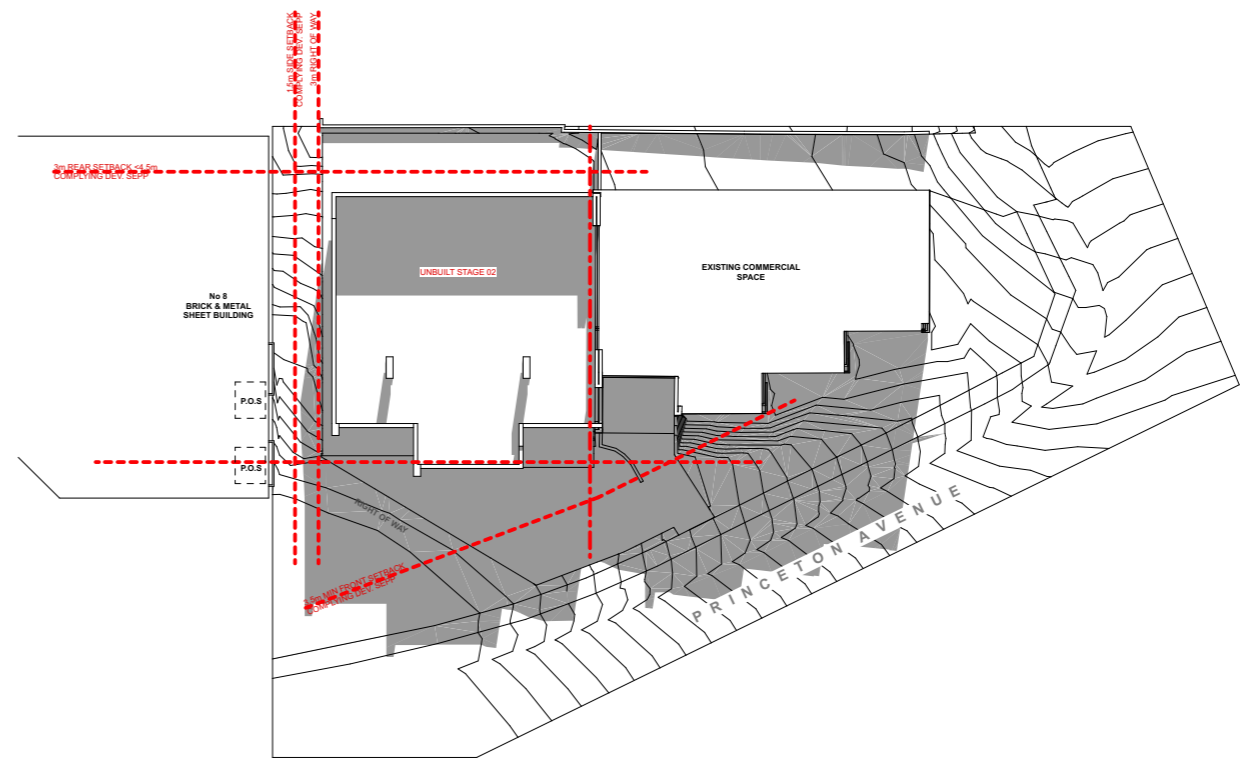
Manitta Princeton Development
project #
20071
2 Princeton Avenue Adamstown Heights NSW 2289

Proposed Dev. Solar Study
drawing #
A-4002
AS SHOWN
issue
03
4/5/21

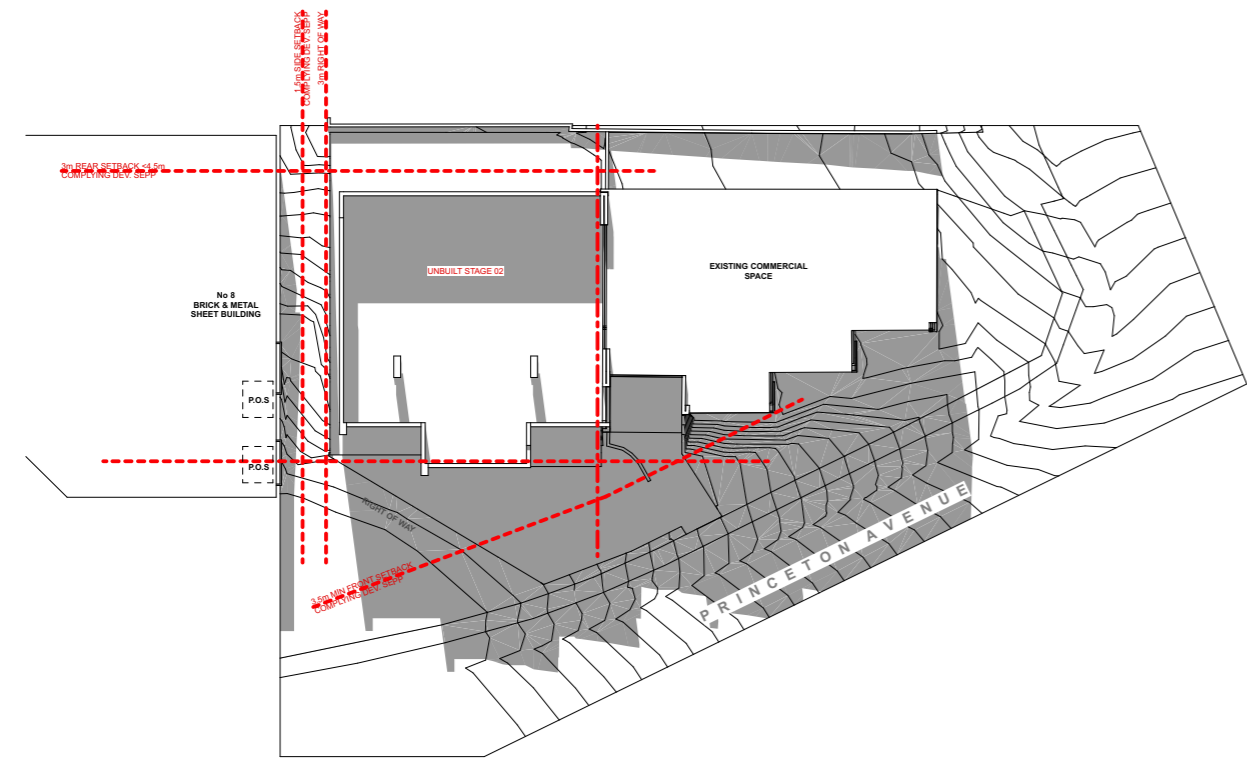
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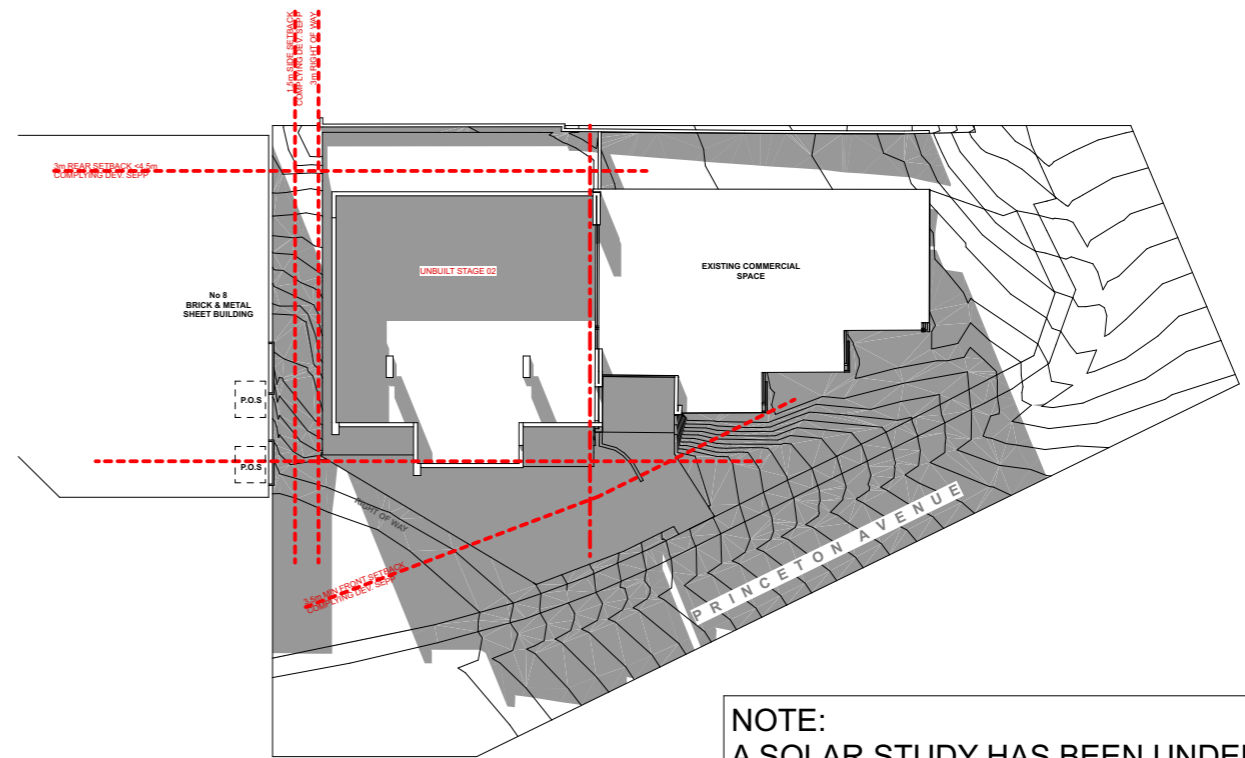
21st June 11am
SCALE 1:500 @ A3



21st June 12pm
SCALE 1:500 @ A3



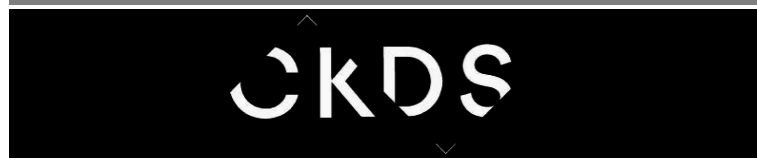
21st June 1pm
SCALE 1:500 @ A3



21st June 2pm
SCALE 1:500 @ A3

NOTE:
A SOLAR STUDY HAS BEEN UNDERTAKEN TO EXPLORE THE IMPACTS OF THE HISTORICALLY APPROVED DA RESIDENTIAL SCHEME ON THE ADJACENT RESIDENTIAL DEVELOPMENT AT 8 PRINCETON AVE.

DEVELOPMENT APPLICATION



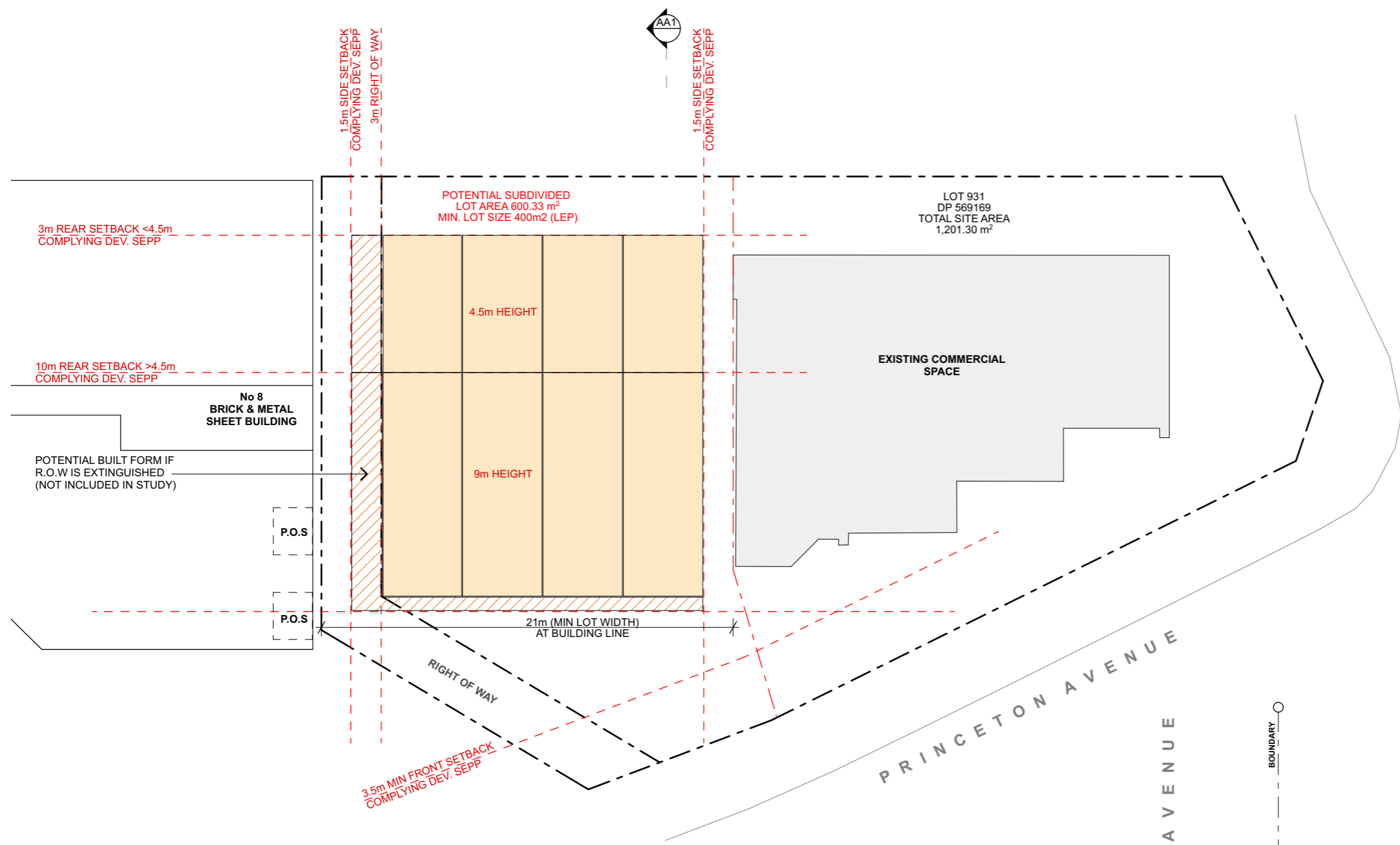
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Manitta Princeton Development
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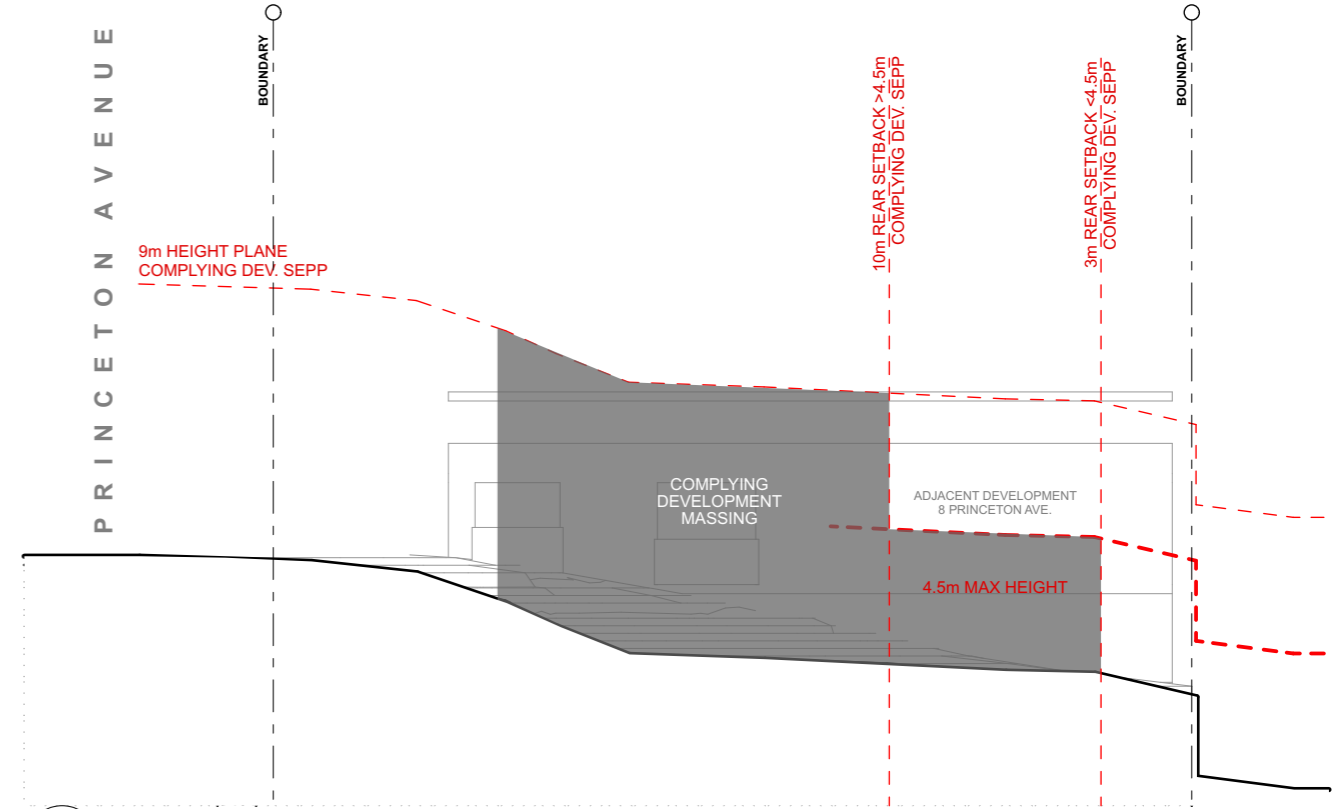
Unbuilt DA Dev. Solar Study
drawing #
A-4003
AS SHOWN
issue
03
4/5/21

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1 Complying Development Massing Plan
SCALE 1:250 @ A3

NOTE:
A COMPLYING DEVELOPMENT STUDY HAS BEEN UNDERTAKEN TO EXPLORE THE IMPACTS OF A COMPLYING DEV. RESIDENTIAL TERRACE SCHEME ON THE ADJACENT RESIDENTIAL DEVELOPMENT AT 8 PRINCETON AVE.



1 Section A
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION

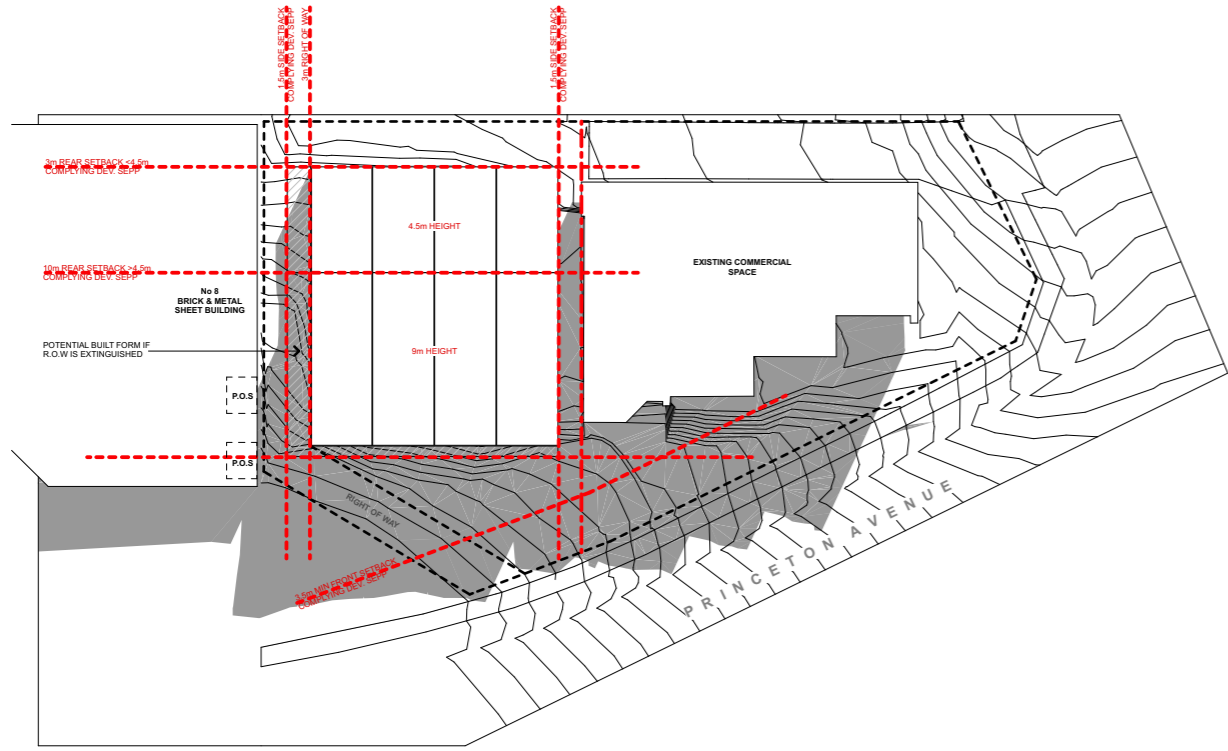


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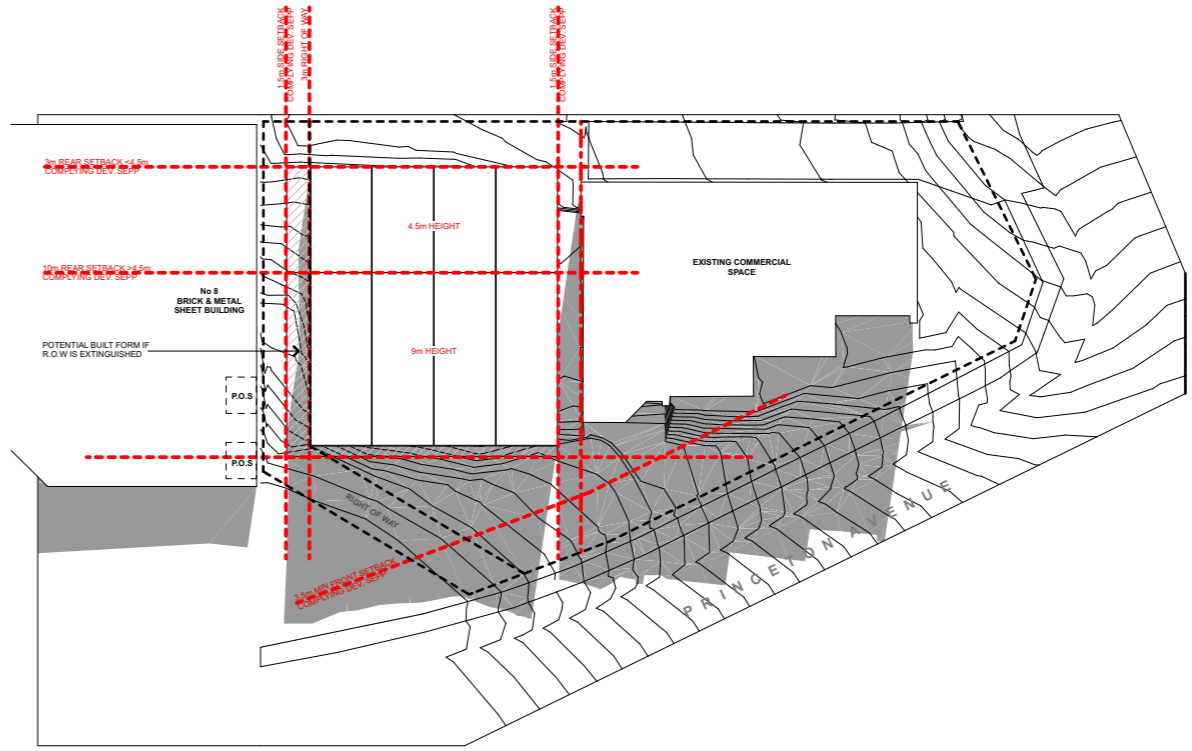


Manitta Princeton Development		Complying Dev. Solar Study	
project #	20071	drawing #	A-4004
		issue	03
2 Princeton Avenue Adamstown Heights NSW 2289		AS SHOWN	4/5/21

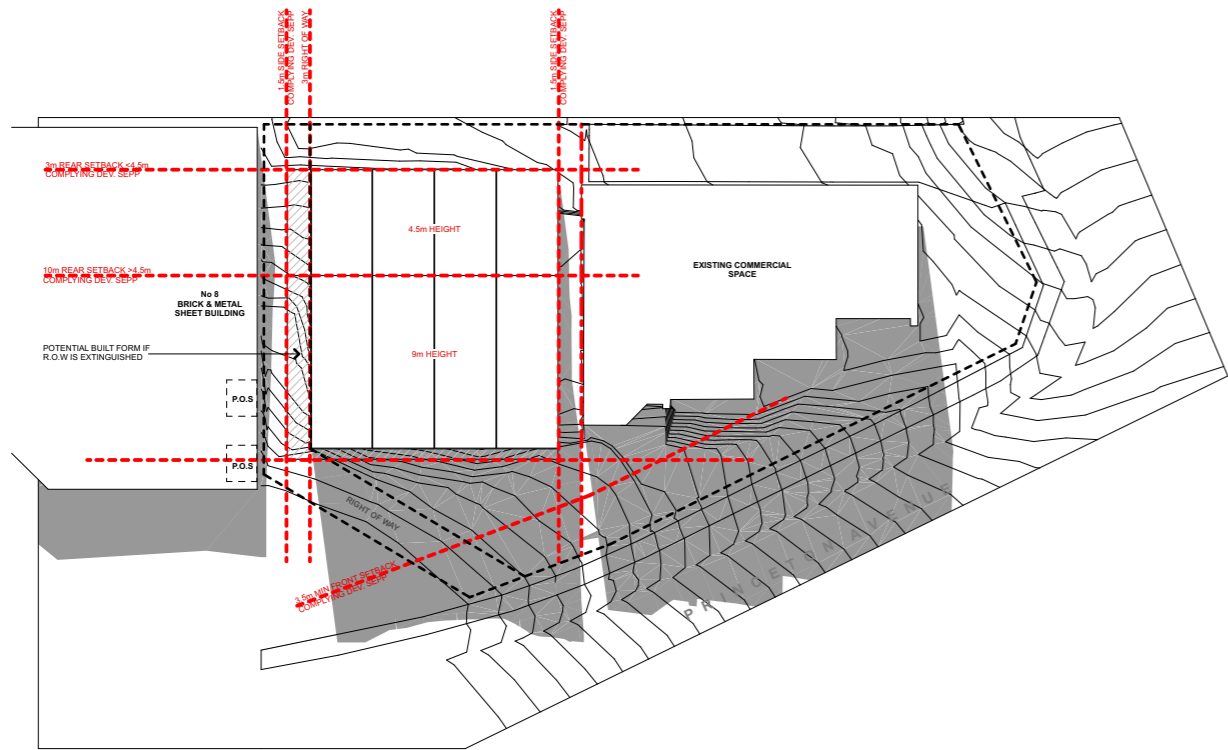
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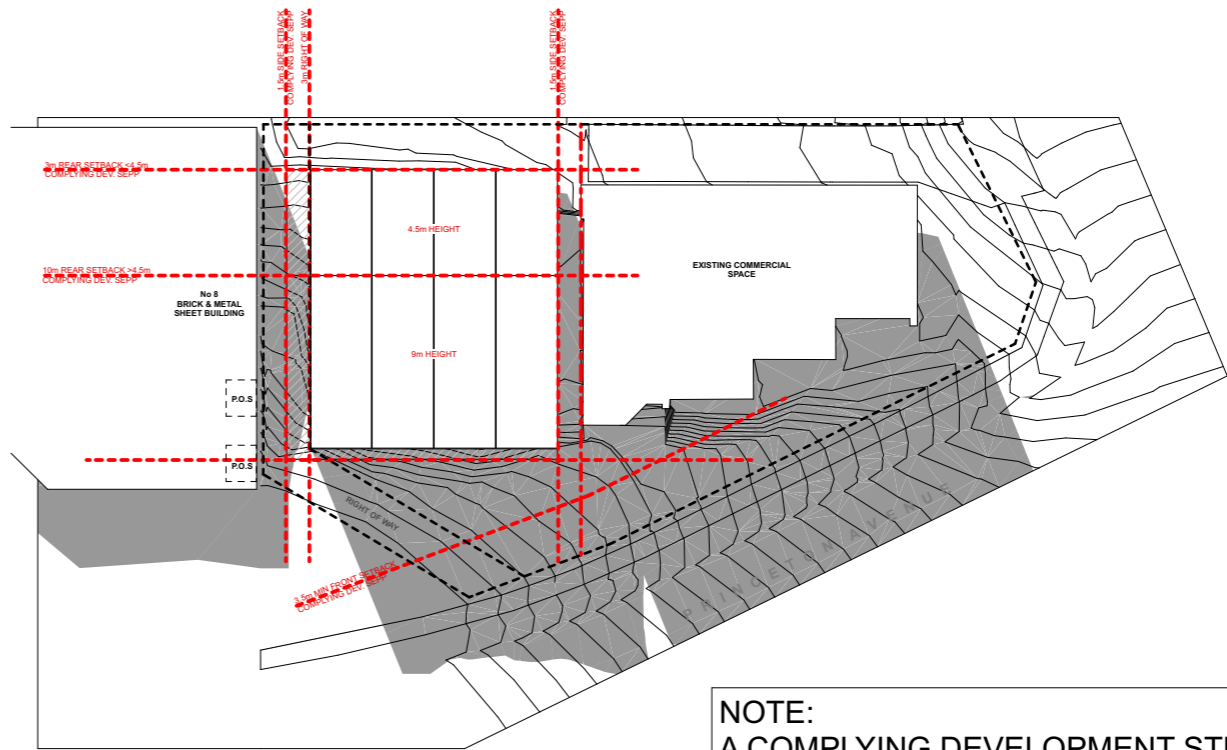
21st June 11am
SCALE 1:500 @ A3



21st June 12pm
SCALE 1:500 @ A3



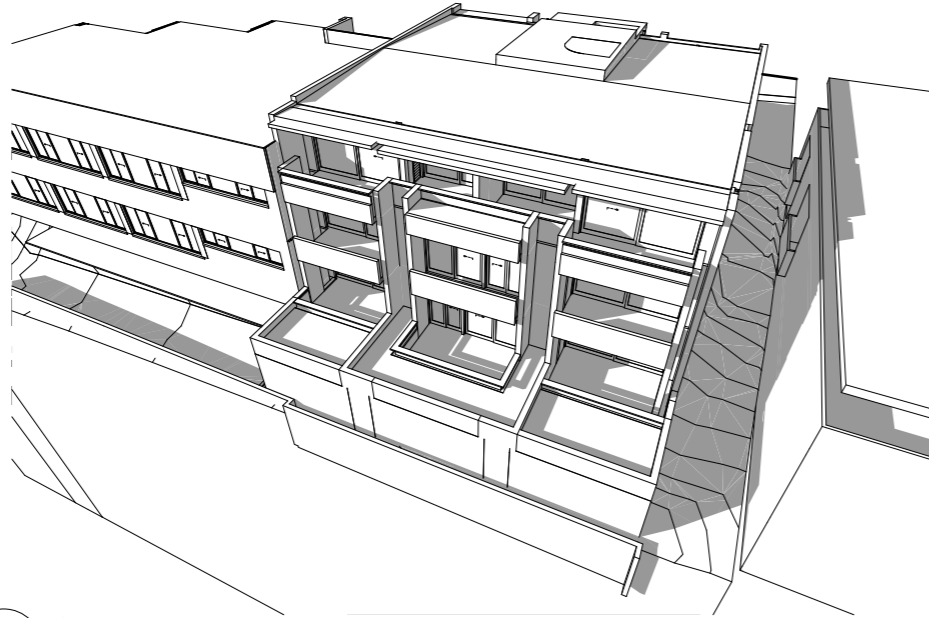
21st June 1pm
SCALE 1:500 @ A3



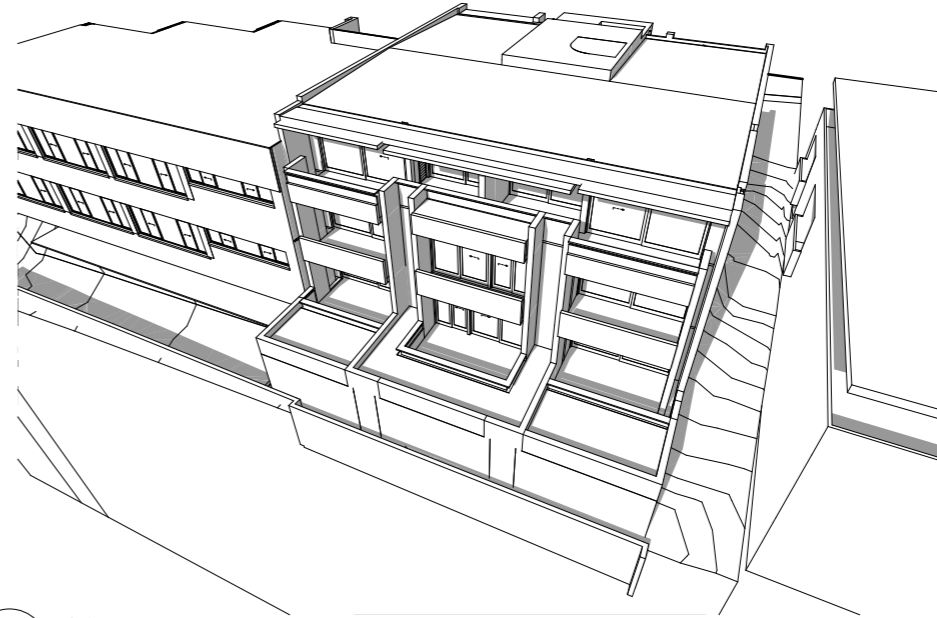
21st June 2pm
SCALE 1:500 @ A3

NOTE:
A COMPLYING DEVELOPMENT STUDY HAS BEEN UNDERTAKEN TO EXPLORE THE IMPACTS OF A COMPLYING DEV. RESIDENTIAL TERRACE SCHEME ON THE ADJACENT RESIDENTIAL DEVELOPMENT AT 8 PRINCETON AVE.

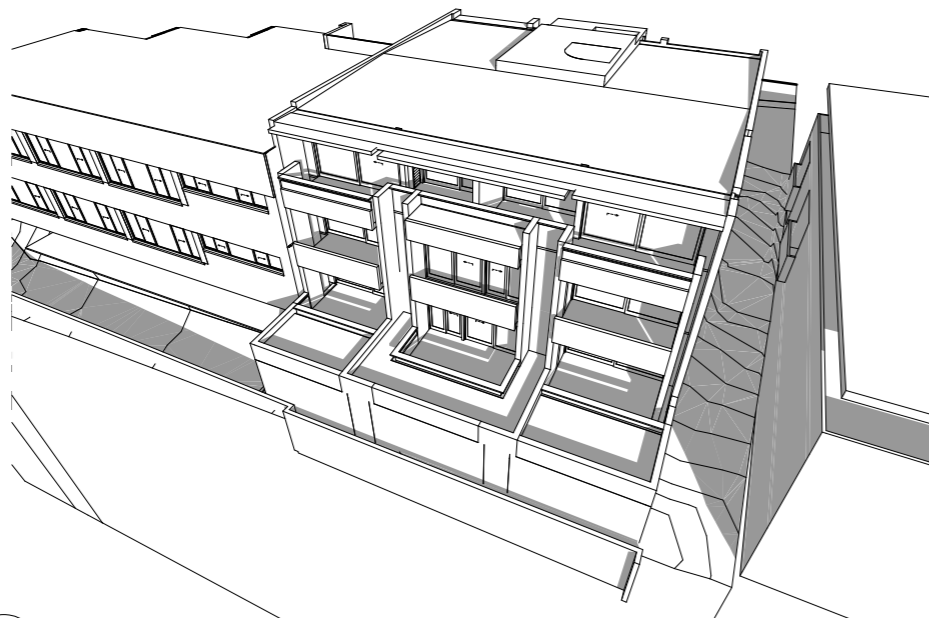
DEVELOPMENT APPLICATION



9am Proposed Northern Perspective
SCALE 1:200 @ A3

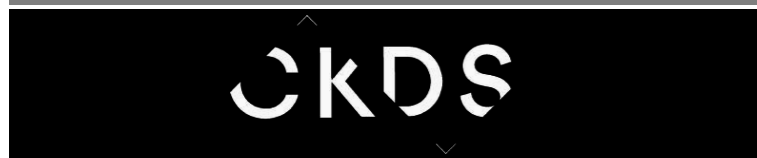


12pm Proposed Northern Perspective
SCALE 1:200 @ A3



3pm Proposed Northern Perspective
SCALE 1:200 @ A3

DEVELOPMENT APPLICATION



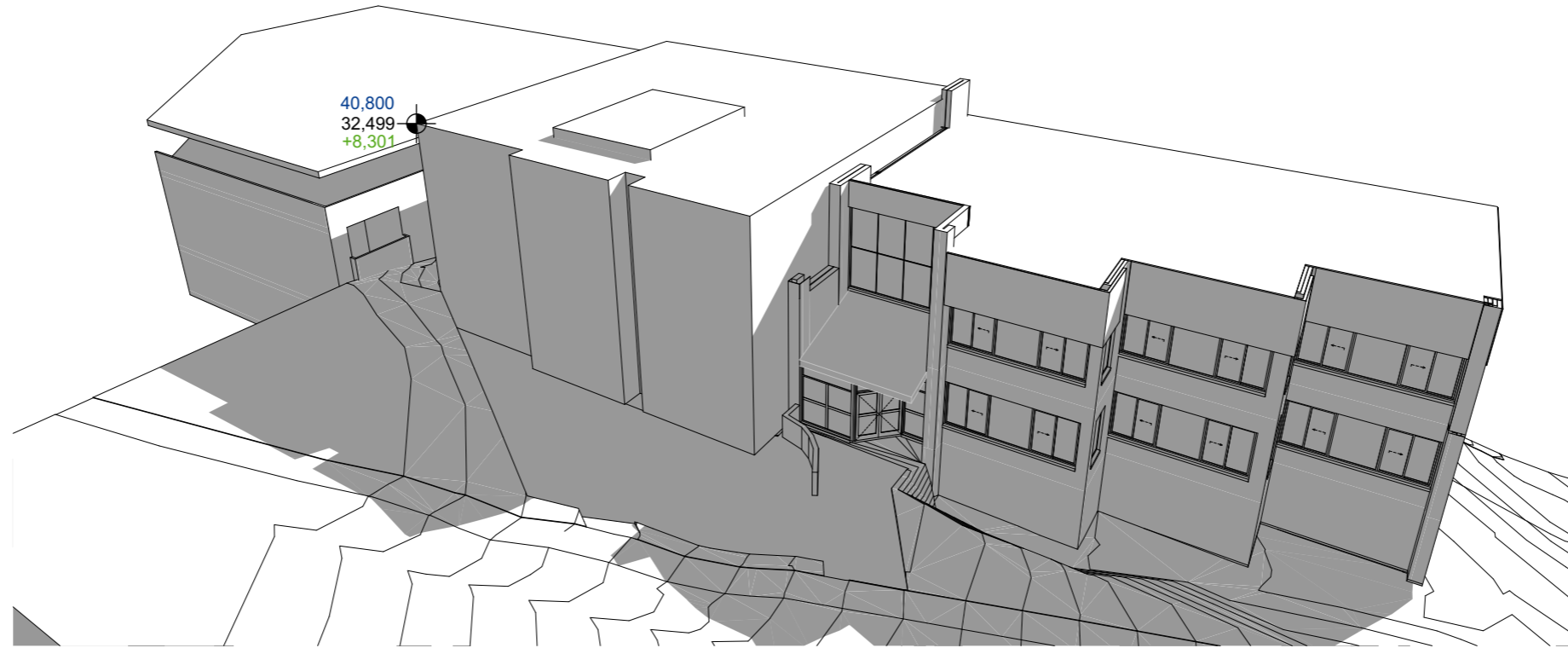
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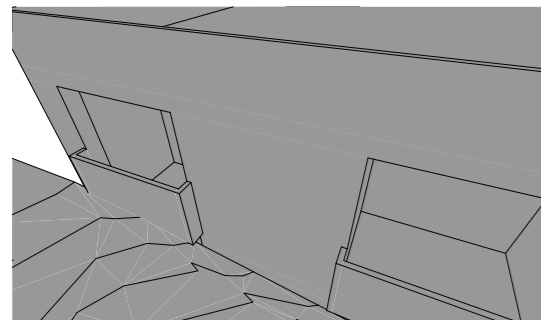
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Proposed Dev. Northern
Face A-4006
AS SHOWN
Issue 03
4/5/21
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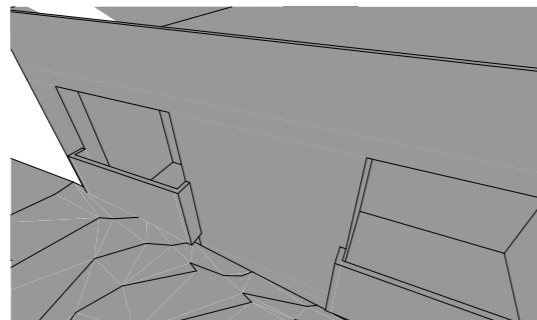
Proposed Development



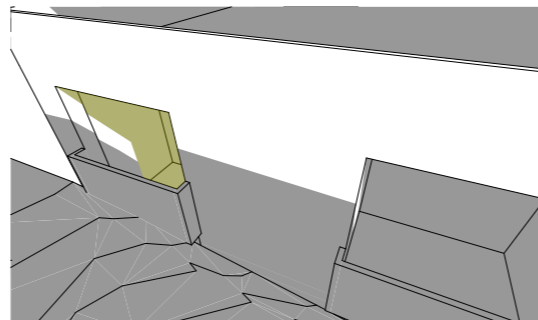
Massing Proposed Development - View from South
SCALE @ A3



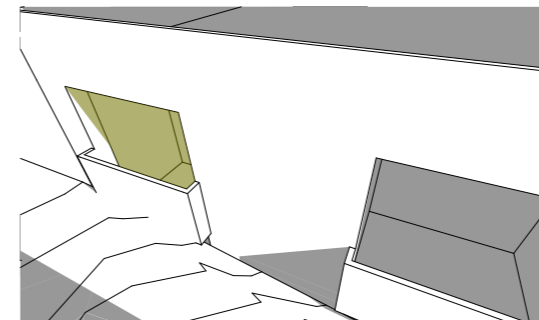
9am



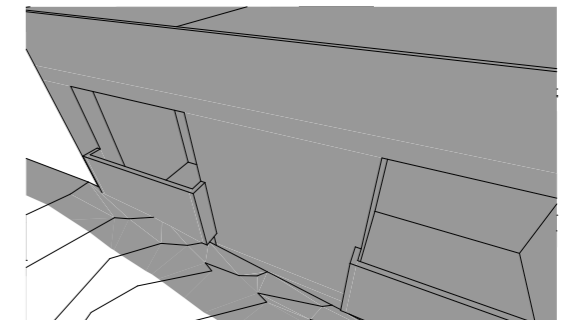
10am



11am



12am



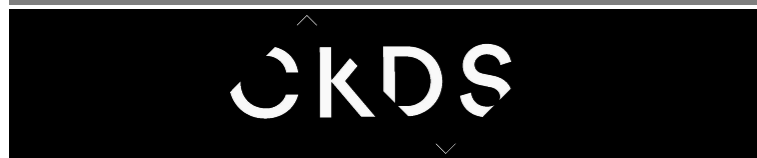
1pm (Completely over shadowed after 1pm)

Line of sun being over shadowed by depth of existing balcony

The above diagrams illustrate that the neighbouring private open space is largely overshadowed due to the sunken nature and depth of the outdoor terraces. The glazing line currently receives very minimal sunlight from 10am to 11am. The removal of unit 6 has marginal impact on the direct sunlight to the glazing line.

NOTE: Eastern facade of neighbouring building is in shadow past 12pm

DEVELOPMENT APPLICATION



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North Point



Manitta Princeton Development

project #
20071

2 Princetown Avenue Adamstown Heights NSW 2289

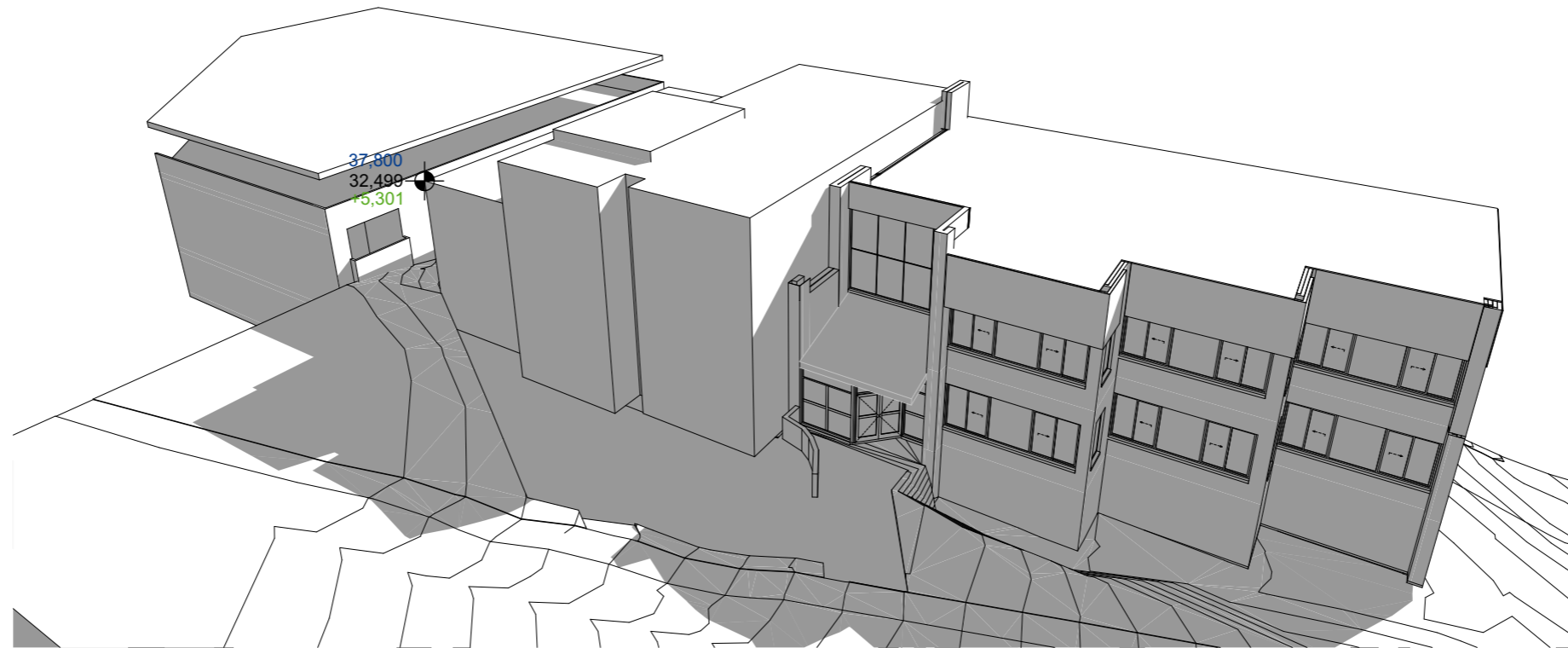
Balcony Shadowing

Diagrams
A-4009 01

AS SHOWN 11/8/21

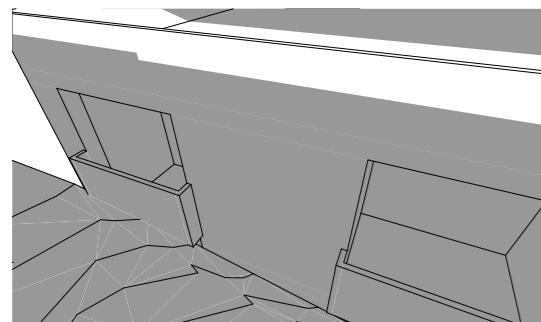
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Proposed Development - Unit 6 Removed

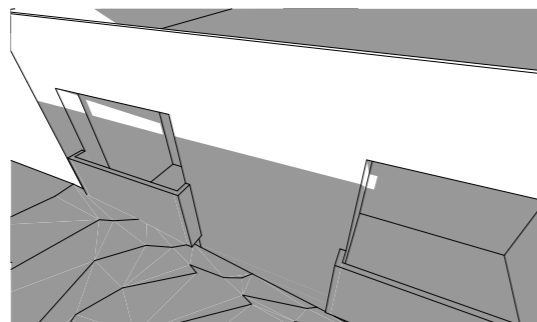


Massing Unit 6 Removed - View from South
SCALE @ A3

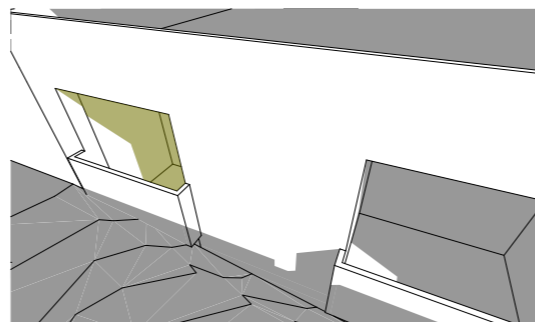
Proposed development with Unit 6 removed



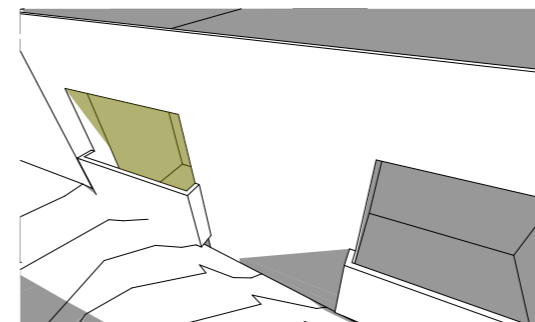
9am



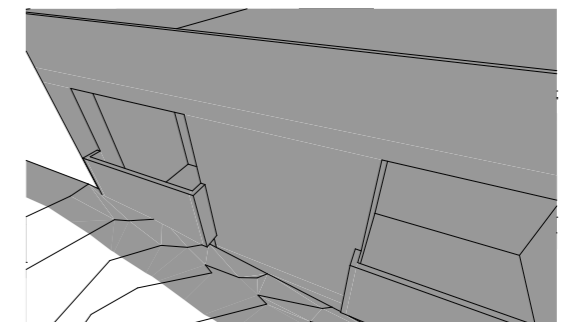
10am



11am



12am



1pm (Completely over shadowed after 1pm)

Line of sun being over shadowed by depth of existing balcony

The above diagrams illustrate that the neighbouring private open space is largely overshadowed due to the sunken nature and depth of the outdoor terraces. The glazing line currently receives very minimal sunlight from 10am to 11am. The removal of unit 6 has marginal impact on the direct sunlight to the glazing line.

NOTE: Eastern facade of neighbouring building is in shadow past 12pm

DEVELOPMENT APPLICATION



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North Point



Manitta Princeton Development

project #
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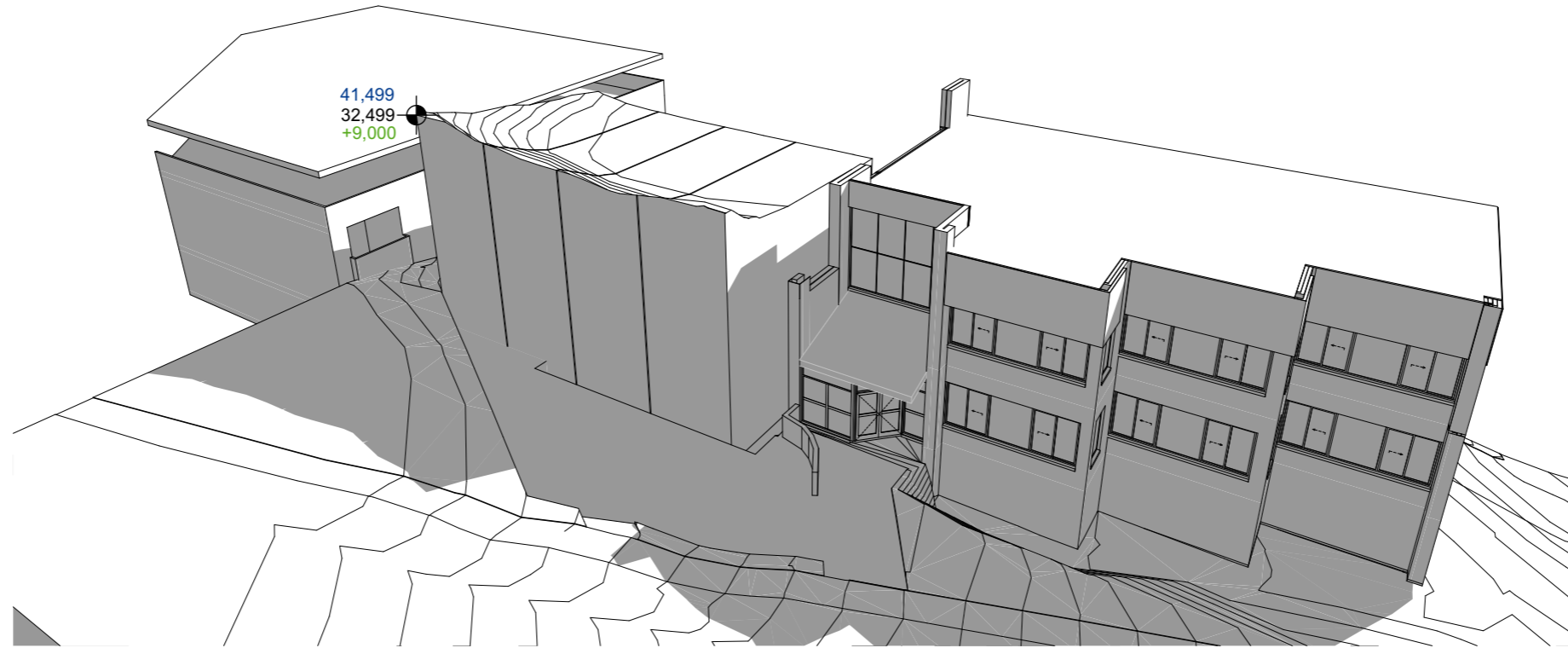
Balcony Shadowing

Diagrams
A-4010

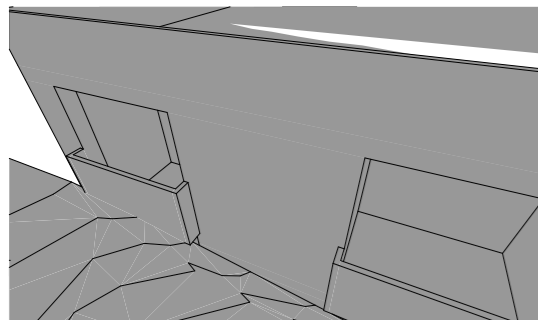
issue
01
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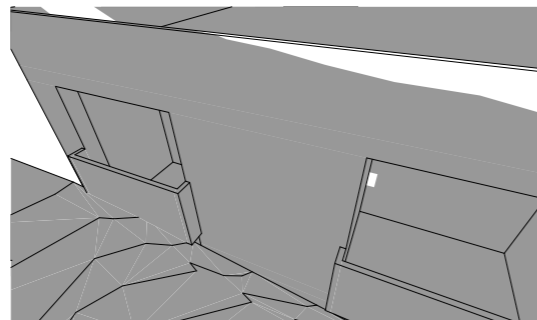
CDC Development - Permissible Massing



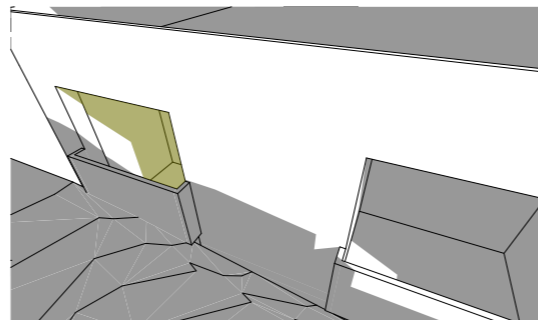
Massing CDC - View from South
SCALE @ A3



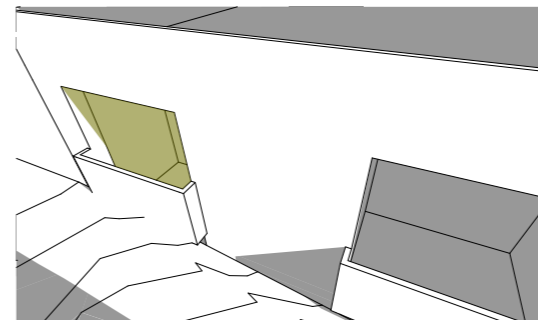
9am



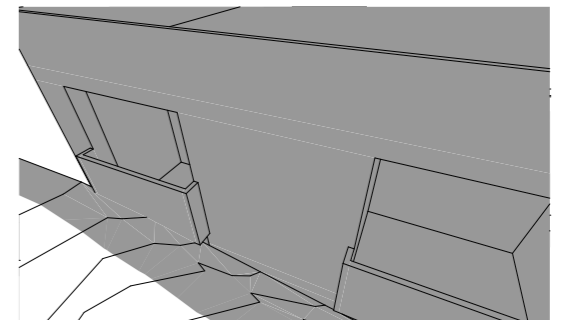
10am




11am



12am



1pm (Completely over shadowed after 1pm)

 Line of sun being over shadowed by depth of existing balcony

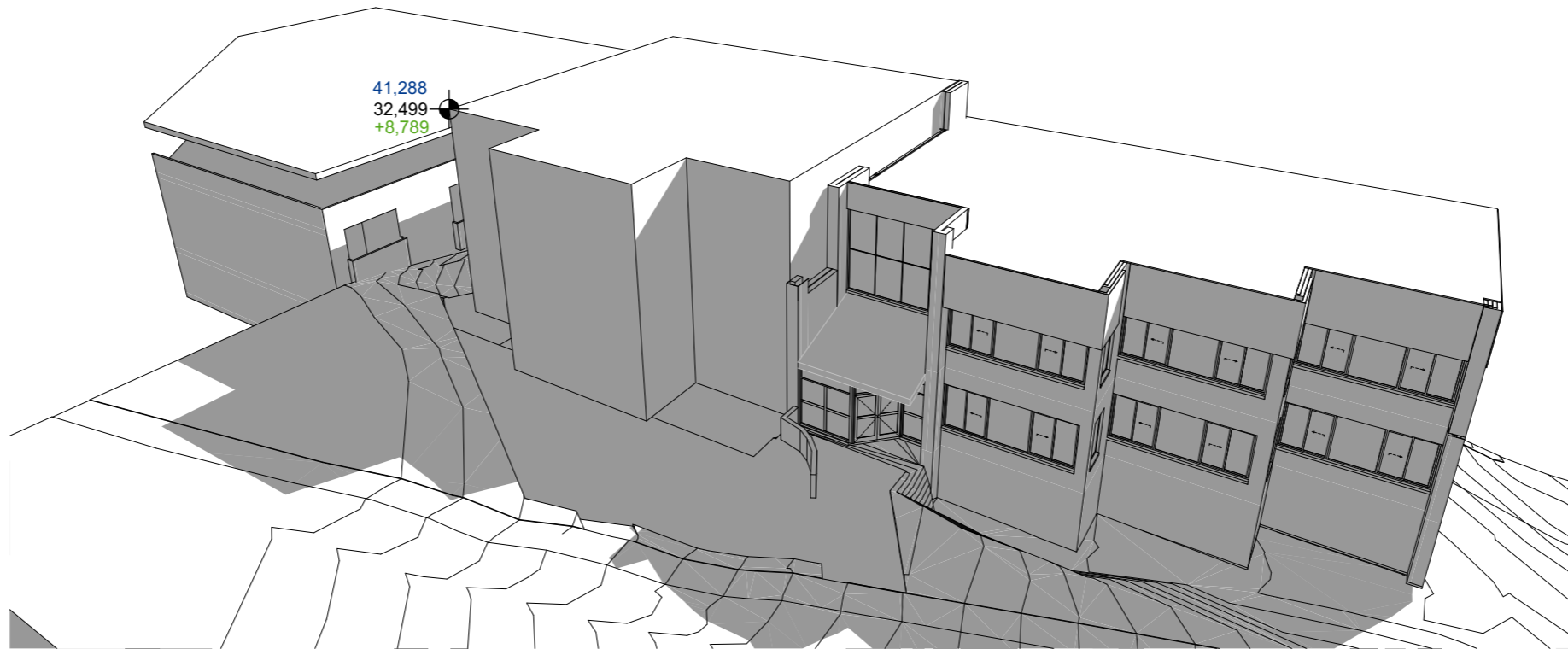
The above diagrams illustrate that the neighbouring private open space is largely overshadowed due to the sunken nature and depth of the outdoor terraces. The glazing line currently receives very minimal sunlight from 10am to 11am. The removal of unit 6 has marginal impact on the direct sunlight to the glazing line.

NOTE: Eastern facade of neighbouring building is in shadow past 12pm

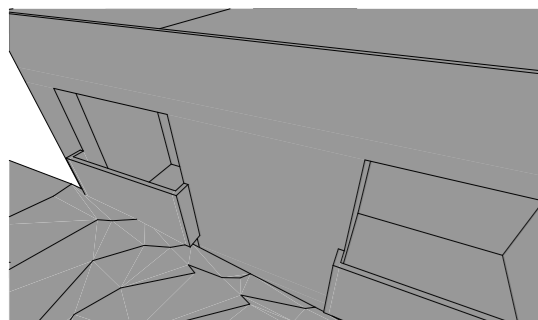
DEVELOPMENT APPLICATION



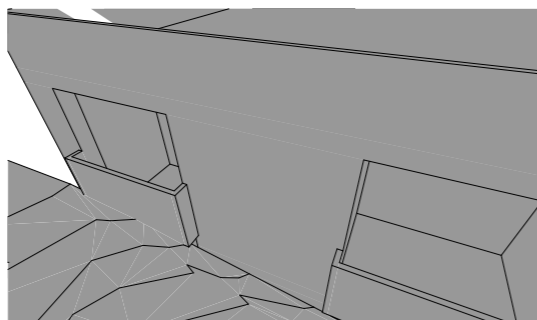
Approved DA - Unbuilt Stage 02



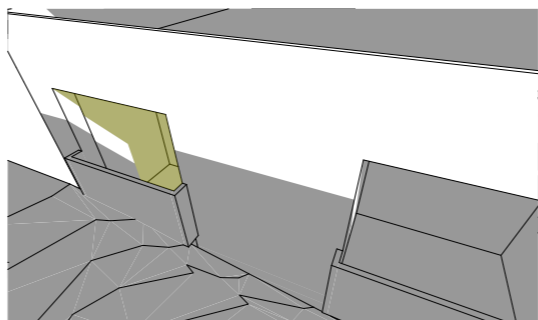
Massing Unbuilt Stage 02 - View from South
SCALE @ A3



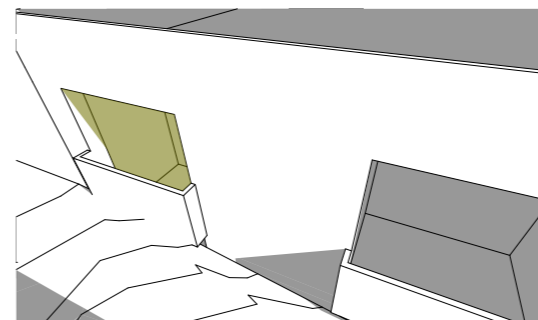
9am



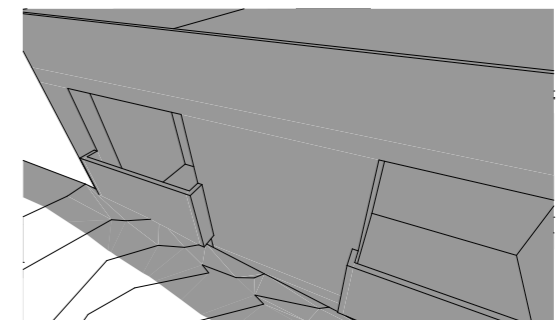
10am




11am



12am



1pm (Completely over shadowed after 1pm)

 Line of sun being over shadowed by depth of existing balcony

The above diagrams illustrate that the neighbouring private open space is largely overshadowed due to the sunken nature and depth of the outdoor terraces. The glazing line currently receives very minimal sunlight from 10am to 11am. The removal of unit 6 has marginal impact on the direct sunlight to the glazing line.

NOTE: Eastern facade of neighbouring building is in shadow past 12pm

DEVELOPMENT APPLICATION



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North Point



Manitta Princeton Development

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20071

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Balcony Shadowing

Diagrams
A-4012 01

AS SHOWN 11/8/21

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LWC
Light Weight Cladding - Paint Finish
Colour - Monument or similar



ASCR
Powder Coated Aluminium Screen
Colour - Monument or similar



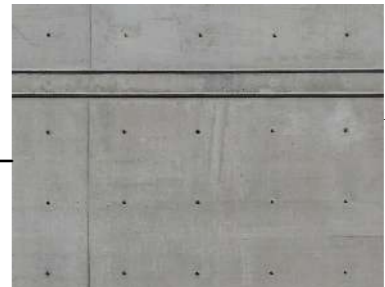
RC
Rendered Cement
Colour - Raw



FB
Face Brick 'Ash'
Colour - Beige (or similar)



FC - PF
Fibre Cement - Paint
Finish
Colour- Surfmist (or
similar)



PFC
Pre Fabricated Concrete
Colour - Raw

DEVELOPMENT APPLICATION

Sketch Section



Precedent Images



NEUTRAL BRICK MATERIAL PALETTE



INTEGRATED LANDSCAPING TO COMMON AREAS



NEUTRAL BRICK MATERIAL PALETTE



VOIDS AND NATURAL SUNLIGHT



NATURALLY LIGHT TO CIRCULATION AREAS

DEVELOPMENT APPLICATION



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Perspective Section
 drawing # A-5002 issue 03
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View from Princeton Avenue



View from Lexington Parade / Park Avenue



View from Princeton Avenue



View from Park Avenue

DEVELOPMENT APPLICATION



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Manitta Princeton Development
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Perspective Views
drawing #
A-5003
AS SHOWN
issue
03
4/5/21

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Aerial View



View from Princeton Avenue

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Manitta Princeton Development
 project #
 20071
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Perspective Views
 drawing #
 A-5004
 AS SHOWN
 issue
 03
 4/5/21

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GLAZING SCHEDULE							
Element ID	D102 - 1	D102 - 2	D104 - 1	D105 - 1	D105 - 2	D105 - 3	D206 - 1
Quantity	1	1	1	1	1	1	1
Height	2,700	2,700	2,700	2,700	2,700	2,700	2,700
Width	1,885	2,685	4,450	4,450	2,910	1,695	4,340

GLAZING SCHEDULE							
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Quantity	1	1	1	1	1	1	1
Height	2,700	2,700	2,700	2,700	2,700	2,700	2,700
Width	3,523	3,523	4,340	2,910	1,695	4,450	2,875

GLAZING SCHEDULE									
Element ID	DG02 - 2	DG03 - 1	DG03 - 2	DG03 - 3	DG - 1	W104 - 1	W104 - 2	W104 - 3	W206 - 1
Quantity	1	1	1	1	1	1	1	1	1
Height	2,700	2,700	2,700	2,700	2,700	1,850	1,850	600	1,850
Width	1,695	4,450	2,910	1,695	1,680	1,595	2,910	3,100	1,595

GLAZING SCHEDULE							
Element ID	W206 - 2	W206 - 3	W206 - 4	W207 - 1	WG01 - 1	WG01 - 2	WG01 - 3
Quantity	1	1	1	1	1	1	1
Height	1,850	600	2,700	2,700	1,850	1,850	600
Width	2,910	3,100	1,196	1,196	1,595	2,910	3,100

DEVELOPMENT APPLICATION



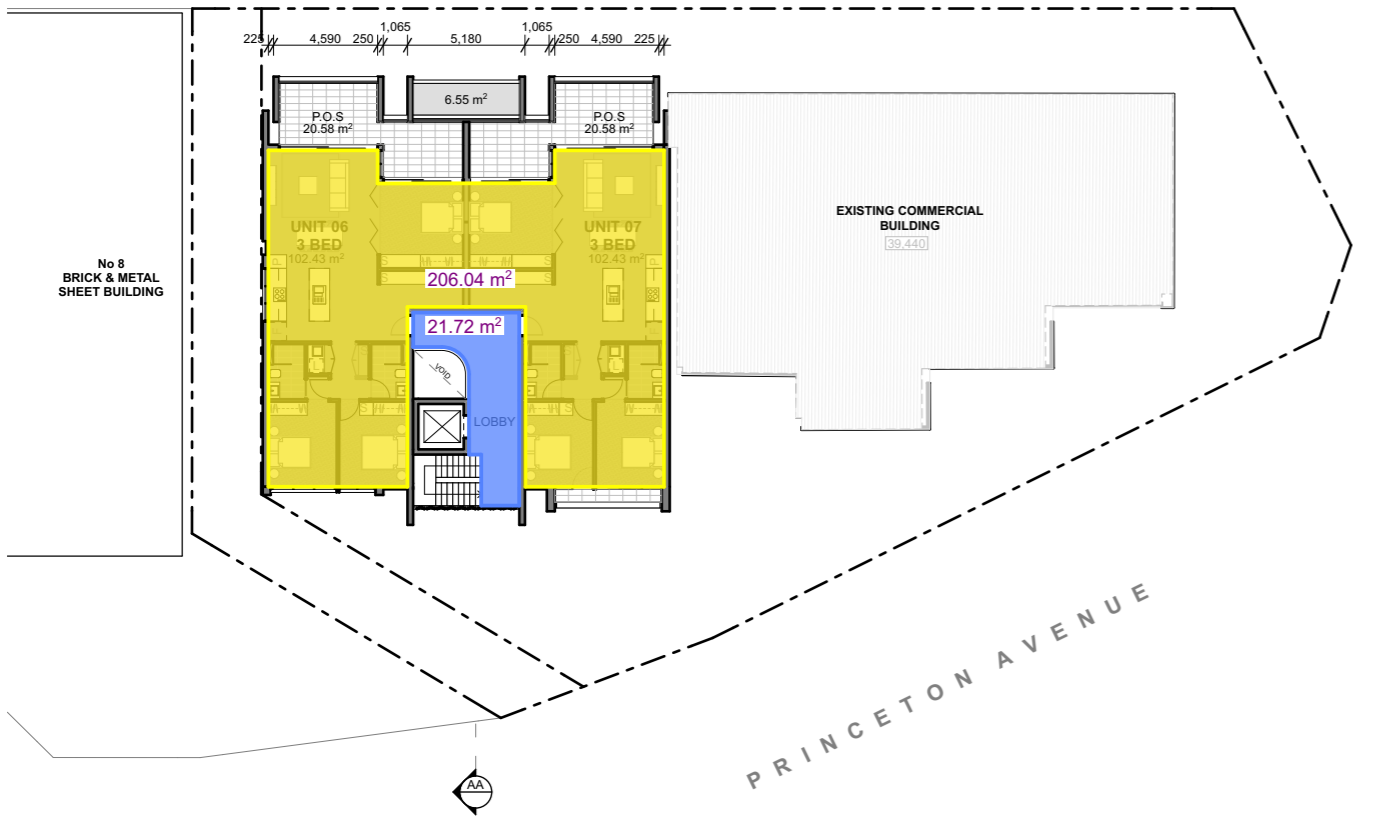
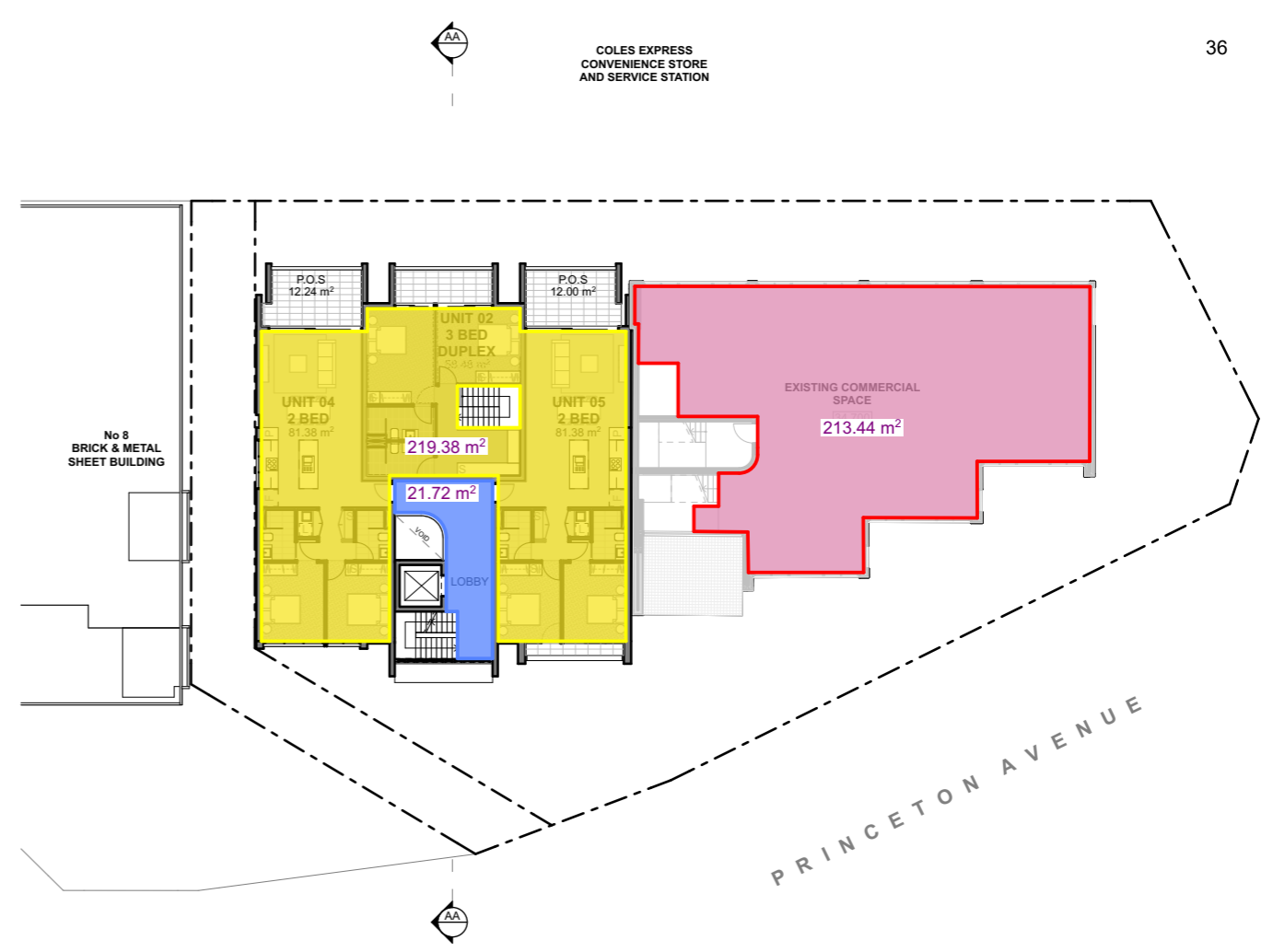
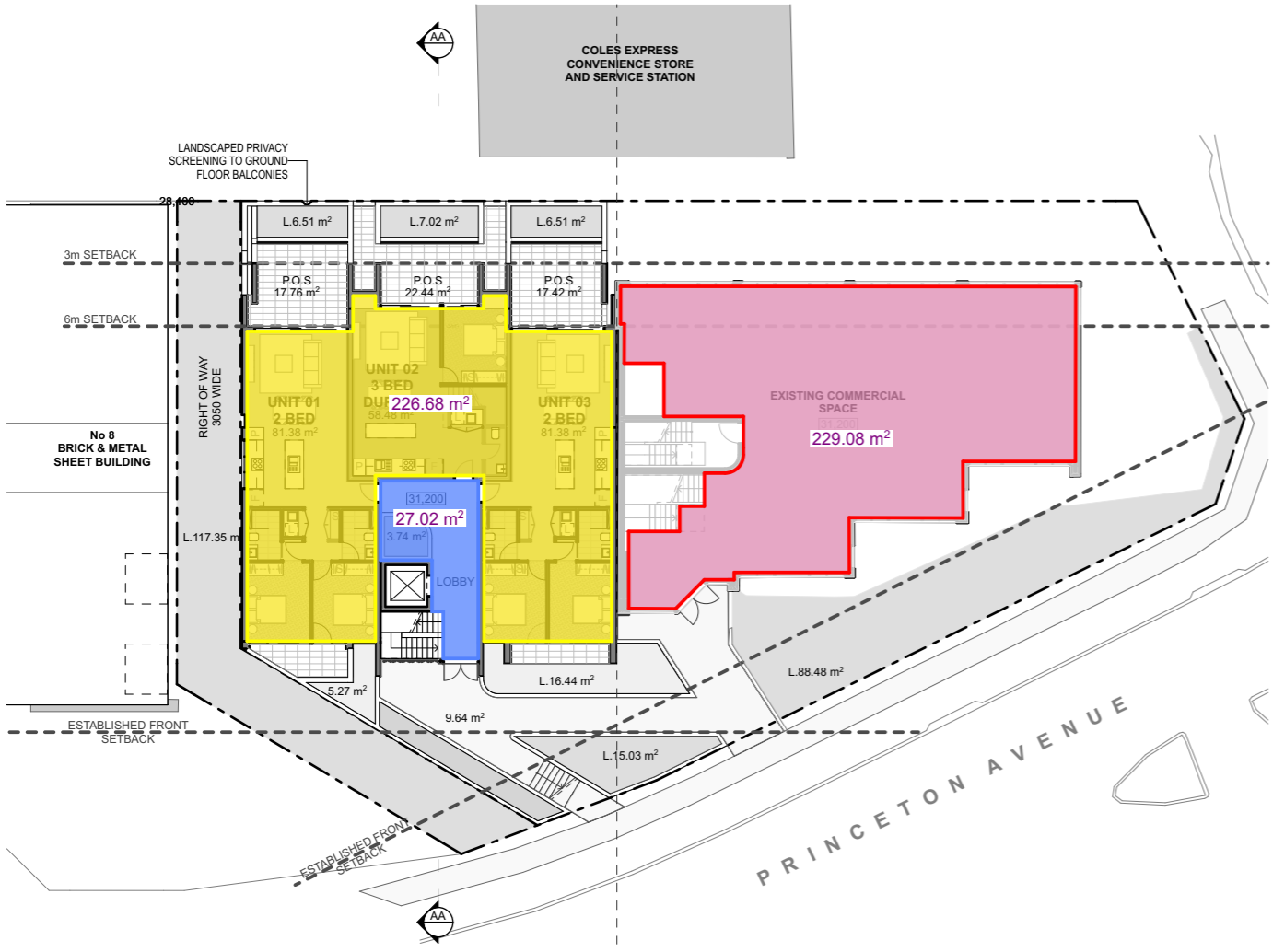
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Glazing Schedule
 drawing # A-7001
 issue 03
 AS SHOWN 4/5/21

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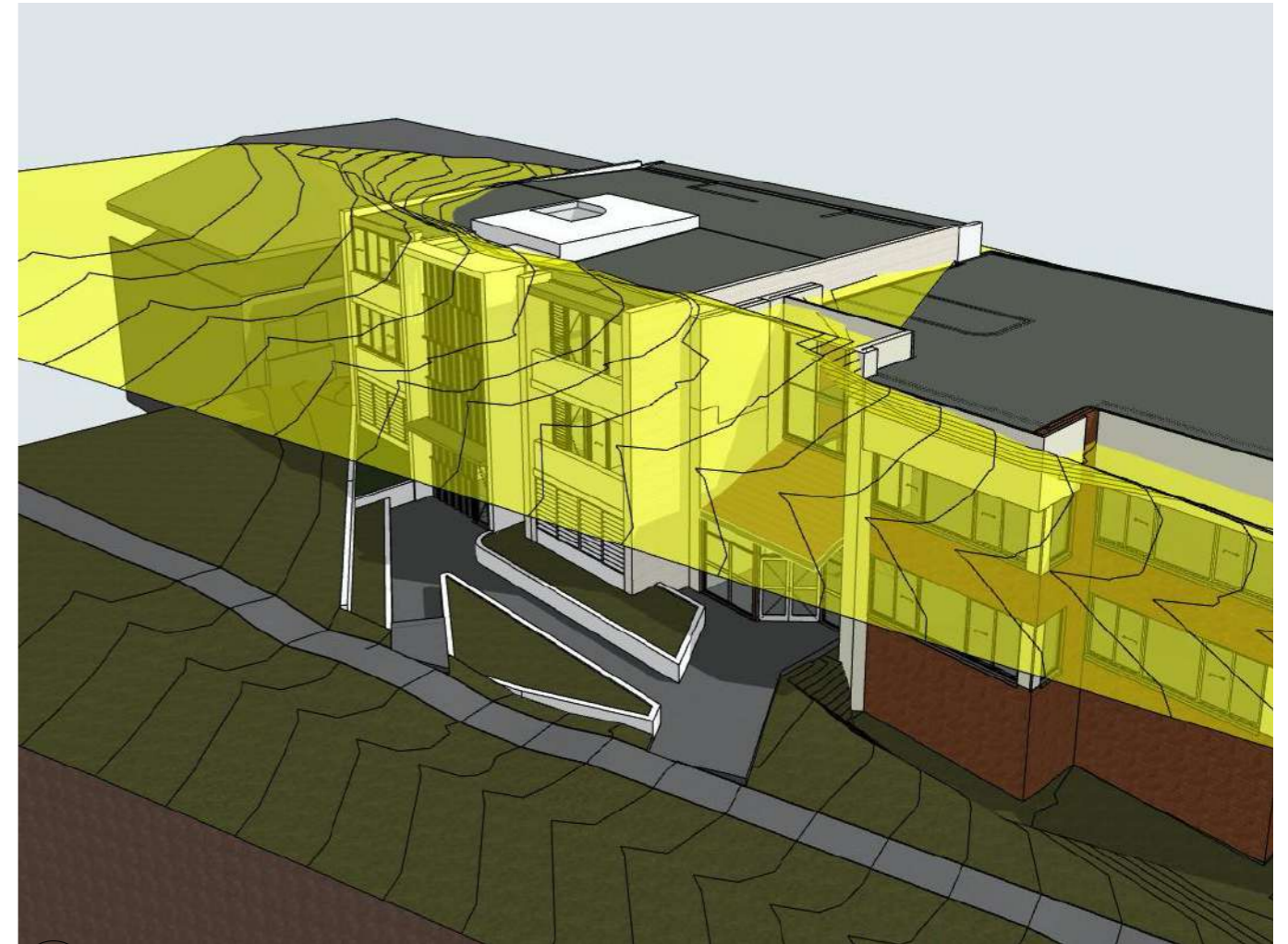


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 project # 20071
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FSR Calculations
 drawing # A-7002
 AS SHOWN
 issue 03
 4/5/21



North Perspective showing 10m above ground level
SCALE 1:213.77 @ A3



South Perspective showing 10m above ground level
SCALE 1:213.77 @ A3

DEVELOPMENT APPLICATION



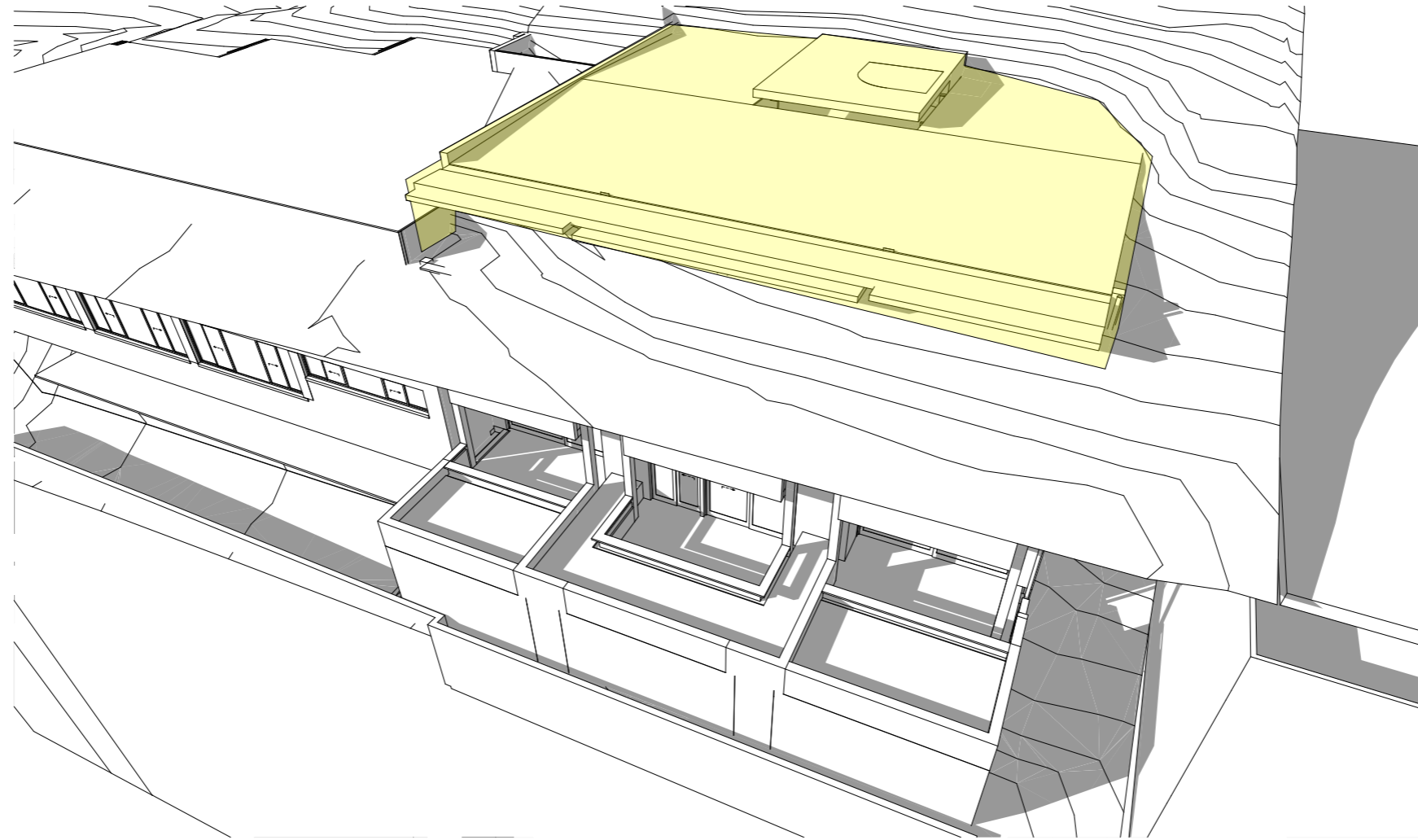
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Manitta Princeton Development
project #
20071
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Height of Building
drawing #
A-7003
AS SHOWN
issue
03
4/5/21

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10 Metre Height Limit
SCALE @ A3

KEY:

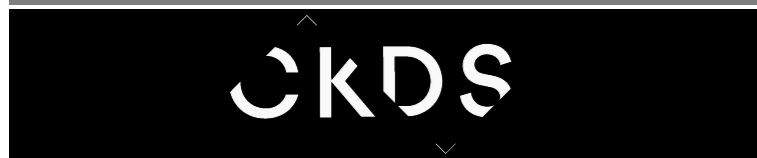
PROPOSED ROOF RL

EXISTING GROUND RL

HEIGHT FROM EXISTING GROUND RL

PROPOSED DEVELOPMENT OUTSIDE OF HEIGHT RESTRICTIONS

DEVELOPMENT APPLICATION



Architecture | Planning | Interiors

115 King Street (P.O. Box 958) Newcastle NSW 2300
P 02 4929 1843 E admin@ckds.com.au
www.ckds.com.au ACN 129 231 269

North Point



Manitta Princeton Development

project #
20071

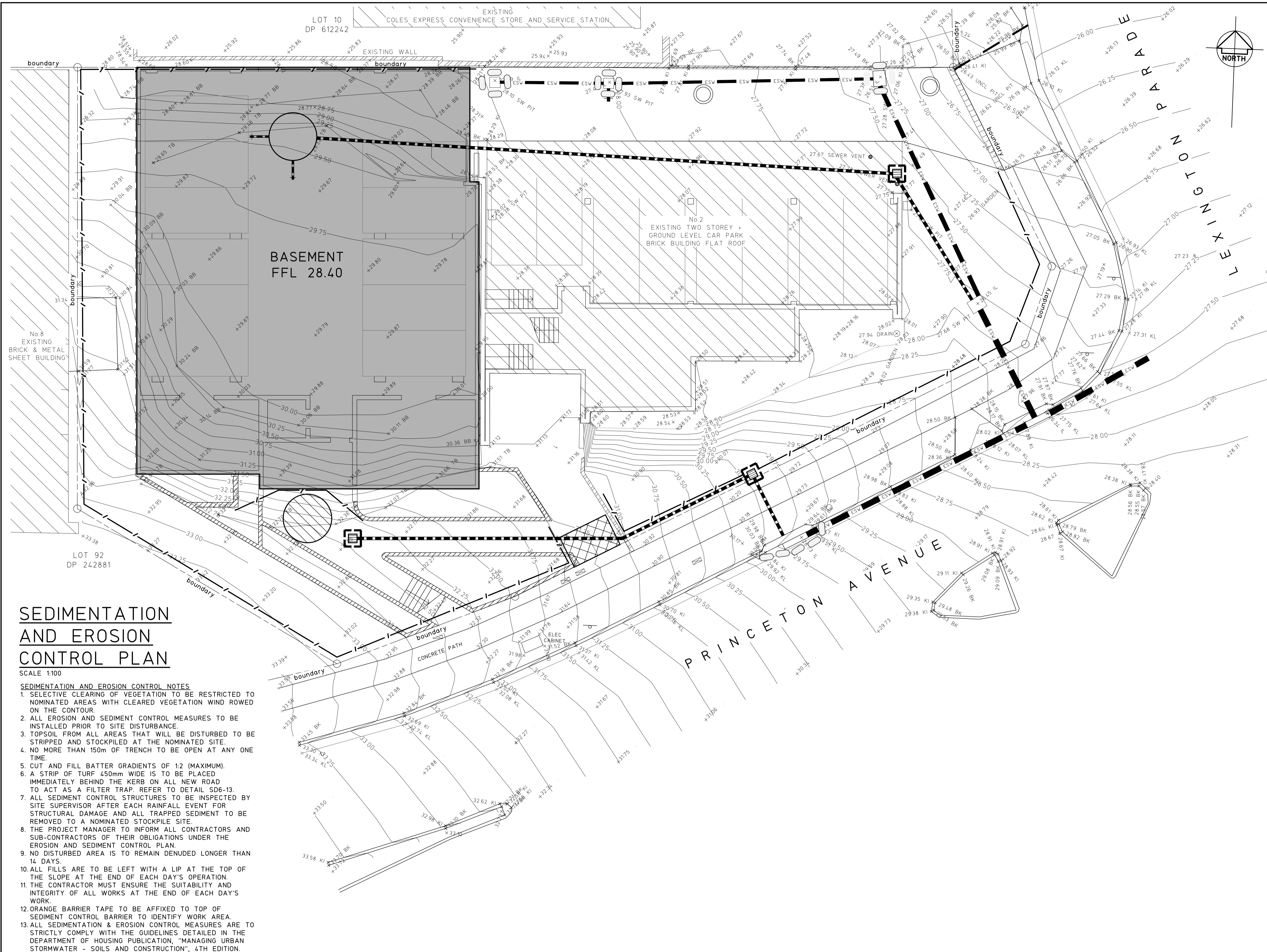
2 Princeton Avenue Adamstown Heights NSW 2289

Height Compliance

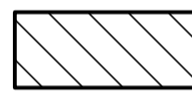
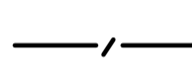
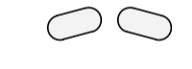


Diagrams
A-4008 01

AS SHOWN 11/8/21

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LEGEND

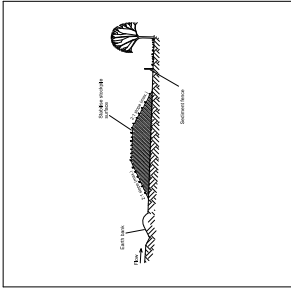
-  DENOTES ALLOWABLE AREA FOR TEMPORARY STOCKPILING OF CUT SOIL MATERIAL, REFER TO DETAIL SD4-1
-  DENOTES SEDIMENT FENCE, REFER TO DETAIL SD6-8
-  DENOTES MESH AND GRAVEL INLET FILTER, REFER TO DETAIL SD6-11
-  DENOTES GEOTEXTILE INLET FILTER, REFER TO DETAIL SD6-12
-  DENOTES STABILISED SITE ACCESS, REFER TO DETAIL SD6-14

SEDIMENTATION AND EROSION CONTROL PLAN
SCALE 1:100

- SEDIMENTATION AND EROSION CONTROL NOTES**
1. SELECTIVE CLEARING OF VEGETATION TO BE RESTRICTED TO NOMINATED AREAS WITH CLEARED VEGETATION WIND ROWED ON THE CONTOUR.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
 3. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE STRIPPED AND STOCKPILED AT THE NOMINATED SITE.
 4. NO MORE THAN 150m OF TRENCH TO BE OPEN AT ANY ONE TIME.
 5. CUT AND FILL BATTER GRADIENTS OF 1:2 (MAXIMUM).
 6. A STRIP OF TURF 450mm WIDE IS TO BE PLACED IMMEDIATELY BEHIND THE KERB ON ALL NEW ROAD TO ACT AS A FILTER TRAP. REFER TO DETAIL SD6-13.
 7. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED BY SITE SUPERVISOR AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED STOCKPILE SITE.
 8. THE PROJECT MANAGER TO INFORM ALL CONTRACTORS AND SUB-CONTRACTORS OF THEIR OBLIGATIONS UNDER THE EROSION AND SEDIMENT CONTROL PLAN.
 9. NO DISTURBED AREA IS TO REMAIN DENUDED LONGER THAN 14 DAYS.
 10. ALL FILLS ARE TO BE LEFT WITH A LIP AT THE TOP OF THE SLOPE AT THE END OF EACH DAY'S OPERATION.
 11. THE CONTRACTOR MUST ENSURE THE SUITABILITY AND INTEGRITY OF ALL WORKS AT THE END OF EACH DAY'S WORK.
 12. ORANGE BARRIER TAPE TO BE AFFIXED TO TOP OF SEDIMENT CONTROL BARRIER TO IDENTIFY WORK AREA.
 13. ALL SEDIMENTATION & EROSION CONTROL MEASURES ARE TO STRICTLY COMPLY WITH THE GUIDELINES DETAILED IN THE DEPARTMENT OF HOUSING PUBLICATION, "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION", 4TH EDITION.
 14. WATER TRUCKS TO BE USED AS REQUIRED TO PREVENT WIND EROSION.
 15. SUBGRADE MATERIAL TO BE CONSTRUCTED IMMEDIATELY FOLLOWING FILL.

NOT FOR CONSTRUCTION

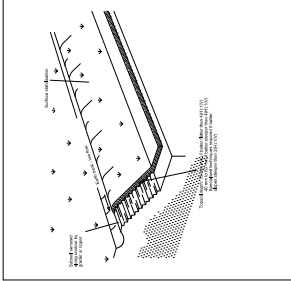
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<p>1 REVISD DEVELOPMENT APPLICATION</p>	<p>8.9.21</p>			<p>TITLE</p> <p>SEDIMENTATION AND EROSION CONTROL PLAN</p>	<p>DRAWN</p> <p>J.L.</p>	<p>ENGINEER</p> <p>P.M.</p>	<p>No in SET</p> <p>-</p>	<p>SHEET</p> <p>A1</p>	
<p>0 DEVELOPMENT APPLICATION</p>	<p>8.3.21</p>			<p>SCALES</p> <p>1:100</p>	<p>JOB No</p> <p>210291</p>	<p>DRAWING No</p> <p>C01</p>	<p>ISSUE</p> <p>1</p>		
ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE	ISSUE				



Construction Notes

1. Place stockpile on a 2:1 gradient. 3:1 gradient from existing vegetation.
2. Construct on the outer and/or the 1:1 slope.
3. Construct on the outer and/or the 1:1 slope.
4. Where possible, use a 1:1 slope for more than 10m. Maintain 10m from the approval.
5. Construct with Bank Stabilisation Drains and/or the stockpile side to lower water content.

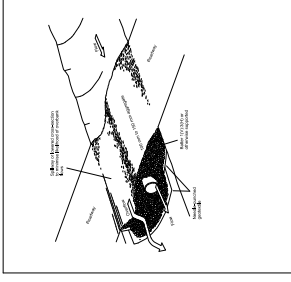
SD 4-1 STOCKPILES



Construction Notes

1. Replace topsoil to a depth of 100mm.
2. Replace topsoil to a depth of 100mm.
3. Replace topsoil to a depth of 100mm.
4. Replace topsoil to a depth of 100mm.
5. Replace topsoil to a depth of 100mm.

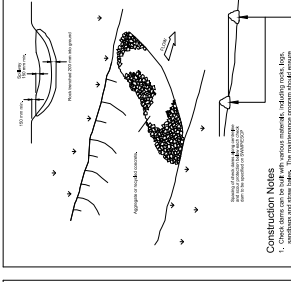
SD 4-2 REPLACING TOPSOIL



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

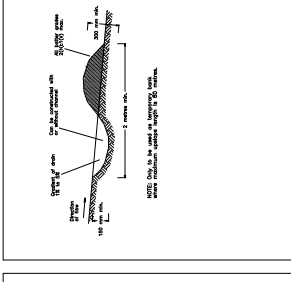
SD 5-1 TEMPORARY WATERWAY CROSSING



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

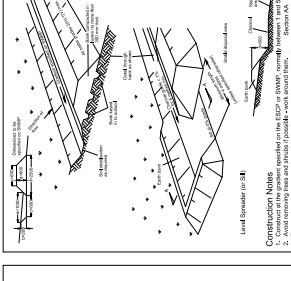
SD 5-4 ROCK CHECK DAM



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

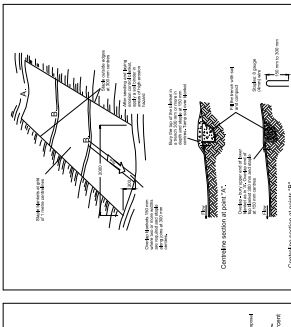
SD 5-3 EARTH BANK (LOW FLOW)



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

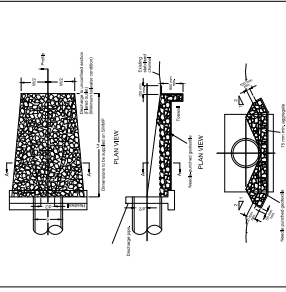
SD 5-6 EARTH BANK (HIGH FLOWS)



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

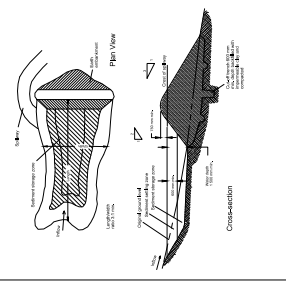
SD 5-7 RECP - CONCENTRATED FLOW



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

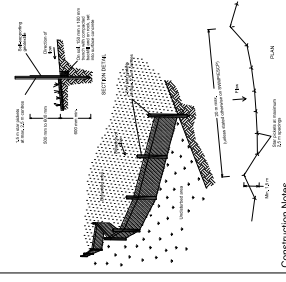
SD 5-8 ENERGY DISSIPATER



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

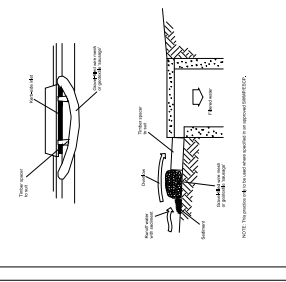
SD 6-4 EARTH BASIN (WET)



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

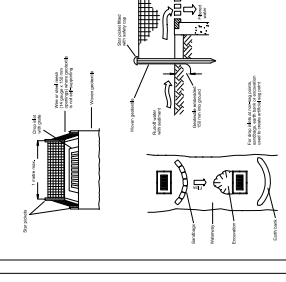
SD 6-8 SEDIMENT FENCE



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

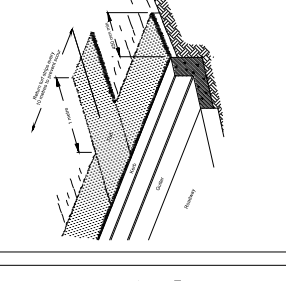
SD 6-11 MESH AND GRAVEL INLET FILTER



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

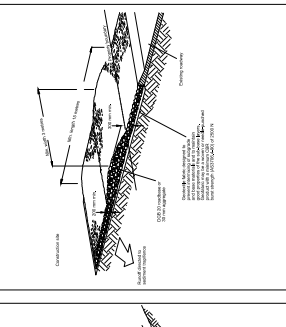
SD 6-12 GEOTEXTILE INLET FILTER



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

SD 6-13 KERBSIDE TURF STRIP



Construction Notes

1. Construct on a 2:1 gradient.
2. Construct on a 2:1 gradient.
3. Construct on a 2:1 gradient.
4. Construct on a 2:1 gradient.
5. Construct on a 2:1 gradient.

SD 6-14 STABILISED SITE ACCESS

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DATE	SIGNATURE
DEVELOPMENT APPLICATION	REASON FOR ISSUE
8.3.21	

CLIENT
MANITTA GROUP

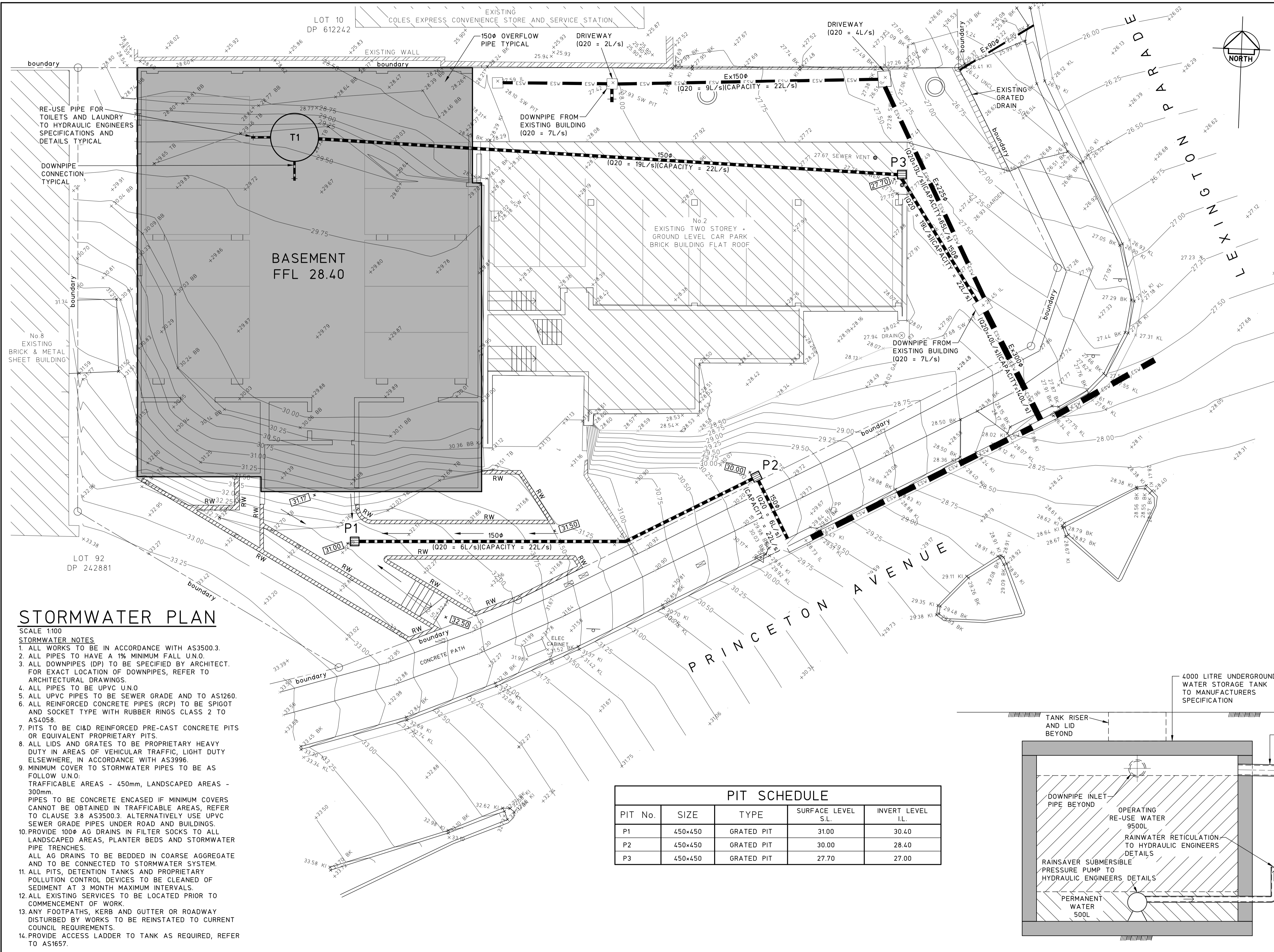
TITLE
SEDIMENTATION AND EROSION CONTROL DETAILS

PROJECT
PROPOSED DEVELOPMENT AT;
LOT 931, DP 569169,
No.2 PRINCETON AVENUE,
ADAMSTOWN HEIGHTS

Level 1: Client
MPC CONSULTING ENGINEERS
PO BOX 550
NEWCASTLE EAST, NSW 2300
Tel: (02) 4927 5896
Fax: (02) 4927 5877
Web: www.mpceng.com.au
A/C/N: 088 242 275

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DRAWN	J.L.	ENGINEER	No in SET	SHEET
SCALE	N.T.S.	JOB No	210291	ISSUE
		DRAWING No	C02	0



NOTE
SETOUT AND ALIGNMENT OF WALLS TO BOUNDARY TO ARCHITECTS DETAILS TYPICAL

NOTE
ALL SETOUT, DIMENSIONS AND RL'S TO ARCHITECTS SPECIFICATION & DETAILS

NOTE
ALL DOWNPIPES FROM EACH UNIT TO CONNECT TO EACH UNITS SILLLINE ABOVE GROUND WATER STORAGE TANK TYPICAL

NOTE
BUILDER TO PROVIDE ADEQUATE SHORING IN ORDER TO MAINTAIN STABILITY OF EXISTING NEIGHBOURING STRUCTURES AND FENCES DURING EXCAVATION WORKS TYPICAL

NOTE
DRIVEWAY GRADES TO CURRENT COUNCIL REQUIREMENTS. BUILDER TO CONFIRM GRADES PRIOR TO CONSTRUCTION OF DRIVEWAY

LEGEND

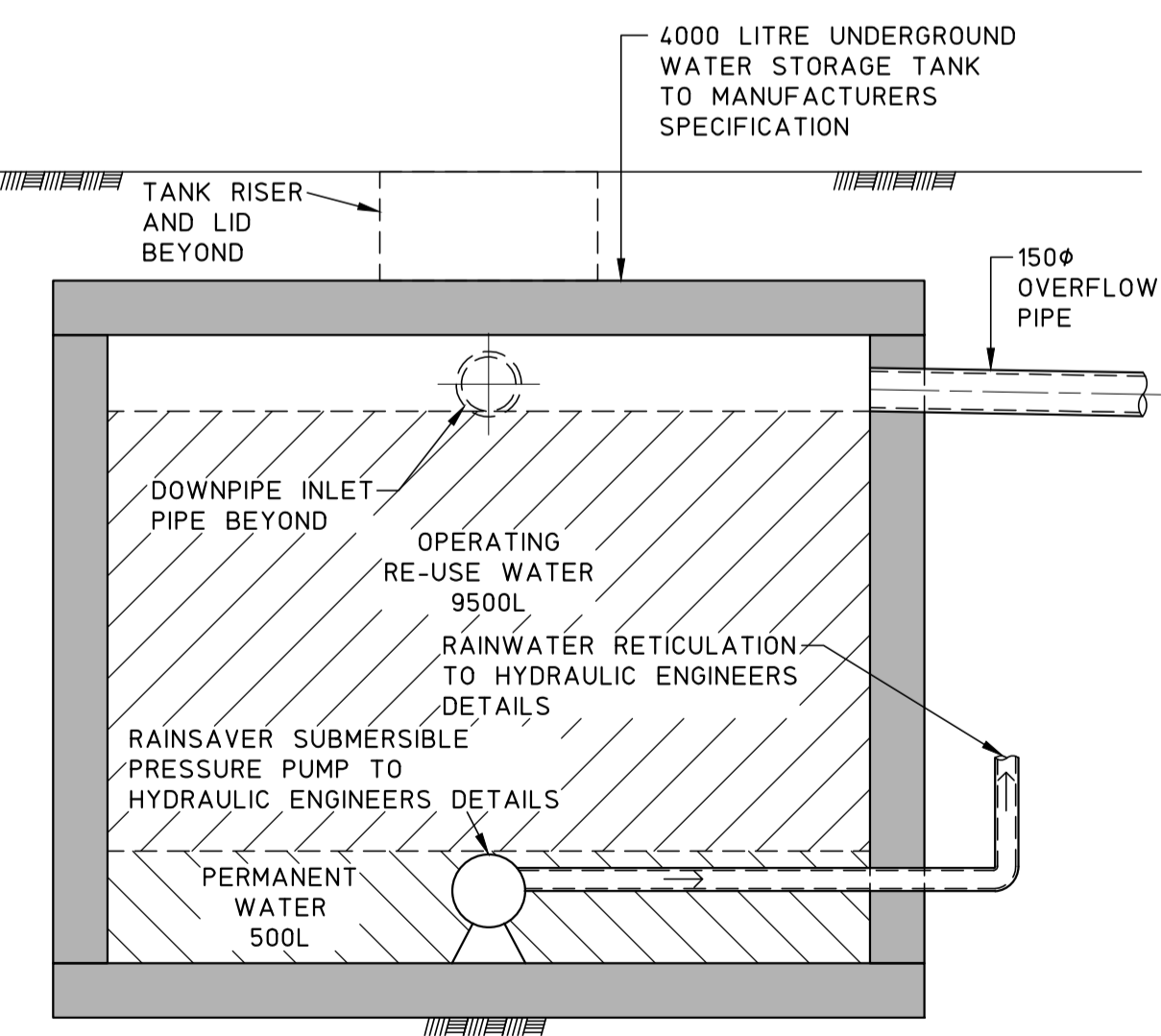
- DENOTES STORMWATER PIPE
- DENOTES EXISTING CONTOUR
- DENOTES EXISTING LEVELS
- DENOTES DESIGN SPOT LEVELS
- DENOTES 120 HIGH KERB U.N.O.
- DENOTES RETAINING WALL
- DENOTES DROPPED EDGE BEAM TO BUILDING SLAB OR PAVEMENT
- DENOTES DIRECTION OF SURFACE FLOWS
- DENOTES 10000 LITRE UNDERGROUND WATER STORAGE TANK STORING ROOF RAINWATER TO MANUFACTURERS SPECIFICATION. TANK SHALL BE FITTED WITH A FIRST FLUSH SYSTEM, PUMP TO SUPPLY TOILETS AND LAUNDRY AND A DIVERSION SWITCH TO MAINS SUPPLY ON TANK BEING EMPTY. BACK FLOW PREVENTION TO MAINS WATER SHALL BE PROVIDED. TANK TO OVERFLOW TO STORMWATER SYSTEM.

STORMWATER PLAN

- SCALE 1:100
- STORMWATER NOTES**
- ALL WORKS TO BE IN ACCORDANCE WITH AS3500.3.
 - ALL PIPES TO HAVE A 1% MINIMUM FALL U.N.O.
 - ALL DOWNPIPES (DP) TO BE SPECIFIED BY ARCHITECT. FOR EXACT LOCATION OF DOWNPIPES, REFER TO ARCHITECTURAL DRAWINGS.
 - ALL PIPES TO BE UPVC U.N.O.
 - ALL UPVC PIPES TO BE SEWER GRADE AND TO AS1260.
 - ALL REINFORCED CONCRETE PIPES (RCP) TO BE SPIGOT AND SOCKET TYPE WITH RUBBER RINGS CLASS 2 TO AS4058.
 - PITS TO BE C18 REINFORCED PRE-CAST CONCRETE PITS OR EQUIVALENT PROPRIETARY PITS.
 - ALL LIDS AND GRATES TO BE PROPRIETARY HEAVY DUTY IN AREAS OF VEHICULAR TRAFFIC, LIGHT DUTY ELSEWHERE, IN ACCORDANCE WITH AS3996.
 - MINIMUM COVER TO STORMWATER PIPES TO BE AS FOLLOW U.N.O.:
TRAFFICABLE AREAS - 450mm, LANDSCAPED AREAS - 300mm.
PIPES TO BE CONCRETE ENCASED IF MINIMUM COVERS CANNOT BE OBTAINED IN TRAFFICABLE AREAS, REFER TO CLAUSE 3.8 AS3500.3. ALTERNATIVELY USE UPVC SEWER GRADE PIPES UNDER ROAD AND BUILDINGS.
 - PROVIDE 1000 Ø AG DRAINS IN FILTER SOCKS TO ALL LANDSCAPED AREAS, PLANTER BEDS AND STORMWATER PIPE TRENCHES.
ALL AG DRAINS TO BE BEDDED IN COARSE AGGREGATE AND TO BE CONNECTED TO STORMWATER SYSTEM.
 - ALL PITS, DETENTION TANKS AND PROPRIETARY POLLUTION CONTROL DEVICES TO BE CLEANED OF SEDIMENT AT 3 MONTH MAXIMUM INTERVALS.
 - ALL EXISTING SERVICES TO BE LOCATED PRIOR TO COMMENCEMENT OF WORK.
 - ANY FOOTPATHS, KERB AND GUTTER OR ROADWAY DISTURBED BY WORKS TO BE REINSTATED TO CURRENT COUNCIL REQUIREMENTS.
 - PROVIDE ACCESS LADDER TO TANK AS REQUIRED, REFER TO AS1657.

PIT SCHEDULE

PIT No.	SIZE	TYPE	SURFACE LEVEL S.L.	INVERT LEVEL I.L.
P1	450x450	GRATED PIT	31.00	30.40
P2	450x450	GRATED PIT	30.00	28.40
P3	450x450	GRATED PIT	27.70	27.00



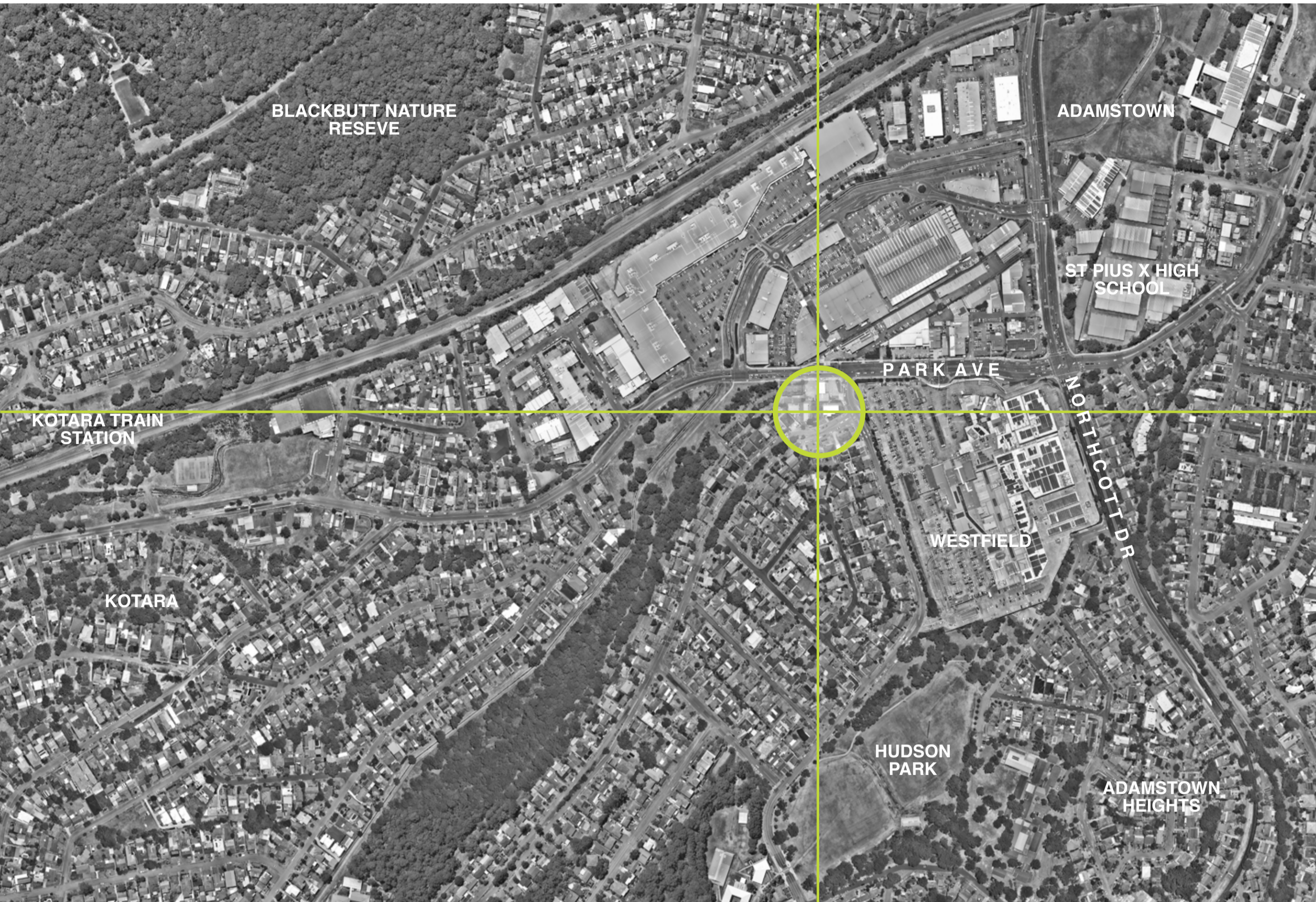
TYPICAL TANK (T1) DETAIL
SCALE 1:20

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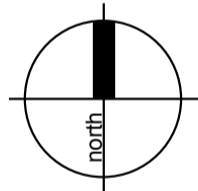
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DRAWN	ENGINEER	No in SET	SHEET																						
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1:100, 20	210291	C03	1																						
1	REVISED DEVELOPMENT APPLICATION	8.9.21																							
0	DEVELOPMENT APPLICATION	8.3.21																							
ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE	ISSUE																				

MANITTA PRINCETON DEVELOPMENT

April 2021



LOCATION MAP



Drawing Schedule

Name	Drawing Number	Revision
Cover Sheet	L000	A
Ground Floor Landscape Plan	L101	A
Indicative Plant Schedule On Ground	L301	A

Statutory & Regulatory Guidelines

- The City of Newcastle*
- Newcastle Local Environmental Plan (2012)
 - Newcastle Development Control Plan DCP (2012)
 - NSW Apartment Design Guide: 4O - Landscape Design & 4P - Planting on Structures

Site Description:

The subject site is located at Lot 931(DP 569169) and the street address is 2 Princeton Avenue, Adamstown Heights, NSW.

The existing topography of the site is relatively flat site with a cross fall from the approximate high point RL 33.25 located on the north-east corner to the approximate low point RL 26.5 located in the south-west corner of the site with a fall of approximately 6.75 metres.

A two storey commercial brick building with undercroft car parking and vehicular access to Lexington Parade. This building will be retained as part of this proposal. There is currently some boundary planting and expanses of hard paved areas. To the west of the site is undeveloped area of self-vegetated, unmanaged land which slopes to a retaining wall on the northern boundary.

Local Context/Character:

The existing street character residential, generally buildings are two storey with a mix of single dwellings and multidwellings.

Princeton Avenue has minimal street tree plantings with predominantly off-street parking associated with the residential lots. The street splits into two, one-way streets, separated by a sloped vegetated nature strip. The nature strip has a mix of native and exotic species. The street has concrete kerbs and guttering with mown turf verge areas. The very few tree plantings and existing vegetation occur within the front garden areas of the residential lots and are predominantly exotic species. The very few trees and existing vegetation occurs within the front garden areas of the residential lots and are predominantly exotic species.

The only apparent infrastructure associated with the subject site is the pedestrian island crossing on Princeton Avenue and the overhead powerlines located on the north side of Princeton Avenue. The subject site is located adjacent to Kotara Westfield (located on Lexington Parade) and an existing Service Station (on the northern boundary). It is also in close proximity to Kotara commercial precinct (located on Park Ave) and the Kotara Railway Station.

Proposed Development:

The proposed development will include a four level, 7 apartment residential flat building. There is a basement level carpark and the driveway entry to this car park is located to the north-west corner of the site.

There are private open space and public domain areas associated with this development and are as follows:

Private Open Space:

Private open space terrace and courtyard areas have been provided for each of the units on site and are in accordance with the minimum area requirements with Council's DCP & NSW Planning & Environment; Apartment Design Guide.

The landscape intent for these private open space terrace areas will include the following:

- Private terrace or courtyard areas for the each of the apartments that can be used for outdoor entertaining,
- Suitable screening between courtyard areas of each unit for privacy,
- Landscape buffer zone between the private open space terrace areas and any common open space areas for privacy
- Raised Garden Beds/Planters for individual private terrace areas and for residents to take ownership of their own garden bed (optional). Raised garden beds to provide a physical separation between private open space terrace areas and common open space terrace areas.

The private open space areas for the apartment/unit complexes will include raised planters

on structure. All raised planters to include minimum suitable soil media in relation to trees, shrubs & groundcovers to promote optimum plant growth and in accordance with NSW Planning & Environment; Apartment Design Guide; Part 4P, Planting on Structures.

Public Domain Areas:

Public domain works with this residential flat building development will include street improvement works to Princeton Avenue.

These public domain improvement works will include the following:

- New insitu concrete footpaths to Council standards
- New turf verge and/or verge planting to Council standards

Species selection and location of all verge plantings will be in respect to existing/proposed services and infrastructure, on street car parking and car door openings.

Planting Design Strategy:

The planting design strategy for this residential flat building development to include the following:

- Tree planting within appropriate deep soil zones to reduce bulk & scale of the development
- Evergreen tree planting to provide shade & amenity
- Deciduous tree planting to allow for solar access & seasonal change
- A broad planting palette to include a variety native species & exotic species to provide colour, texture, aroma & form
- Implementation of some indigenous species to encourage canopy corridor links and bio-diversity

With the proposed landscape design for this development we would implement the following safety planting initiatives:

- Avoid planting tree species that are prone to potential limb drop
- Avoid planting species close to paths and hard paved areas that are known for excessive flower and foliage drop that may cause potential slip hazards
- Avoid planting species that are known for invasive root structure that may cause damage to existing infrastructure and damage paths & hard paved areas, which may cause potential trip hazards
- Avoid planting species that are known to be toxic or may cause respiratory, allergy and/or skin irritations

Shrub species, sizing & locations are to ensure that passive surveillance is maintained at building, carpark & driveway entries path and all plantings are to be layered with smaller groundcovers and shrubs adjacent to paths and buildings in accordance with Crime Prevention Through Environmental Design (CPTED) principles.

All proposed plant species selection has been considered in terms of soil types, species hardiness and on-going watering maintenance requirements. Predominantly low water use species (both native & exotic) have been grouped in regard to watering requirements and to reduce reliance on use of potable water.



Existing Trees to be Retained & Protected.
 Cascading Plants Over Retaining Wall. Refer Indicative Schedule.
 Small Feature Tree in Terraced Garden Bed. Refer Indicative Schedule.

Existing Right of Way to be Maintained as Mown Turf.
 Small Feature Tree in Raised Planter on Suspended Slab. Refer Indicative Schedule.
 Terrace Paving. Refer Architects Drawings.
 Shrub Planting & Ground-covers in Raised Planter on Suspended Slab. Refer Indicative Schedule.

Insitu Concrete Stairs with Tactile Indicators & Handrails to AS1428.1
 Retaining walls to Raised Garden Beds. Max 1m (H).
 Small Feature Trees in Raised Garden Bed. Refer Indicative Schedule.
 Insitu Colour Oxide Paving
 Small Feature Trees in Shrub Planting. Refer Indicative Schedule.
 Make Good Existing Turf Verge.

LEGEND	
	Lot Boundary Line
	Building Line
	Building Level Line Over
	Fence Type 1 Nom 900mm H
	POS POS Terrace Paving Refer Architects Drawing
	Insitu Colour Oxide Paving
	Retaining Walls to Raised Garden Bed
	G1 Gate
	Turf
	Shrub Planting Refer Indicative Schedule
	Accent Shrub Planting Refer Indicative Schedule
	Cascading Groundcover Planting Refer Indicative Schedule
	Existing Tree to be Retained & Protected
	Small Feature Tree Refer Indicative Schedule

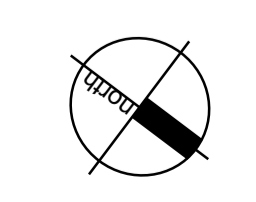
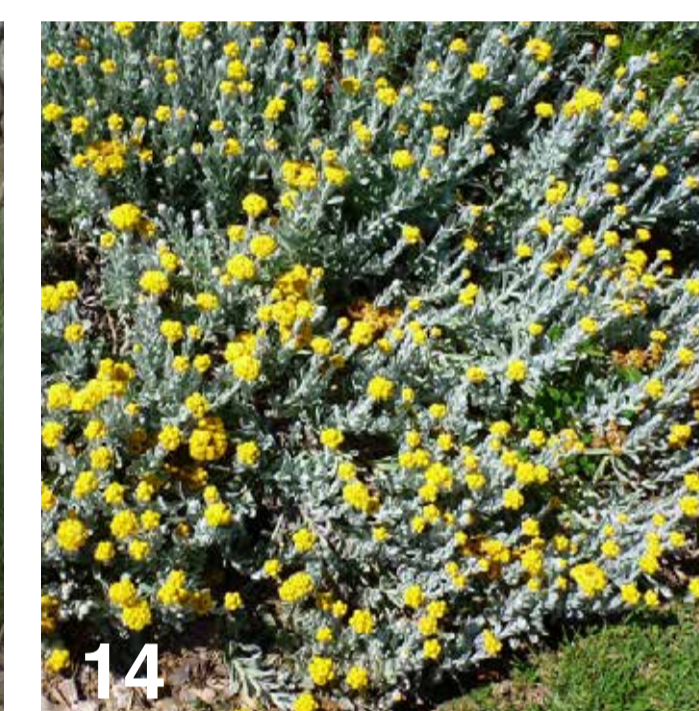
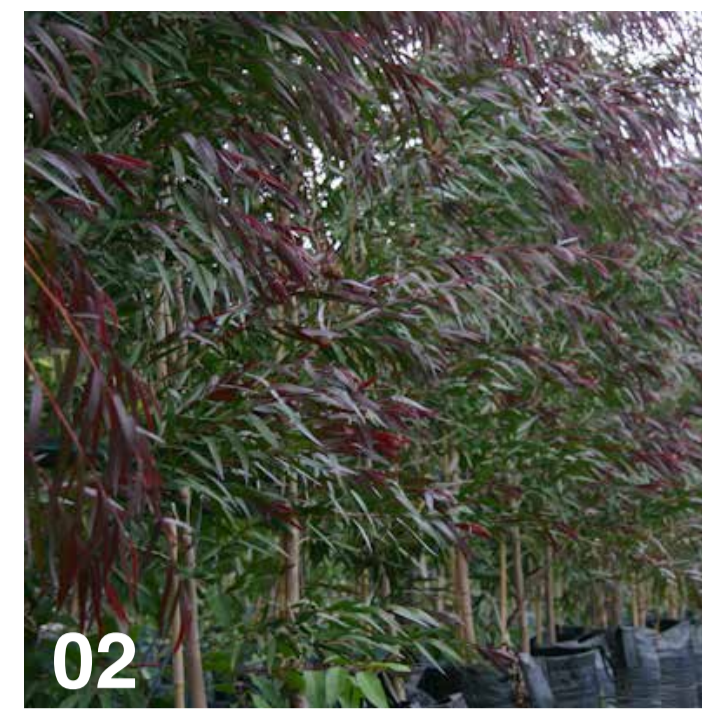


Image	Botanical Name	Common Name	Mature Height (m.)	Mature Spread (m.)	Pot Size	Comments	Soil Types *
Small Feature Trees							
	<i>Acacia conyeri</i>	Blue Bush	4	3			
01	<i>Acacia floribunda</i>	Sally Wattle	4	2.5			
02	<i>Agonis flexuosa 'Burgundy'</i>	Burgundy WA Pepper	5	3			
	<i>Angophora costata 'Darni'</i>	Dwarf Smooth-barked Apple	4.5	2.5			
03	<i>Buckinghamia celsissima</i>	Ivory Curl Tree	7	3	45L		
	<i>Callicoma serratifolia</i>	Black Wattle	6	3			
	<i>Ceratopetalum gummiferum</i>	NZ Christmas Bush	6	1.5			
	<i>Eucalyptus caesia</i>	Silver Princess	6	3	75L		
04	<i>Eucalyptus 'Summer Beauty'</i>	Pink Flowering Gum	5	3			
	<i>Eucalyptus 'Summer Red'</i>	Pink Flowering Gum	5	3			
	<i>Leptospermum trinervium</i>	Paperbark Tea-Tree	2.5	2	45L		
Deciduous Trees							
05	<i>Lagerstoemia indica</i>	Crepe-myrtle	9	3			
	<i>Magnolia denudata</i>	Yulan Magnolia	5	4			
	<i>Plumeria obtusa</i>	Singapore Plumeria	7	5			
06	<i>Prunus cerasifera</i>	Purple Leaf Plum	6	6			
Shrubs							
07	<i>Banksia Robur</i>	Swamp Banksia	2	2			
08	<i>Phormium tenax</i>	NZ Flax	2	1.5			
	<i>Phormium tenax 'Purpurea'</i>	Purple NZ Flax	2	1.5			
09	<i>Westringia fruticosa</i>	Coastal Rosemary	2	2			
Shrubs < 1.5m							
10	<i>Callistemon viminalis 'Little John'</i>	Little John Bottlebrush	0.7	0.7			
	<i>Correa alba 'Prostrate'</i>	Prostrate White Correa	0.5	1			
	<i>Correa reflexa</i>	Common Correa	0.8	0.6			
	<i>Dianella caerulea 'King Alfred'</i>	King Alfred Flax Lily	0.7	0.7			
11	<i>Juncus usitatus</i>	Tussock Rush	1	0.3			
12	<i>Leucophyta brownii</i>	Cushion Bush	1	1			
13	<i>Poa labillardieri 'Eskdale'</i>	Green Tussock Grass	0.6	0.5			
Mass Planted Groundcovers							
	<i>Acacia cognata 'Limelight'</i>	Bower Wattle	0.8	1.2	140mm		
	<i>Hardenbergia violacea</i>	Native Sarsparilla	0.5	3	140mm		
14	<i>Helichrysum 'Yellow Buttons'</i>	Licorice Plant	0.6	1.5			
15	<i>Rhagodia spinescens</i>	Hedge Saltbush	0.5	2			
	<i>Russelia equiformis</i>	Coral Plants	0.5	3	200mm		
16	<i>Myoporum parvifolium 'Yareena'</i>	Yareena Creeping Boobialla	0.1	1	140mm		
Cascading							
17	<i>Carpobrotus glaucescens</i>	Pigface	0.4	1			
18	<i>Casuarina glauca 'Cousin It'</i>	Cousin It Prostate Sheoak	0.1	1.5			
19	<i>Dichondra argentea 'Silver Falls'</i>	Dichondra argentea 'Silver Falls'	0.1	1.2			
20	<i>Rosmarinus officinalis 'Blue Lagoon'</i>	Blue Lagoon Rosemary	0.3	1			





ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 19/10/21 - 2 Princeton Avenue Adamstown Heights -
DA2021/00729 - Residential Flat Building - Three Storey Residential
Flat Building Comprising Seven Units and Basement Parking,
Associated Earthworks, Landscaping and Infrastructure**

ITEM-19 Attachment B: Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



Application No:	DA2021/00729
Land:	Lot 931 DP 569169
Property Address:	2 Princeton Avenue Adamstown Heights NSW 2289
Proposed Development:	Residential Flat Building - Three storey residential flat building comprising seven units and basement parking, associated earthworks, landscaping and infrastructure

SCHEDULE 1

APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Plans	Project 20071 Dwg No A-1005 Rev 3 A-1101 Rev 3 A-1102 Rev 3 A-1103 Rev 3 A-1104 Rev 3 A-1105 Rev 3 A-2001 Rev 3 A-3001 Rev 3 A-5001 Rev 3 A-5002 Rev 3	CKDS	4/5/21
Engineering Plans	Job No 210291 Drg. No: C01, Issue 1 C03, Issue 1	MPC Consulting Engineers	08.09.2021
Landscape Plans	Project No 20144 Dwg No L000 Rev A L001 Rev A L301 Rev A	Xeriscapes	7/4/21
Basix Certificate	119126OM	Chapman Environmental Services	13/4/21
Air and Odour Report		Advitech Environmental	1 February 2021
Noise Impact Assessment	EMS21 8437	Environmental Monitoring Services	23 March 2021
Detailed Contamination Assessment		Agility Engineering	19 February 2020
SEPP 33 Screening		Advitech	19 May 2021

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

2. On-site parking accommodation is to be provided for a minimum of 9 vehicles and such be set out generally in accordance with the minimum parking layout standards indicated in Element 7.03 'Traffic, Parking and Access' of Council's adopted Newcastle Development Control Plan 2012. A bicycle rack for a minimum of 8 bicycles is to be included inside a basement storage room. Full details are to be included in documentation for a Construction Certificate application.
3. The car parking and vehicular access are to be designed to comply with the relevant provisions of *AS/NZS 2890 Parking facilities*. Details are to be included in documentation for a Construction Certificate application.
4. Roof water from the proposed new work is to be directed to the proposed water tank with a minimum capacity of 10,000 litres and being reticulated to any new toilet cisterns and cold-water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be included in documentation for a Construction Certificate application.
5. All new impervious surfaces, including driveways and paved areas are to be drained to the nominated discharge controls. Details are to be included in documentation for a Construction Certificate application.
6. Any required clothes drying lines are to be screened from the street. Full details are to be included in the documentation for a Construction Certificate application.
7. The Developer designing and constructing the following works in connection with the proposed development within the Princeton Avenue public road reserve, adjacent to the site, at no cost to Council and in accordance with Council's guidelines and design specifications:
 - a) Stormwater connection to kerb inlet pit
 - b) Concrete footpath above stairs internal to site

Engineering design plans and specifications for the works being undertaken within the public road reserve are required to be prepared by a suitably qualified practising civil engineer with experience and competence in the related field and submitted to Council for approval pursuant to Section 138 of the Roads Act 1993 (NSW). The consent must be obtained, or other satisfactory arrangements confirmed in writing from Council, before the issue of a Construction Certificate.

8. The provision of Left Only regulatory signage for vehicles entering and exiting the site to be shown on the plans at the Lexington Parade driveway crossing. Full details to be submitted with the required Construction Certificate application.
9. The design of the proposal is to be in accordance with the plans stamped by Subsidence Advisory NSW. Full details are required to be submitted with the required Construction Certificate.

10. The proponent shall engage a suitably licensed asbestos removal contractor to remove the asbestos from the soil in accordance with the Detailed Contamination Assessment prepared by Agility Engineering dated 19 February 2020 and the Code of Practice for the Safe Removal of Asbestos [NOHSC:2002(2005)] and transport the asbestos waste to premises that can lawfully be used as a waste facility for that waste. Clearance certification to verify that the asbestos has been removed from the premises to a satisfactory standard is to be provided by an appropriately qualified occupational hygienist. This certification is to be included in the documentation for a Construction Certificate application.
11. The acoustic performance of all mechanical plant and equipment associated with the building is to be assessed by an appropriately qualified acoustic consultant prior to the issue of any required Construction Certificate. Documentation prepared by the appropriately qualified acoustic consultant certifying the development meets the recommendations set out in the report prepared by Noise Impact Assessment - Environmental Monitoring Service, dated 23 March 2021, must be provided to the Accredited Certifier prior to release of any Construction Certificate.
12. Adequate ventilation being provided to the residential units in accordance with the requirements of the Building Code of Australia, whilst maintaining the required level of acoustic attenuation as detailed in the Acoustic Assessment report prepared by Environmental Monitoring Services dated 23 March 2021. Full details are to be included in the documentation for a Construction Certificate application.
13. The required approvals being obtained from Ausgrid, as detailed within their letter dated 12 July 2021 (Ref 1900108061) at attached, prior to the commencement of any works and issue of any Construction Certificate.
14. A total monetary contribution of \$29,652.93 is to be paid to the City of Newcastle, pursuant to Section 7.12 of the *Environmental Planning and Assessment Act 1979*, such contribution to be payable prior to the issue of a Construction Certificate in respect of the proposed development.

Note:

- i) This condition is imposed in accordance with the provisions of the City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019*.
- ii) The City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019* permits deferred or periodic payment of levies in certain circumstances. A formal modification of this condition will be required to enter into a deferred or periodic payment arrangement.
- iii) The amount of contribution payable under this condition has been calculated on the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.

CPI quarterly figures are released by the ABS on a date after the indexation quarter and, as a guide, these approximate dates are as follows:

Indexation quarters	Approximate release date
September	Late October
December	Late January
March	Late April
June	Late July

Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.

15. All stormwater runoff from the proposed development being managed in accordance with the requirements of Element 7.06 'Stormwater' of Newcastle Development Control Plan 2012, the associated Technical Manual and the latest issue of AS 3500.3 as applicable, as indicated on the stormwater management concept plan prepared by MPC Consulting Engineers (Job No 210291 Drg. No. C01 & C03, Issue 1, dated 08.09.2021). Full details are to be included in documentation for a Construction Certificate application.
16. All proposed planting and landscape elements indicated on the submitted landscape concept plan or otherwise required by the conditions of this consent are to be detailed on a comprehensive landscape plan and specification. The plan and specification are to be prepared in accordance with the provisions of Newcastle Development Control Plan 2012 and is to include details of the following:
 - a) cross sections through the site
 - b) proposed contours or spot levels
 - c) botanical names
 - d) quantities and container size of all proposed trees
 - e) shrubs and ground cover
 - f) details of proposed soil preparation
 - g) mulching and staking
 - h) treatment of external surfaces and retaining walls where proposed
 - i) provision of an automatic watering system should be provided to all on-structure landscape areas
 - j) drainage, location of taps and
 - k) maintenance periods.

The plan and specification are to be prepared by a qualified landscape designer and be included in documentation for a Construction Certificate application.

17. The applicant is to comply with all of Hunter Water's requirements to provide your development with water supply and sewerage services. A copy of Hunter Water's compliance certificate (*Hunter Water Act 1991* - Section 50) must be submitted with your Construction Certificate application.
18. A group type mailbox is to be provided at the street frontage in accordance with the requirements of Australia Post, clearly displaying individual unit numbers and the required house number. Full details are to be included in the documentation for a Construction Certificate application.
19. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve pursuant to Section 138 of the *Roads Act 1993*. The consent is to be obtained, or other satisfactory arrangements confirmed in writing from the City of Newcastle, before the issue of a Construction Certificate.
20. All proposed driveways, parking bays and vehicular turning areas are to be constructed with a basecourse of a depth to suit design traffic and be sealed with either bitumen

seal, asphaltic concrete, concrete or interlocking pavers. Details are to be included in documentation for a Construction Certificate application.

21. A design verification statement from a qualified designer shall be submitted to the Certifying Authority. The statement shall confirm the Construction Certificate plans and specifications achieve or improve the design quality of the development for which consent is granted, having regard to the design quality principles set out in Part 2 of *State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development*.

Full details are to be included in the documentation for the first Construction Certificate for the residential flat development.

Note: 'Qualified Designer' means a person registered as an architect in accordance with the *Architects Act 2003*. This condition is imposed in accordance with Clauses 143A of the *Environmental Planning and Assessment Regulation 2000*.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

22. Waste management is to be implemented in accordance with the approved Waste Management Plan. At a minimum, the following measures are to be implemented during the construction phase:
- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste;
 - b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
 - c) Provision is to be made to prevent windblown rubbish leaving the site; and
 - d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

23. Certification is to be prepared by a Registered Surveyor and submitted to the Principal Certifier at the stages of construction indicated:
- a) On completion of ground floor construction, confirming that the floor levels are in accordance with the approved levels.
 - b) On completion of each subsequent floor level, confirming that the floor levels are in accordance with the approved levels.
 - c) When the roof has been completed, confirming that the building does not exceed the approved levels.
24. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
25. Stormwater is to be conveyed to the existing property stormwater drains by way of a sealed pipe system. The existing drains are to be checked for adequacy and cleared of any obstructions.

26. On-site car parking accommodation is to be provided for a minimum of 9 vehicles and such being set out generally in accordance with the details indicated on the submitted plans except as otherwise provided by the conditions of consent.
27. City of Newcastle's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

28. Any excavated material to be removed from the site is to be assessed and classified in accordance with the NSW Environment Protection Authority's '*Waste Classification Guidelines Part 1: Classifying Waste*' and be transported and disposed of in accordance with the provisions of the *Protection Of The Environment Operations Act 1997* and the *Protection Of The Environment (Waste) Regulation 2014*.
29. Any fill material imported into the site is to be Virgin Excavated Natural Material or material subject to a Resource Recovery Order that is permitted to be used as a fill material under the conditions of the associated Resource Recovery Exemption, in accordance with the provisions of the *Protection of the Environment Operations Act 1997* and the *Protection of the Environment (Waste) Regulation 2014*.
30. Documentation verifying compliance with the conditions of a relevant Resource Recovery Order and Resource Recovery Exemption are to be maintained for any material received at the site and subsequently applied to land under the conditions of the Resource Recovery Order and Resource Recovery Exemption. This documentation is to be provided to City of Newcastle officers or the Principal Certifier on request.
31. All necessary measures are to be undertaken to control dust pollution from the site. These measures are to include, but are not limited to:
 - a) Restricting topsoil removal;
 - b) Regularly and lightly watering dust prone areas (note: prevent excess watering as it can cause damage and erosion);
 - c) Alter or cease construction work during periods of high wind; and
 - d) Erect green or black shadecloth mesh or similar products 1.8m high around the perimeter of the site and around every level of the building under construction.
32. All external items of air conditioning plant are to be screened or positioned in such a manner as to not detract from the visual presentation of the building.
33. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
- b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
- c) Be a temporary chemical closet approved under the *Local Government Act 1993*.

34. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

35. All building work is to be carried out in accordance with the provisions of the National Construction Code.
36. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
37. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
38. If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil are to be provided. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
39. The proposed visitor parking bays are to be clearly indicated by means of signs and/or pavement markings.
40. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
- Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

41. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1* (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
42. Prior to the commencement of work, a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.

43. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
44. The existing street trees (16981380 & 16981381) are required to be retained are to be physically protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

45. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
46. Acoustic treatment is to be implemented in accordance with the recommendations set out in the report prepared by Noise Impact Assessment - Environmental Monitoring Services, dated 23 March 2021. Written final certification verifying that the recommended acoustic treatment has been implemented in accordance with the requirements of the above report is to be submitted to the Principal Certifier and the City of Newcastle prior to the issue of an Occupation Certificate.

Note: The acoustic consultant may need to be involved during the construction process, in order to ensure that final certification is achieved.

47. The premises are to obtain allocated street addresses from the City of Newcastle, in accordance with City of Newcastle's *House Numbering Policy* and the *Surveying and Spatial Regulation*, prior to the issue of any Occupation Certificate and any occupation of the premises.
48. Written certification from an appropriately qualified acoustic consultant confirming that noise from all mechanical plant and equipment achieves the required acoustic attenuation to comply with the conditions of consent and the requirements of the *Protection of the Environment Operations Act 1997*, is to be submitted to the Principal Certifier prior to issue of an Occupation Certificate.
49. All commitments listed in the relevant BASIX certificate (No.119126OM) for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the City of Newcastle with Occupation Certificate documentation.
50. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
51. All works within the road reserve required by this consent are to be completed prior to the issue of an Occupation Certificate.

52. A design verification statement from a qualified designer shall be submitted to the Principal Certifying Authority prior to the issue of an Occupation Certificate, whichever occurs first. The statement shall confirm the development has been constructed in accordance with the quality principles set out in Part 2 of State Environmental Planning Policy No. 65 - Design Quality of Residential Flat Development.

Note: 'Qualified Designer' means a person registered as an architect in accordance with the Architects Act 2003. This condition is imposed in accordance with Clauses 154A of the Environmental Planning and Assessment Regulation 2000.

53. A Landscape Establishment Report is to be submitted to Council following completion of a three-month maintenance period, verifying that satisfactory maintenance of the landscape works has been undertaken and any necessary rectification measures have been carried out to a high professional standard; copy of report format attached.
54. The premises are to be identified by the provision of house and street numbers on the building exterior and mailbox, respectively, such that they are clearly visible from the road frontage.

The minimum numeral heights are to be:

- a) Exterior of the building = 75mm and
- b) Group mailbox - street number = 150mm
- house number = 50mm

CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

55. The use and occupation of the premises, including all plant and equipment installed thereon, is not to give rise to any offensive noise, as defined under the *Protection of the Environment Operations Act 1997*.

Should City of Newcastle consider that offensive noise has emanated from the premises, the owner/occupier of the premises will be required to submit an acoustic assessment prepared by a suitably qualified acoustical consultant recommending acoustic measures necessary to ensure future compliance with this condition and will be required to implement such measures within a nominated period. Furthermore, written certification from the said consultant, verifying that the recommended acoustic measures have been satisfactorily implemented, will be required to be submitted to City of Newcastle prior to the expiration of the nominated period.

56. The use and occupation of the premises is not to give rise to the emission of any 'air impurity' as defined under the *Protection of the Environment Operations Act 1997*, that interferes unreasonably with the amenity of neighbouring premises and/or other sensitive receivers.

Should City of Newcastle consider that unreasonable levels of air impurities have been emitted from the premises, the owner/occupier will be required to engage a suitably qualified consultant to recommend measures to control emission of air impurities to an acceptable level and such measures will be required to be implemented within a nominated time period. Furthermore, written certification from the suitably qualified consultant will be required to be submitted to City of Newcastle, confirming that air impurity emissions from the premises do not interfere unreasonably with the amenity of neighbouring premises and/or other sensitive receptors, before the expiration of the nominated period.

57. Access to the underground tank vents by occupants at the northern boundary of the development site is to be prevented via fencing to minimise the risk of interference with the fuel infrastructure as recommended in the SEPP 33 Screening prepared by Advitech 19 May 2021.

ADVISORY MATTERS

- A copy of the final Fire Safety Certificate (together with a copy of the current fire safety schedule) is to be given to the Commissioner of NSW Fire Brigades and a further copy of the Certificate (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.
- An annual Fire Safety Statement in the form described in Clause 175 of the *Environmental Planning and Assessment Regulation 2000* is to be submitted to the City of Newcastle and a copy (together with a copy of the current fire safety schedule) is to be given to the Commissioner of New South Wales Fire Brigades. A further copy of the Statement (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
 - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to a building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000*.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (i.e. 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (i.e. 'on-the-spot fine') or prosecution.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 19/10/21 - 2 Princeton Avenue Adamstown Heights -
DA2021/00729 - Residential Flat Building - Three Storey Residential
Flat Building Comprising Seven Units and Basement Parking,
Associated Earthworks, Landscaping and Infrastructure**

ITEM-19 Attachment C: Processing Chronology

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PROCESSING CHRONOLOGY

DA2021/00729 – 2 Princeton Avenue Adamstown Heights

7 June 2021	Application Lodged
9 to 29 June 2021	Public Notification
28 July 2021	Request for further information
18 August 2021	Additional Information Provided
25 August 2021	Urban Design Review Panel meeting held
3 September 2021	Request for further information
8 September 2021	Additional Information Provided