



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 15/02/2022 – 51 Macquarie Street Merewether -
DA2021/01360 - Dwelling House - alterations and additions**

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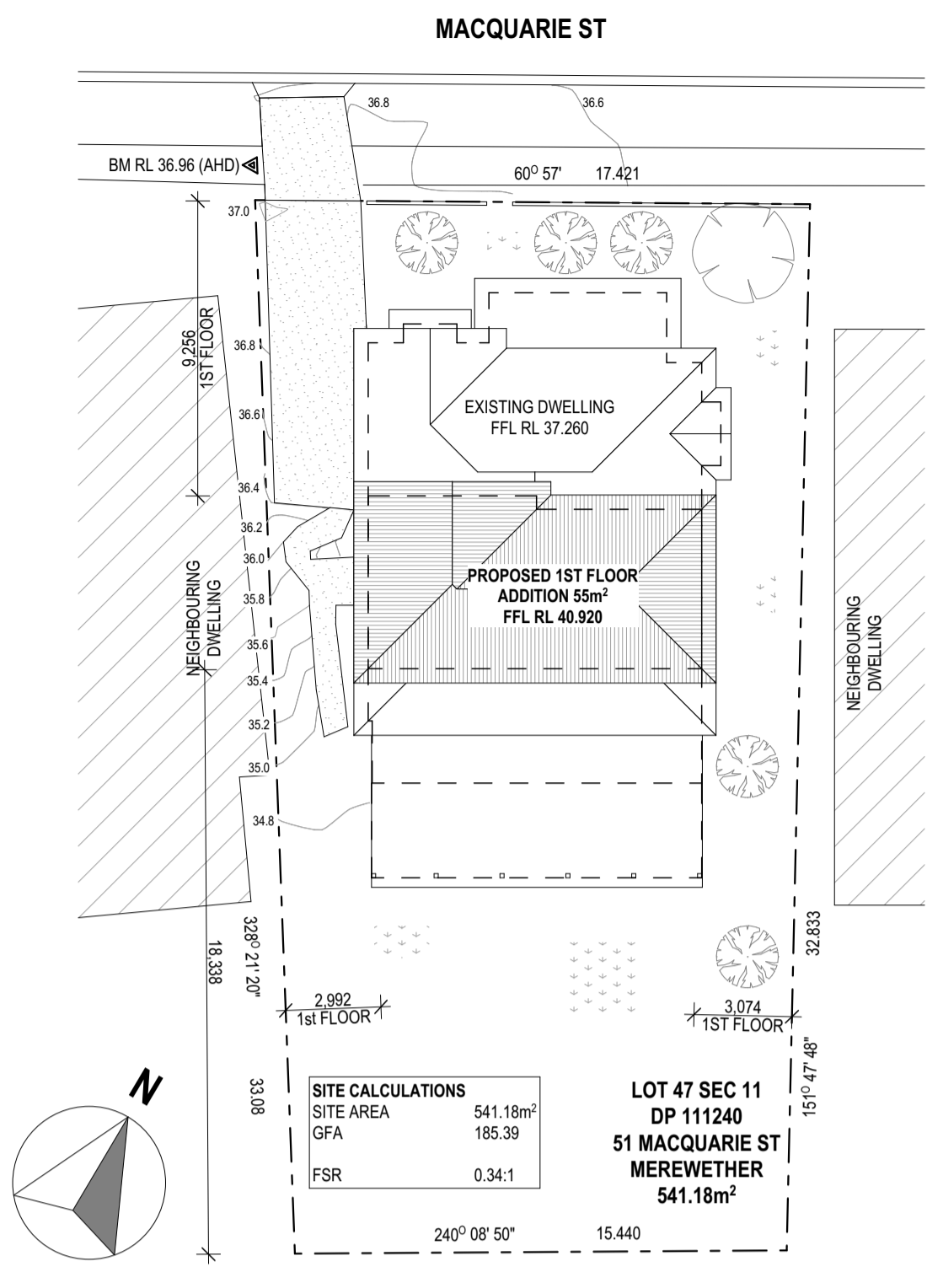
ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 15/02/2022 – 51 Macquarie Street Merewether -
DA2021/01360 - Dwelling House - alterations and additions**

ITEM-1 Attachment A: Submitted Plans

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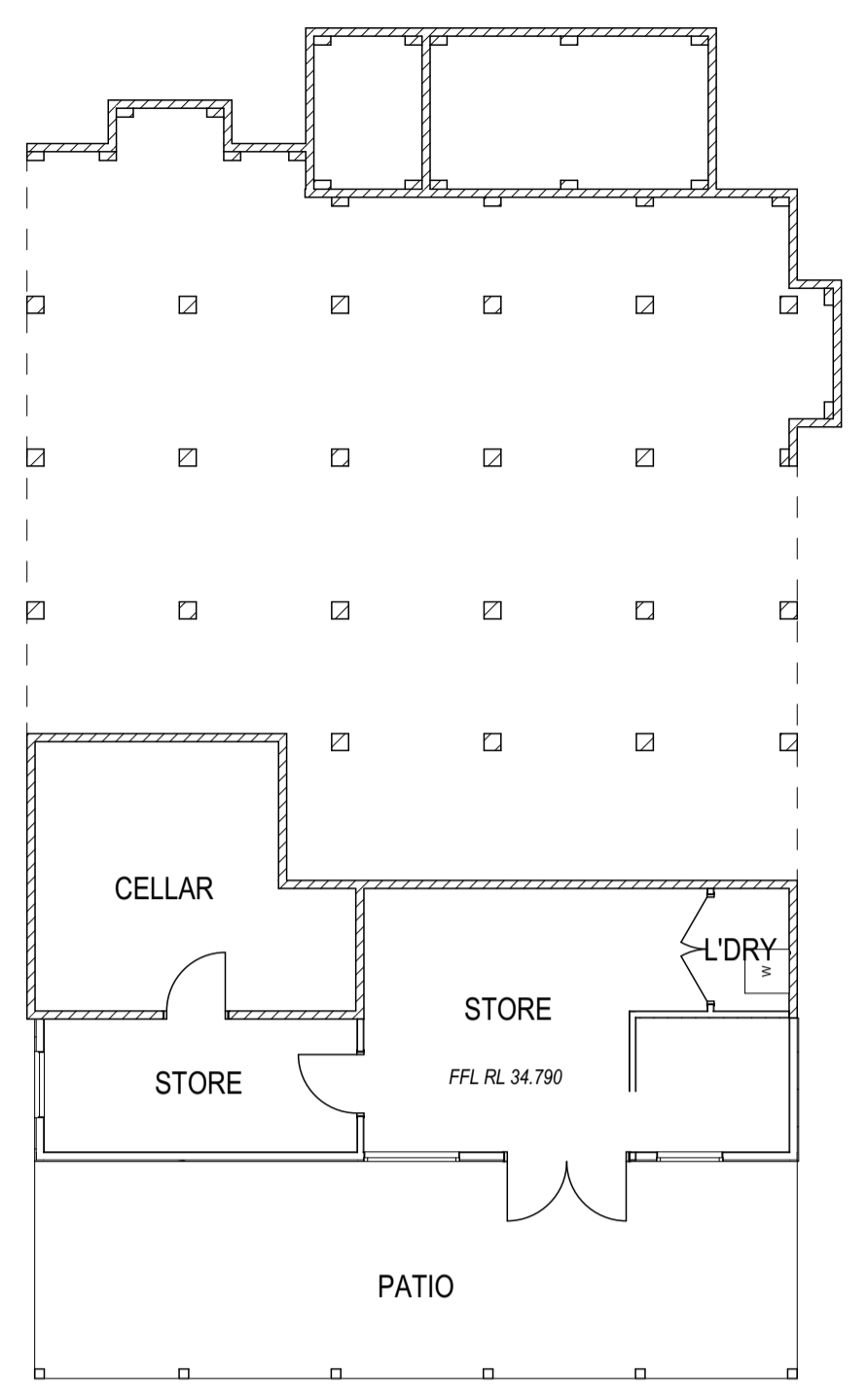




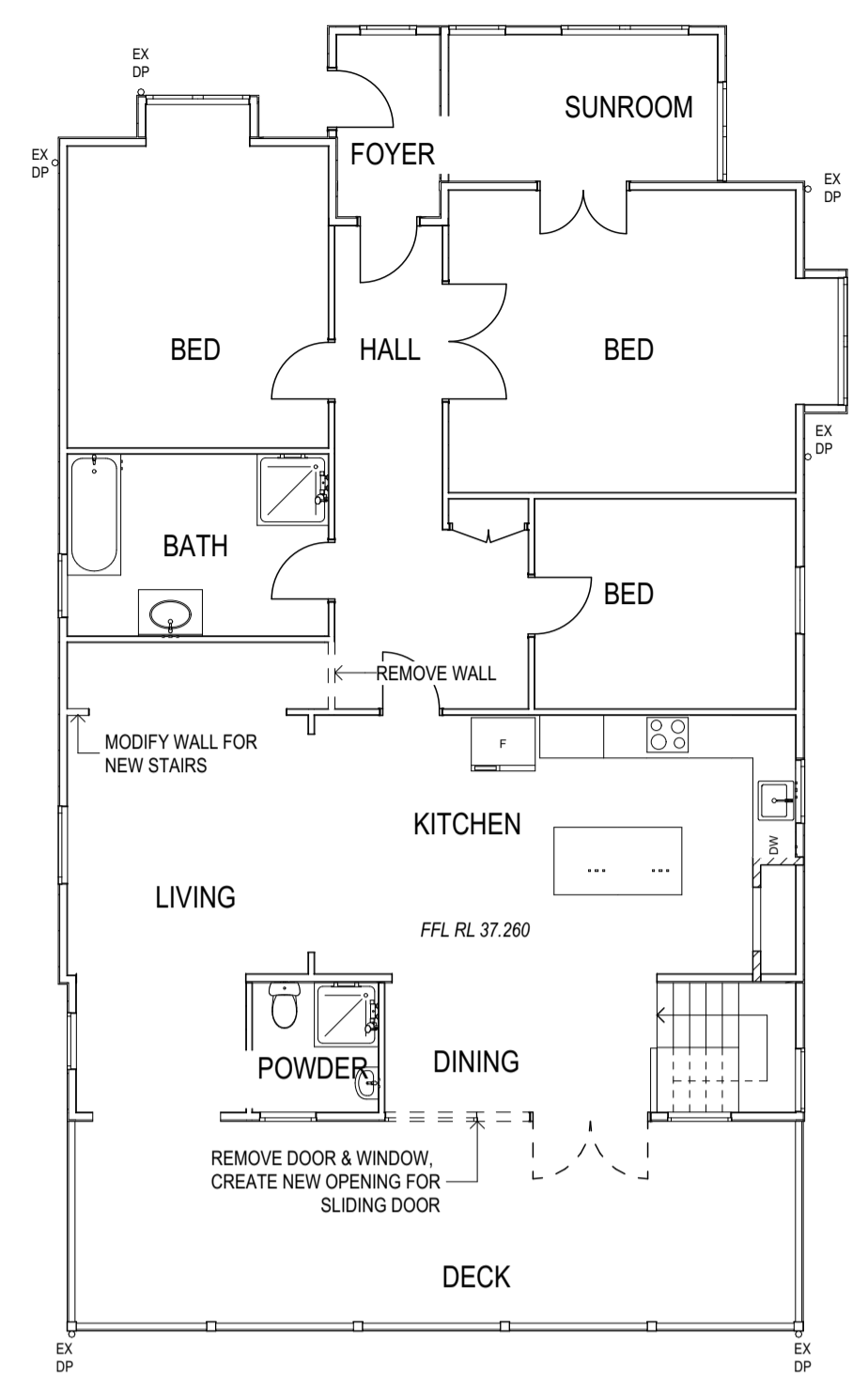
Site Plan
1:200

NOTE:
New downpipes drain to existing gutters & stormwater system.

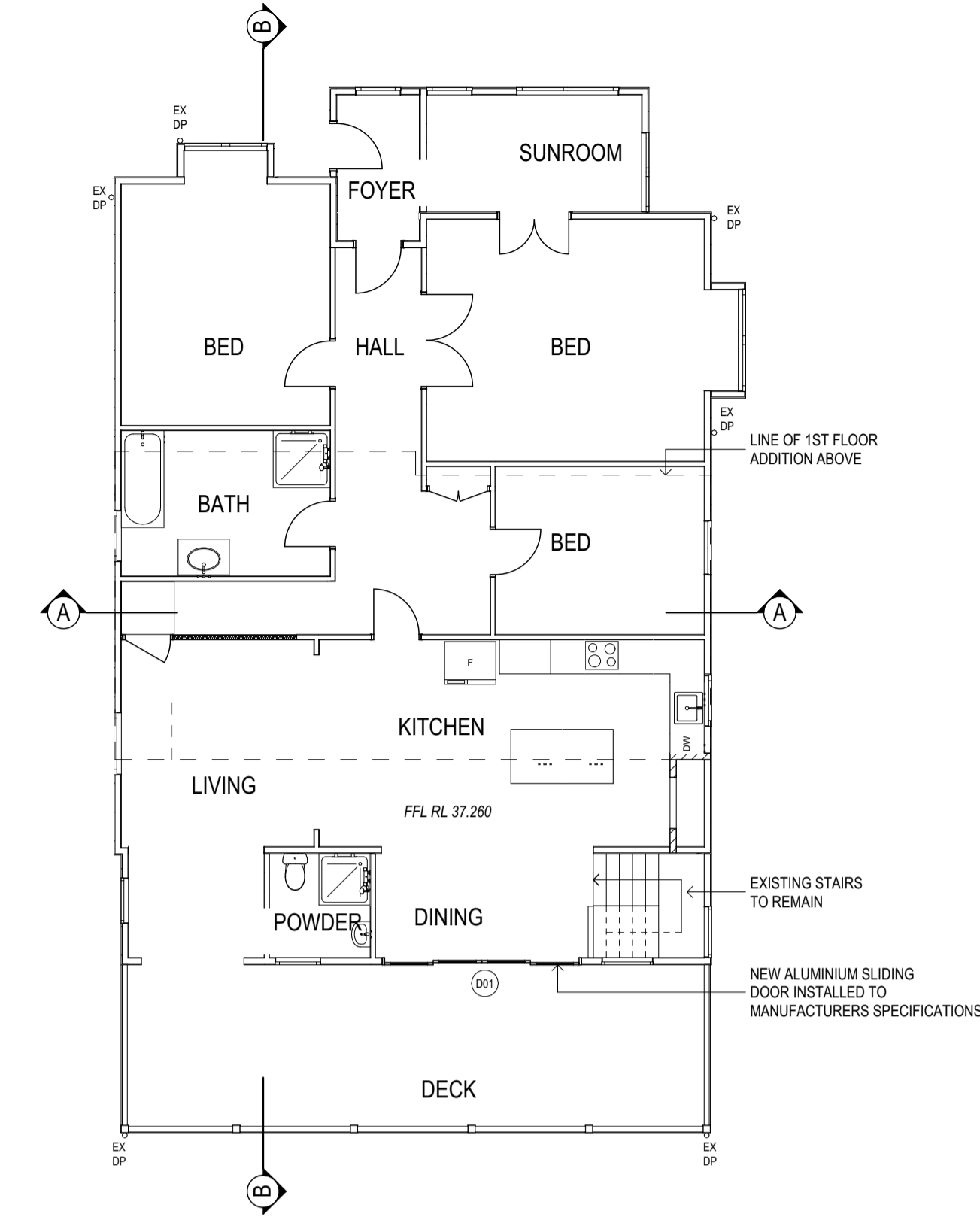
DIAL BEFORE YOU DIG
Underground services may be present on the site or in the vicinity of the site. It is the responsibility of the contractor to carry out 'Dial Before You Dig' investigations prior to excavation.



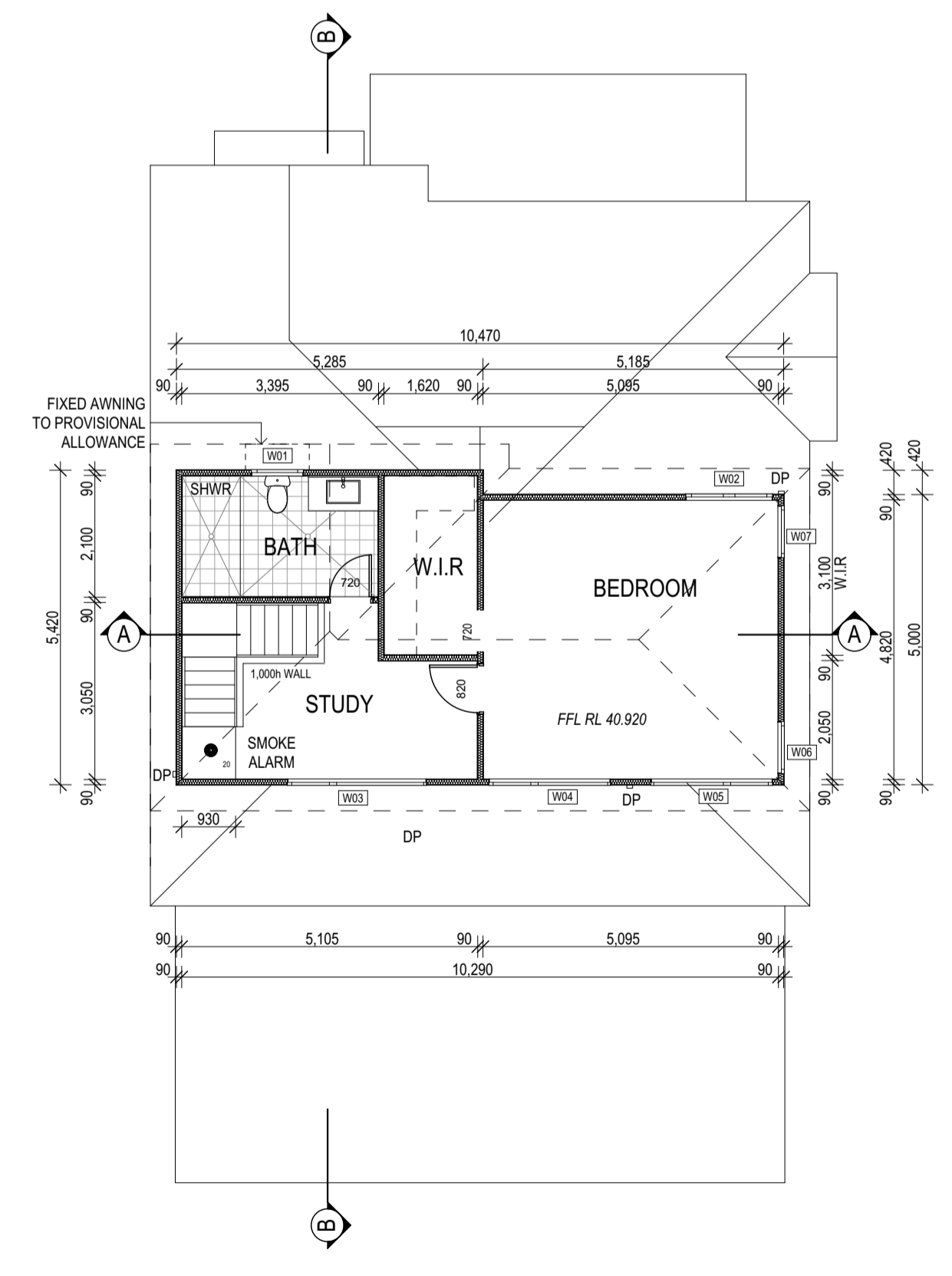
EXISTING LOWER FLOOR PLAN
1:100



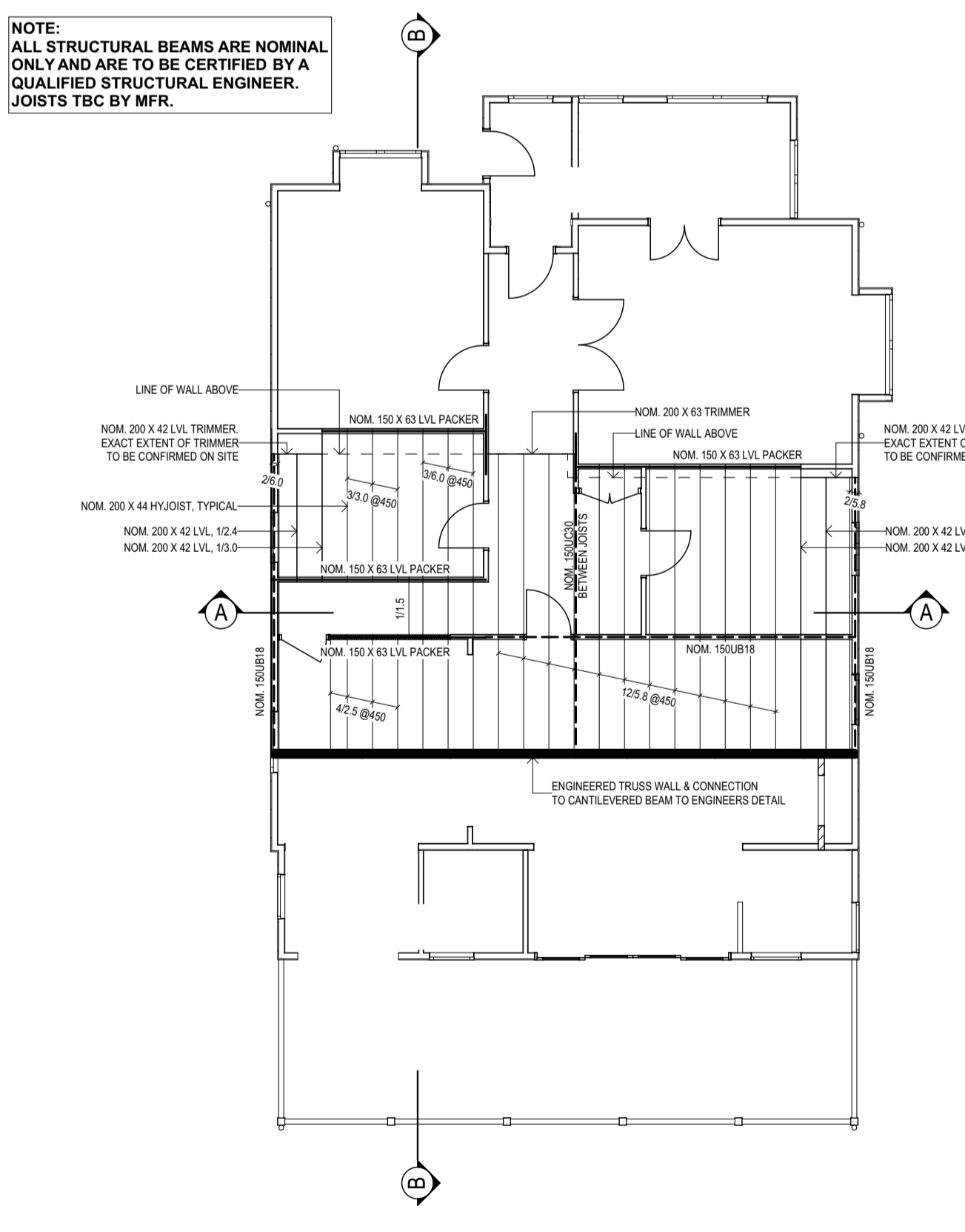
EXISTING GROUND FLOOR DEMOLITION PLAN
1:100



GROUND FLOOR PLAN
1:100



FIRST FLOOR PLAN
1:100



FIRST FLOOR FRAMING PLAN
1:100

BASIX INFORMATION

LIGHTING
40% of new or altered light fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode(LED) lamps.

FIXTURES
New or altered showerheads to have a flow rate no greater than 9 litres per minute or a 3 star rating.
New or altered toilets to have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
New or altered taps to have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

INSULATION
External wall: Framed (Weatherboard, Fibro, Metal clad) - R1.30 (or R 1.70 including construction)
Ceiling - R1.45 (up)
Roof - Foil backed blanket 55mm
Roof Colour - Medium (solar absorbance 0.475 - 0.70)

GLAZING
Windows, glazed doors and shading devices to be in accordance with Basix Certificate.

WINDOW SCHEDULE						
ID	Type	O	Height	Width	Area	Shading Device
W01	ADH	NW	1,200	900	1.08	Projection/height above sill ratio >=0.36
W02	ADDH	NW	1,200	1,500	1.80	Projection/height above sill ratio >=0.36
W03	FIX/AWN	SE	1,200	2,400	2.88	Eave/verandah/pergola/balcony >=450mm
W04	FIX/AWN	SE	1,500	2,100	3.15	Eave/verandah/pergola/balcony >=450mm
W05	FIX/AWN	SE	1,500	2,100	3.15	Eave/verandah/pergola/balcony >=450mm
W06	AWN	NE	1,200	900	1.08	Eave/verandah/pergola/balcony >=450mm
W07	AWN	NE	1,200	900	1.08	Eave/verandah/pergola/balcony >=450mm

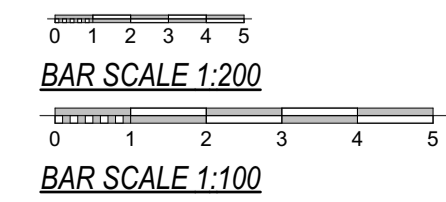
Door Schedule						
ID	Type	O	Height	Width	Area	Shading Device
D01	ASD	NE	2,100	3,500	7.35	Eave/verandah/pergola/balcony >=900mm

ALL WINDOW & DOOR SIZES ARE NOMINAL AND MAY VARY SLIGHTLY DEPENDING ON MANUFACTURER

GENERAL NOTES
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer.
Drawings to be read in conjunction with specifications, engineers details, council conditions and other relevant documents.
Work to figured dimensions only. Do not scale drawings.
Where critical, clearances from boundaries to be confirmed by a registered surveyor.

DEMOLITION NOTES
All demolition work to AS 2601-2001.
All demolished materials to be sorted for recycling. Any materials not suitable for recycling to be disposed of at council's waste management centre.
All hazardous materials, such as Asbestos, to be disposed of in accordance with Work Cover regulations.
Provide temporary support to existing structures affected by demolition.
Provide weather protection to roofs, walls and existing buildings affected by demolition.
Secure existing buildings to prevent unauthorised entry.

GUTTER & DOWNPIPES
Downpipes must not serve more than 12m of gutter length for each downpipe. Downpipes to be located as close as possible to valley gutters. If the downpipe is more than 1.2m from a valley, provision for overflow must be made to the gutter.



SPECIFICATION SUMMARY

STRUCTURAL NOTES

STRUCTURAL
All structural timbers as nominated below or equivalent alternatives.

TIMBER
F5 F8 to comply with the acceptable standards of the light timber framing code.

WALLS
External: 90mm
Internal: 70mm

NOTE: Nominal sizes of members are for cost estimates only and are to be confirmed by a qualified Structural Engineer. All connections, fixings, bracing & tie downs are to comply with AS 1684 and Structural Engineers detail.

FLOORING
Structural grade sheeting to new First Floor
Fibre cement sheeting to New First Floor Bathroom

FINISHES

GUTTER & FASCIA
Colorbond quad gutter and fascia.

CLADDING
230mm HardiePlank Smooth cladding including R1.5 insulation batts

WINDOWS
Aluminium awning & double hung - standard colour to sizes on plan - NB no screen(s) included as per client request
All Upper Floor windows to be fitted with restrictors as supplied by window manufacturer if required by BCA requirements
NB: All bathroom or toilet windows included in Ad-built's scope of works is to be glazed with obscure glass unless requested in writing by owner

ROOF COVERING
Colorbond metal roofing sheet including 55mm insulated blanket & R2.5 insulation batts to new First Floor ceilings.

GABLE ENDS & SOFFIT LINING
FC sheeting with treated pine battens similar to pattern on existing gable.

EXTERNAL DOORS
Aluminium sliding - standard colour to sizes on plan - NB no sliding by door(s) included as per client request

INTERNAL LININGS
Gypsum plasterboard to all new walls & ceilings except Villa board to all Bathroom walls All with 90mm cove cornice.

INTERNAL FIXINGS
Skirting: 66 x 18 R1E Pre-primed Softwood
Architraves: 42 x 18 R1E Pre-primed Softwood
Jamb: Rebated

INTERNAL DOORS
Primed hardboard internal doors

WALK IN ROBE
All W.I.R shelving supplied & installed by owner

STAIRCASE AND HANDRAILS
Closed timber stringers, Craftwood treads & risers
NOM. WIDTH: 900mm
NOM. RISE: 183mm
NOM. GOING: 240mm

ELECTRICAL TO ADDITION
Light Points: 8
NB: 2 way switch included to stairwell
Double Power Points: 8
Exhaust fan wiring only (Exhaust fan supplied by Owner): 1
Smoke Detector: 1
Relocation of light points or power points (total): 2

HOT WATER SYSTEM
Connect to existing.

PAINTING
External walls, fixed awning, gable ends & soffit of Second Storey addition only by Adbuilt, remainder all by owner

SPECIAL NOTES

- THERE IS NO ALLOWANCE FOR PAINTING OF RENOVATION WORK TO EXISTING STRUCTURES.
- PLUMBING - SUPPLY & INSTALL PRESSURE LIMITING VALVE TO NEW WORKS
- THERE IS NO ALLOWANCE FOR NEW FLOOR COVERINGS (OTHER THAN TILED WET AREAS), WINDOW FURNISHINGS OR LIGHT FITTINGS

DO NOT SCALE OFF DRAWINGS
ALL FINISHED GROUND LEVELS AND DIMENSIONS AS SHOWN ON PLAN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE CONDITIONS.

No.	ISSUE	DRWN	APP	DATE
8	BUILDING HEIGHT ADDED TO SECTION	SAH		22/09/2021
7	FOR CONTRACT	SAH		18/08/2021
6	REVIEW	SAH		09/08/2021
5	REVIEW	SAH		05/08/2021
4	REVIEW	SAH		09/07/2021
3	REVIEW	SAH		05/07/2021

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THIS IS THE PLAN REFERRED TO IN THE CONTRACT

DATE: _____
SIGNED: _____ OWNER
SIGNED: _____ OWNER
SIGNED: _____ BUILDER

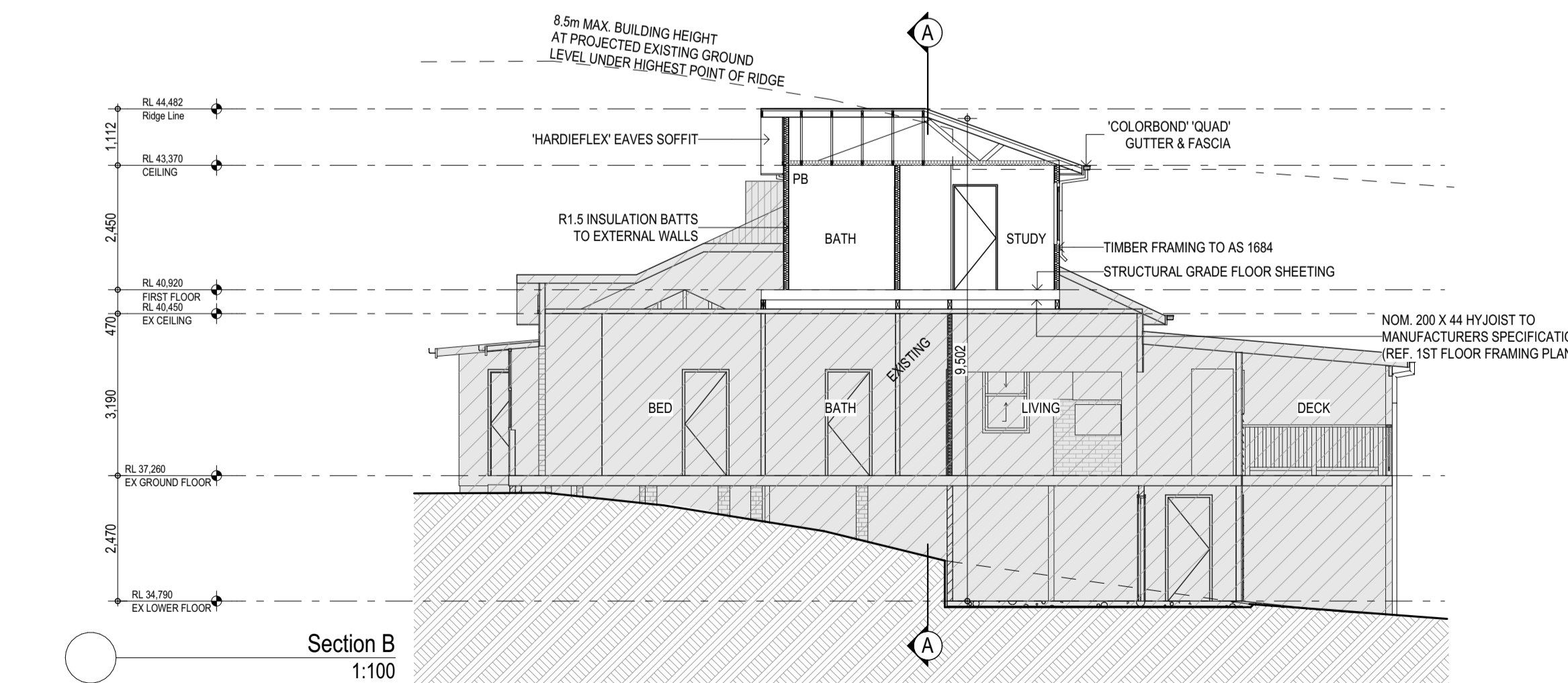
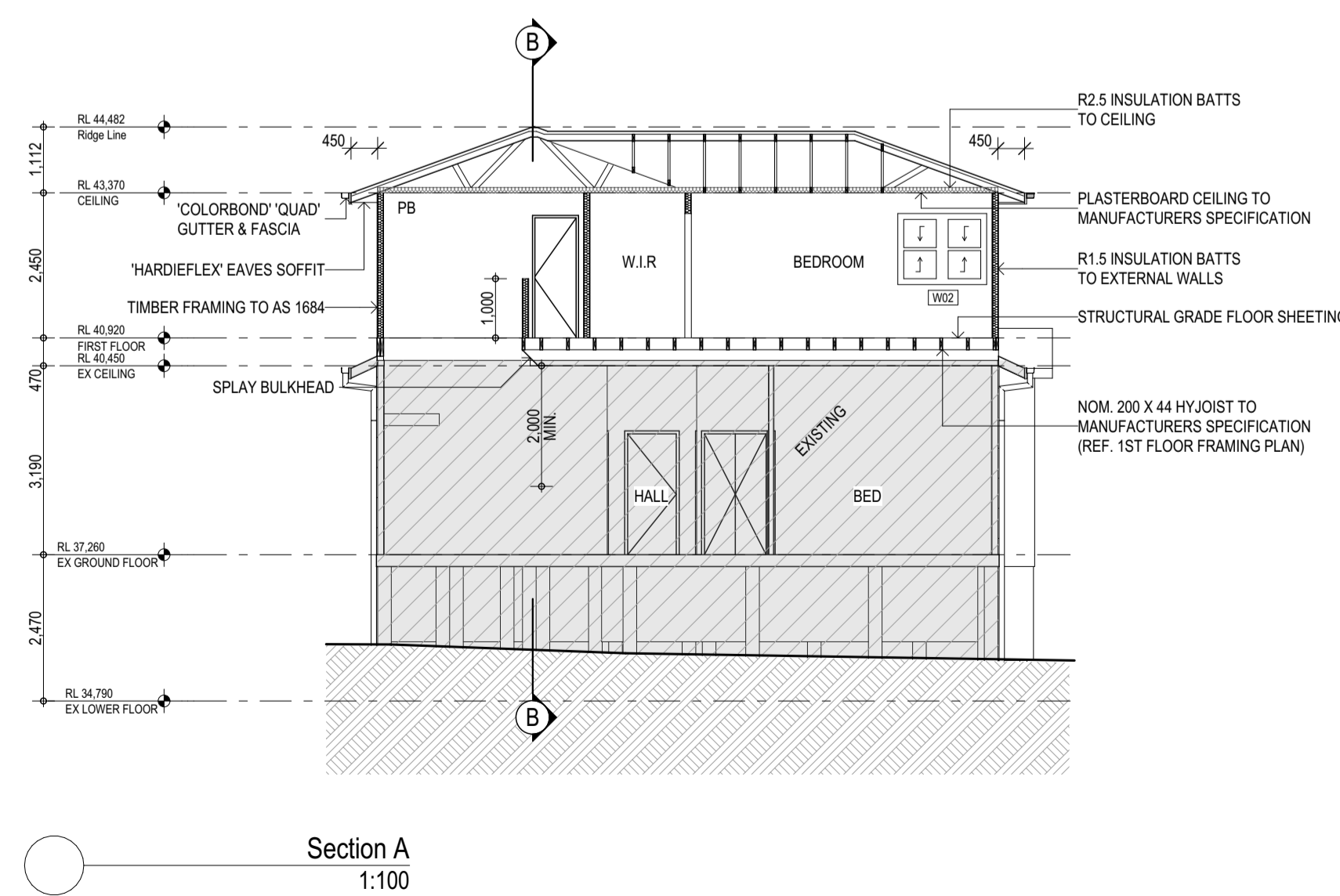
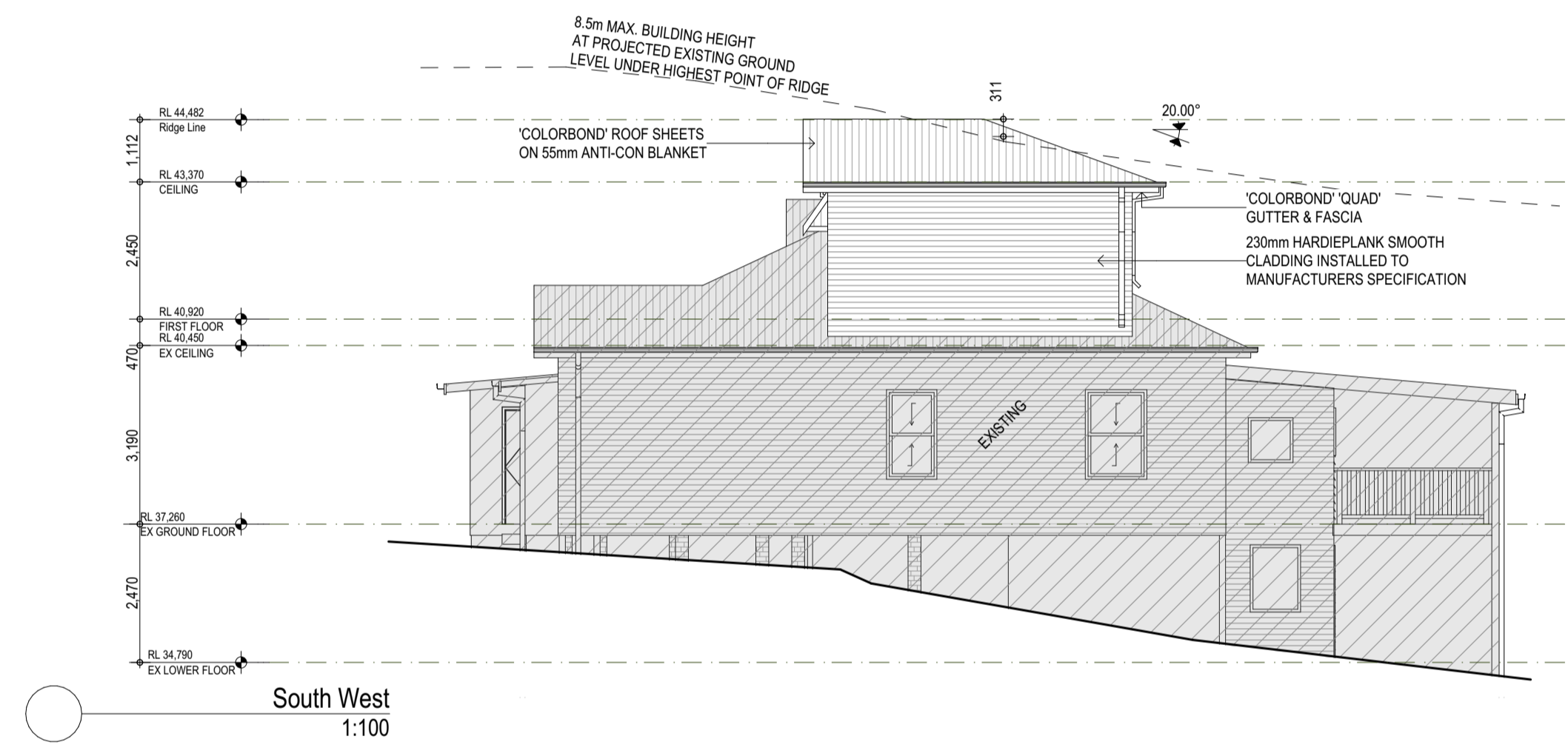
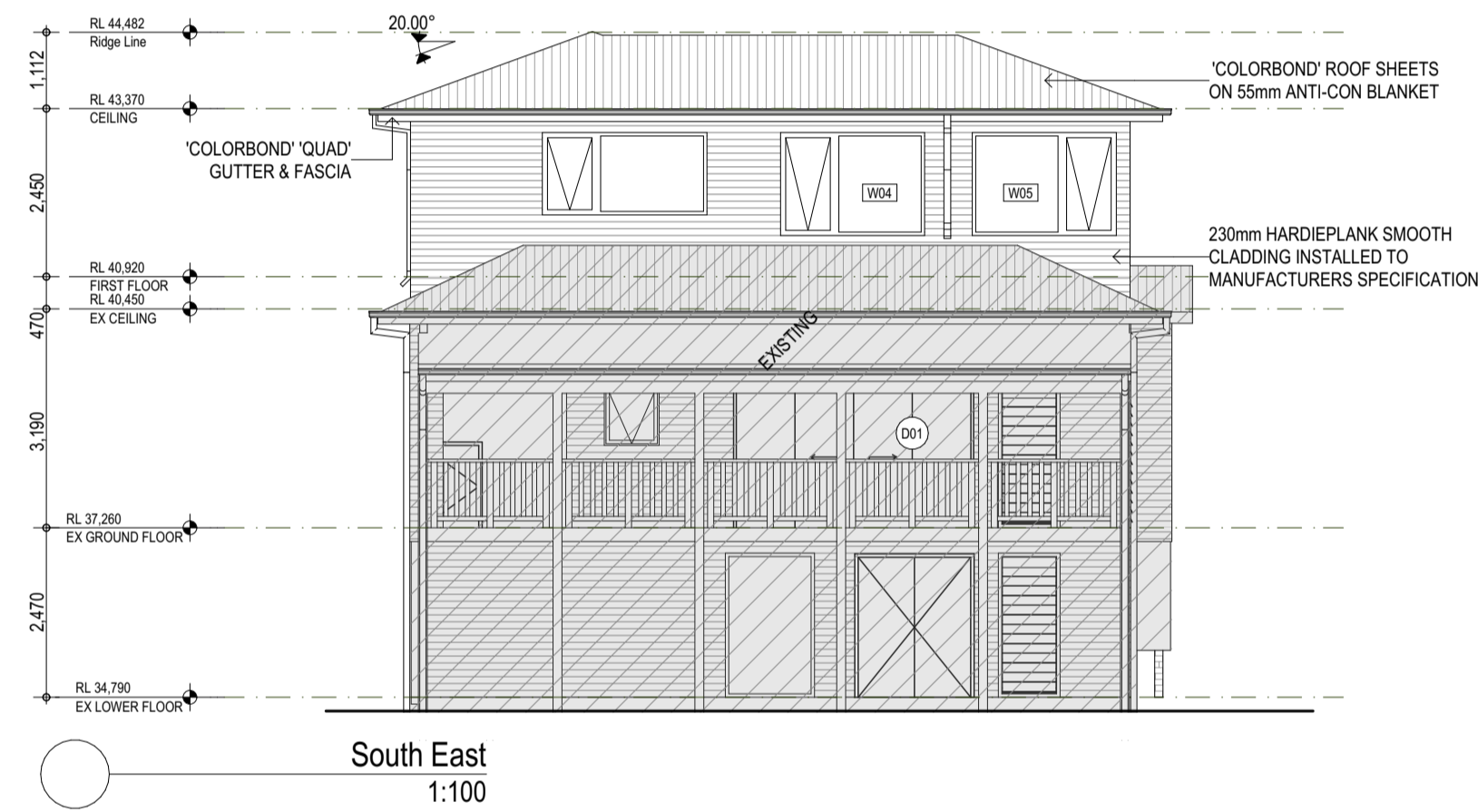
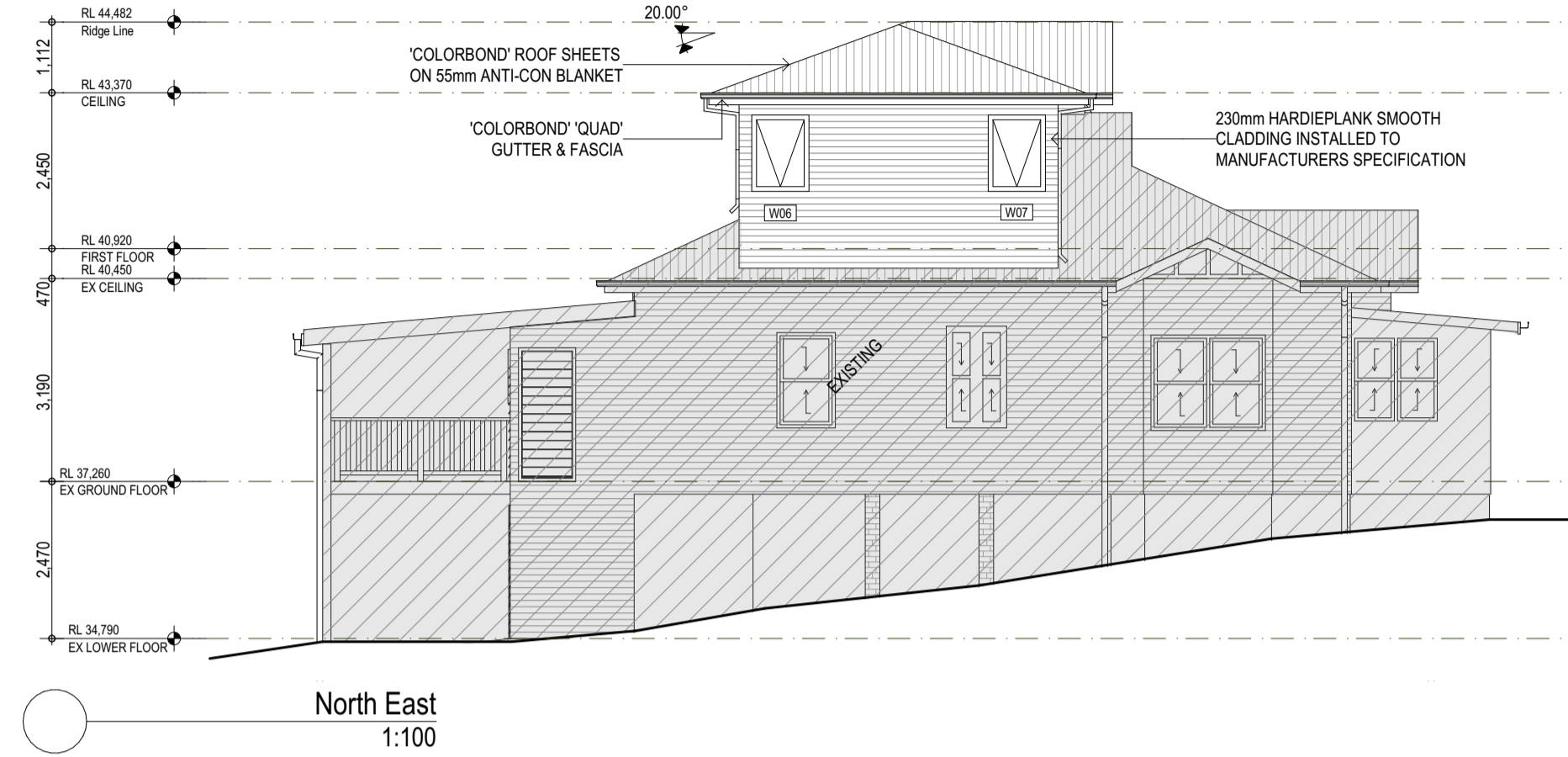
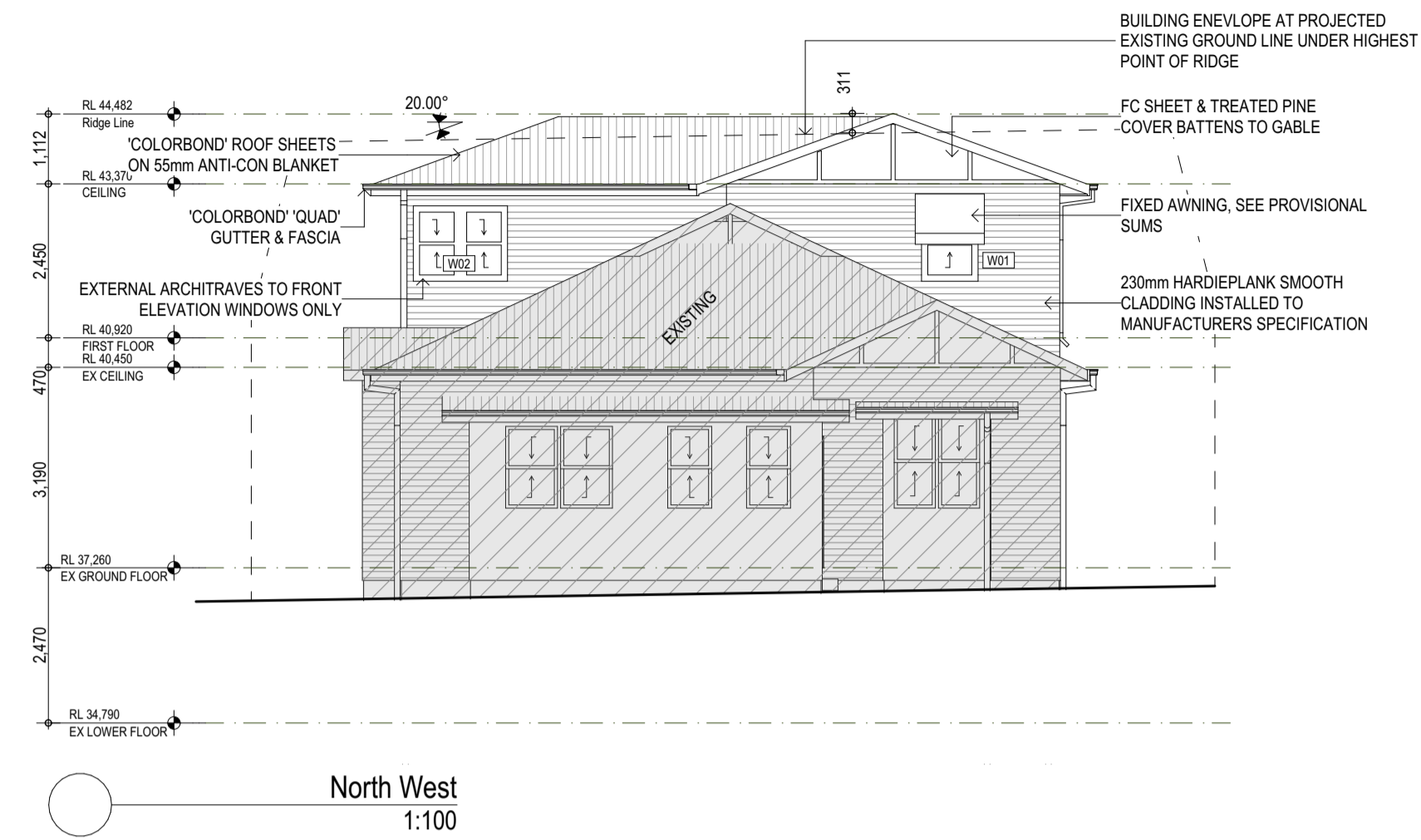
Mr & Mrs Marshall
51 Macquarie St Merewether 2291
Lot: 47 SEC 11
DP: 111240



A.R. BROWNING NOMINEES PTY. LIMITED
ABN 39 969 411 748 ACN 001 756 912
Builder Lic. 33938

490 Pacific Highway, BELMONT 2280.
Phone (02) 4945 9177
Email: mail@adbuilt.com.au Web: www.adbuilt.com.au

SCALE AS SHOWN DWG. NO. 1007 SHEET NO. 1/2



SPECIFICATION SUMMARY (SEE SHEET 1)

SPECIAL NOTES

- THERE IS NO ALLOWANCE FOR PAINTING OF RENOVATION WORK TO EXISTING STRUCTURES.
- PLUMBING - SUPPLY & INSTALL PRESSURE LIMITING VALVE TO NEW WORKS
- THERE IS NO ALLOWANCE FOR NEW FLOOR COVERINGS (OTHER THAN TILED WET AREAS), WINDOW FURNISHINGS OR LIGHT FITTINGS

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No.	ISSUE	DRWN	APP	DATE
8	BUILDING HEIGHT ADDED TO SECTION 7 FOR CONTRACT	SAH		22/09/2021
7	REVIEW	SAH		19/08/2021
6	REVIEW	SAH		09/08/2021
5	REVIEW	SAH		05/08/2021
4	REVIEW	SAH		09/07/2021
3	REVIEW	SAH		05/07/2021

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THIS IS THE PLAN REFERRED TO IN THE CONTRACT

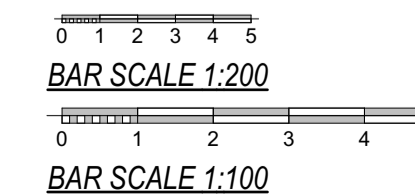
DATE	SIGNED	OWNER
		OWNER
		BUILDER

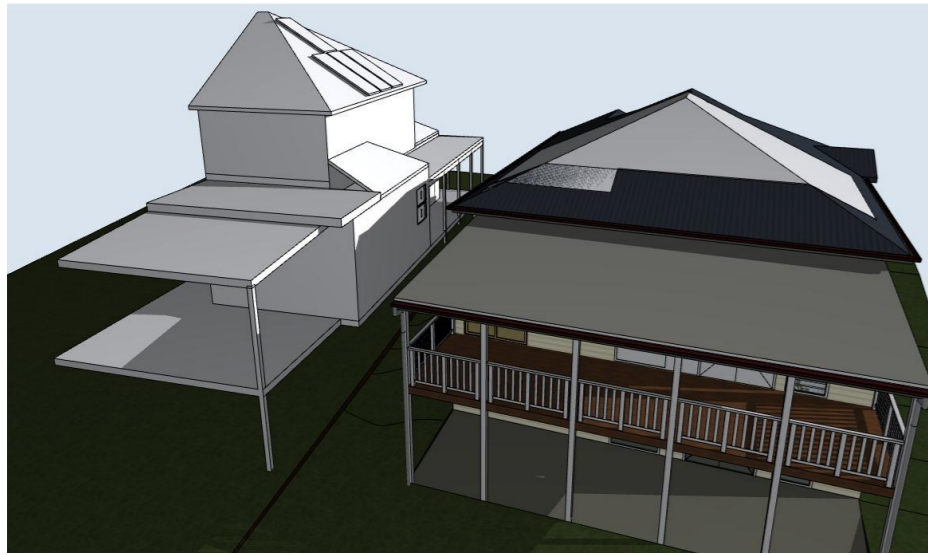
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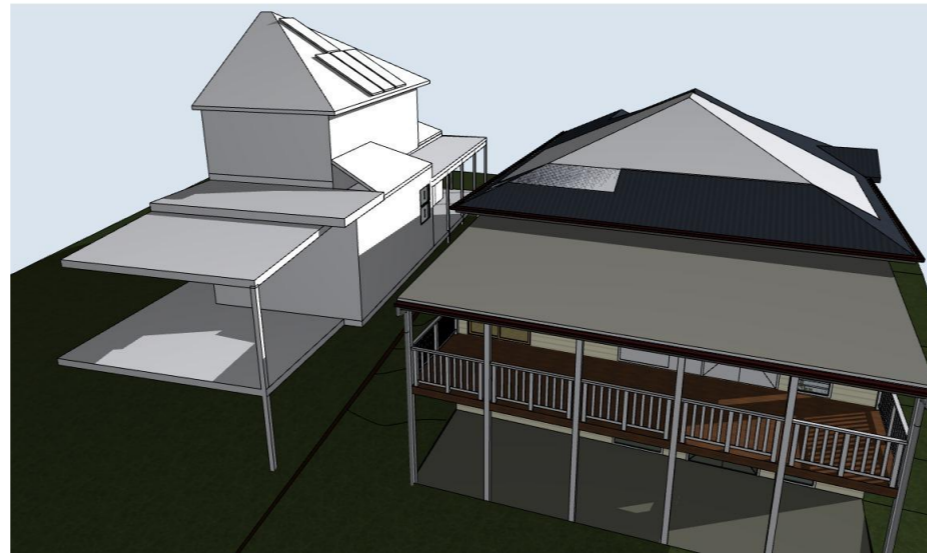
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Builder Lic. 33938

SCALE	AS SHOWN	DWG. NO.	1007	SHEET NO.	2/2
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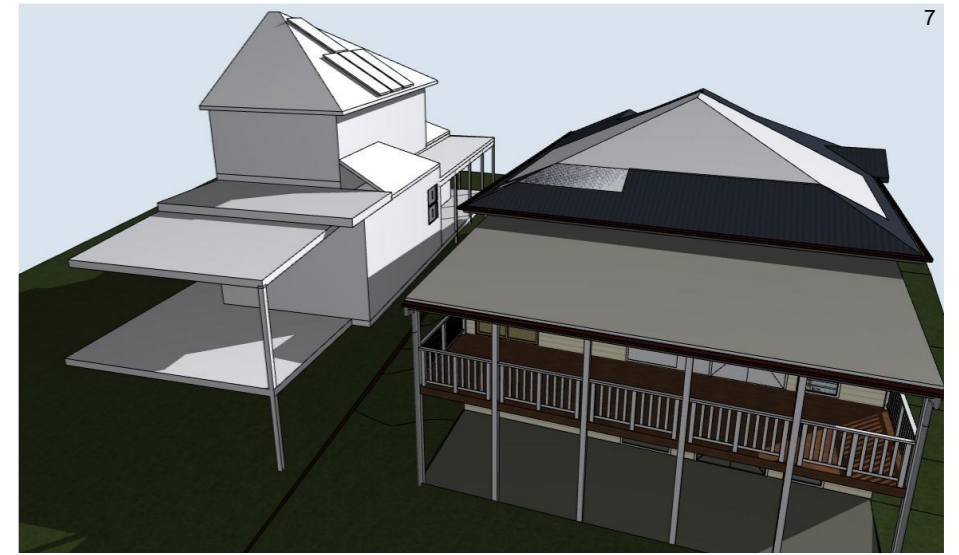




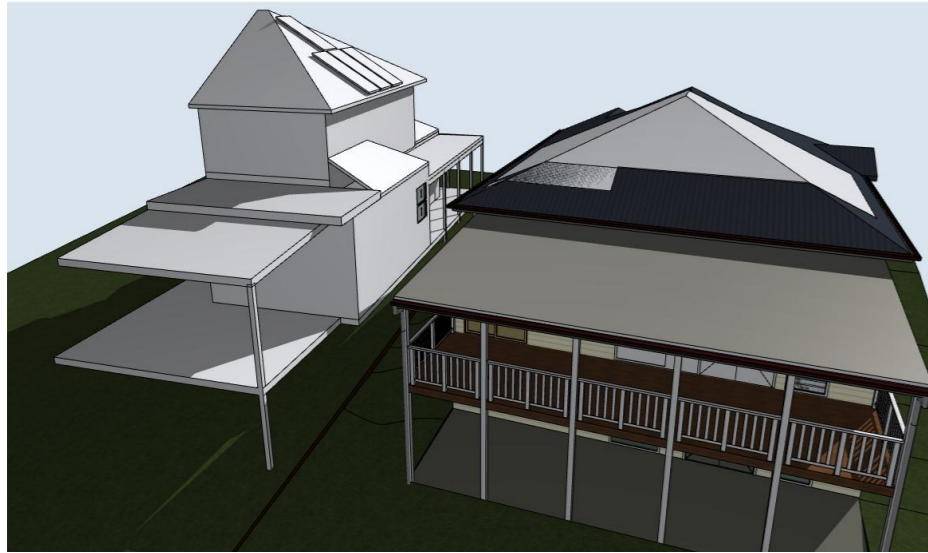
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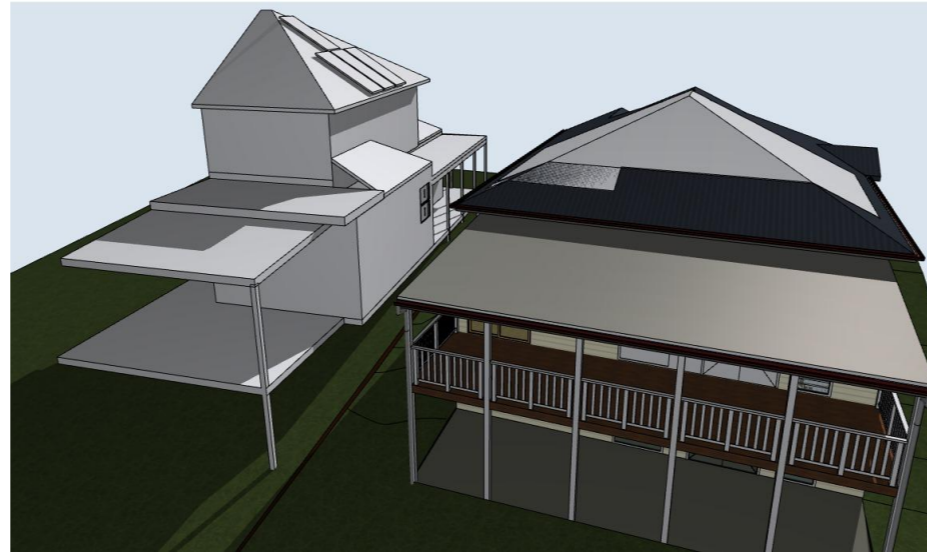
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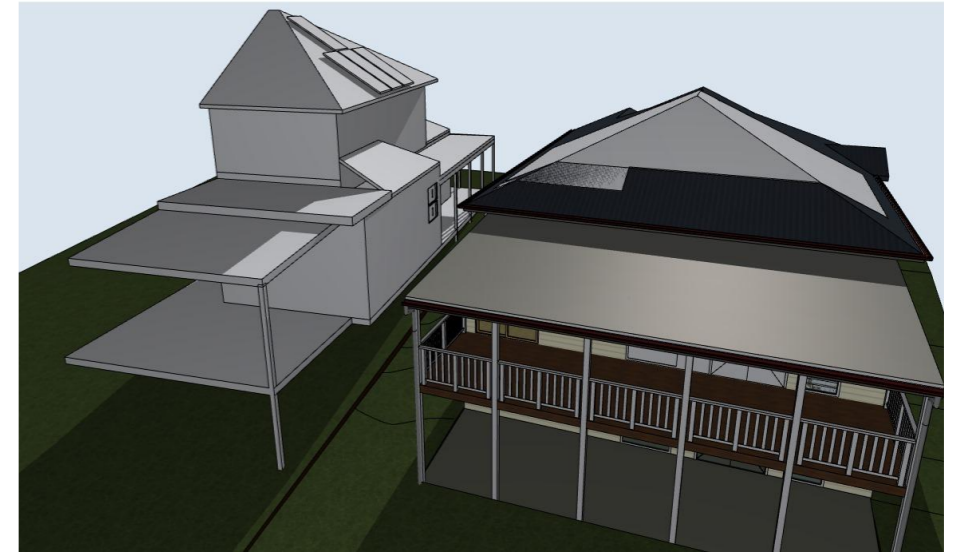
21 June 11am



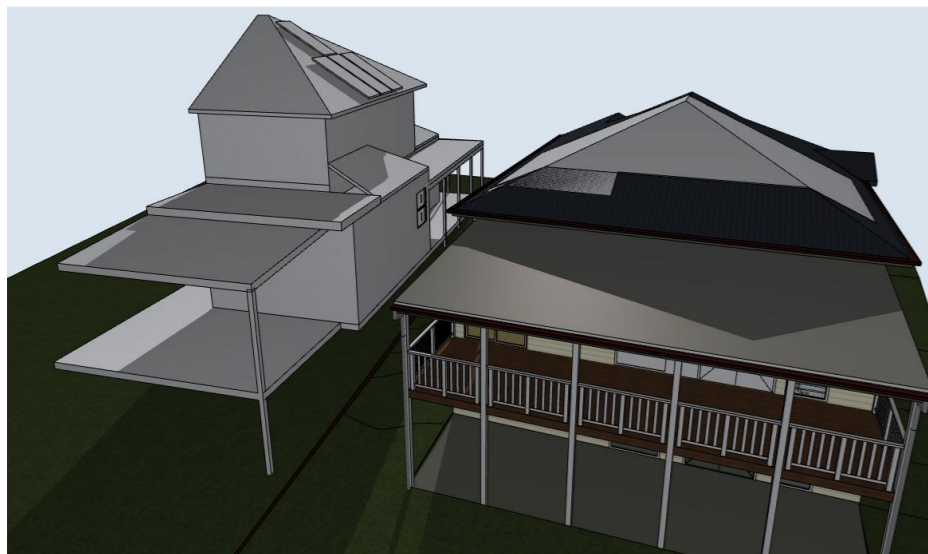
21 June 12pm



21 June 1pm



21 June 2pm



21 June 3pm



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21 June 9am



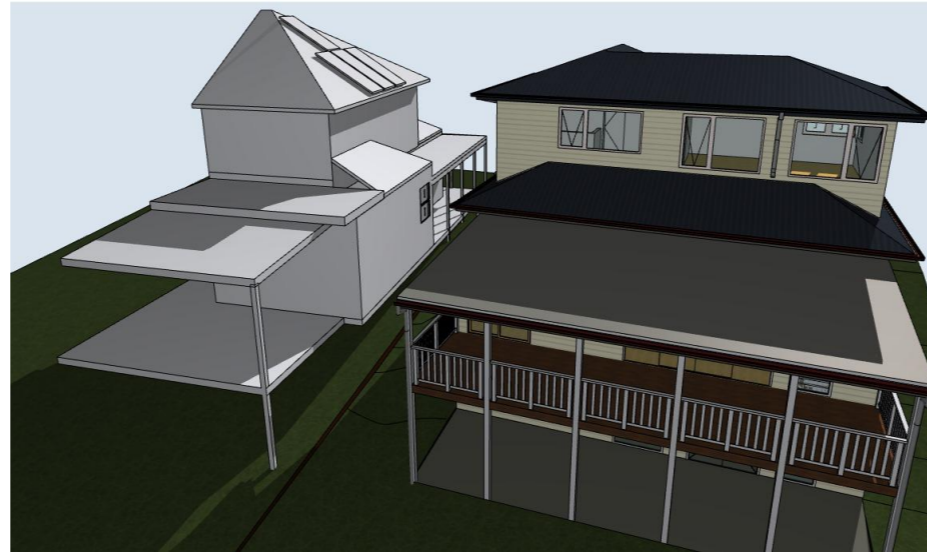
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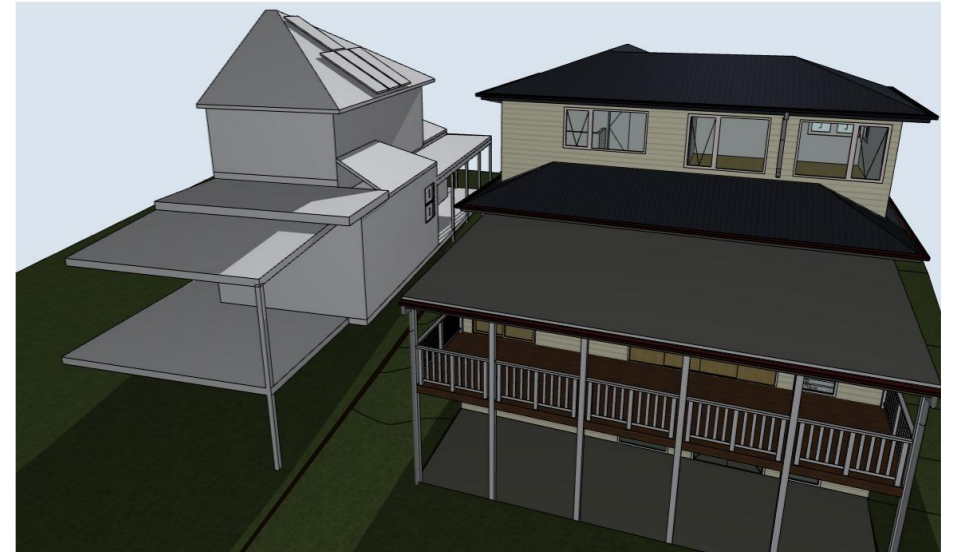
21 June 11am



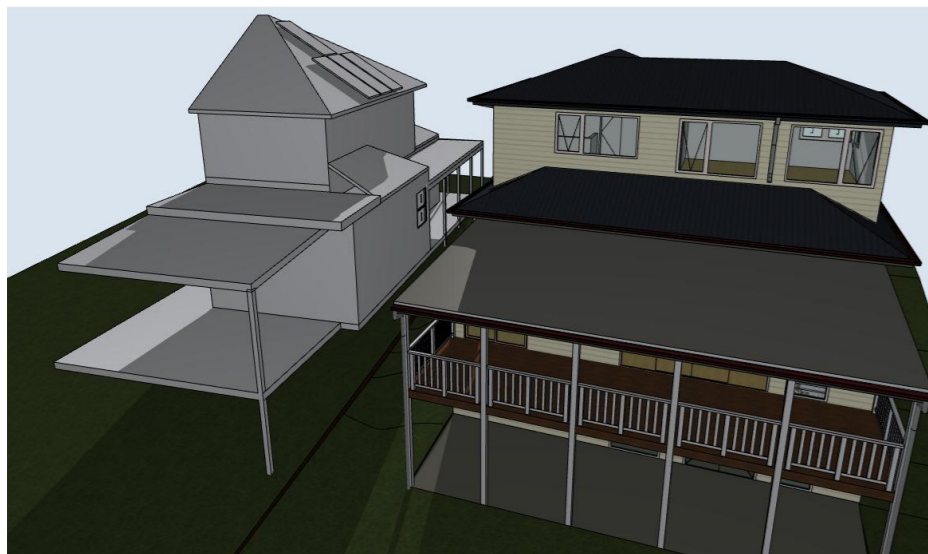
21 June 12pm



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**DAC 15/02/2022 – 51 Macquarie Street Merewether -
DA2021/01360 - Dwelling House - alterations and additions**

ITEM-1 Attachment B: Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



Application No:	DA2021/01360
Land:	Lot 47 Sec 11 DP 111240
Property Address:	51 Macquarie Street Merewether NSW 2291
Proposed Development:	Dwelling House - alterations and additions

SCHEDULE 1

APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Plans / Sheet 1/2 & 2/2	Dwg. No.: 1007 Issue: 8	Ad-built	22 September 2021
BASIX Certificate	A419671	DPI&E	31 August 2021

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

- A total monetary contribution of \$2,105 is to be paid to the City of Newcastle, pursuant to Section 7.12 of the *Environmental Planning and Assessment Act 1979*, such contribution to be payable prior to the issue of a Construction Certificate in respect of the proposed development.

Note:

- This condition is imposed in accordance with the provisions of the City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019*.
- The City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019* permits deferred or periodic payment of levies in certain circumstances. A formal modification of this condition will be required to enter into a deferred or periodic payment arrangement.
- The amount of contribution payable under this condition has been calculated on the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.

CPI quarterly figures are released by the ABS on a date after the indexation quarter and, as a guide, these approximate dates are as follows:

Indexation quarters	Approx release date
September	Late October
December	Late January
March	Late April
June	Late July

Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

3. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
 - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - c) Be a temporary chemical closet approved under the *Local Government Act 1993*.
4. Building demolition is to be planned and carried out in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*.
5. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

6. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
- Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

7. City of Newcastle's '*Prevent Pollution*' sign is to be erected and maintained in a

conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

8. All building work is to be carried out in accordance with the provisions of the National Construction Code.
9. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
10. If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil are to be provided.
11. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
12. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
13. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
14. Stormwater is to be conveyed to the existing property stormwater drains by way of a sealed pipe system. The existing drains are to be checked for adequacy and cleared of any obstructions.
15. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
16. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the 'Blue Book')* published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
17. The following waste management measures are to be implemented during construction:
 - a) waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
 - b) the waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
 - c) appropriate provision is to be made to prevent wind blown rubbish leaving the site

and

- d) footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997* (NSW)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

18. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to Council within fourteen days of receipt.
19. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.

ADVISORY MATTERS

- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
 - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered

portion of, or an extension to a building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000*.

- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- Council has considered and accepted the proposed development standard variation made under Clause 4.6 of the Newcastle Local Environmental Plan 2012. The proposed 11.79% variation is considered acceptable in the particular circumstances of this case as the variation will not significantly overshadow the neighbouring properties, obstruct significant view corridors, and result in negative privacy issues.
- Any issues raised in submission have been taken into account in the assessment report and where appropriate conditions of consent have been included in the determination.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 15/02/2022 – 51 Macquarie Street Merewether -
DA2021/01360 - Dwelling House - alterations and additions**

ITEM-1 **Attachment C:** Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER



PROCESSING CHRONOLOGY

DA2021/01360 – 51 Macquarie Street, Merewether

3 August 2021	-	Application lodged
9 August 2021 – 23 August 2021	-	Application notified in accordance with CN's Public Participation Policy
11 November 2021	-	Request for additional information: shadow diagrams
16 November 2021	-	Shadow diagrams received from applicant
15 February 2022	-	Development Applications Committee meeting