



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 15/12/2022 – 9 WILLIAM STREET MAYFIELD – DA2022/00532 -
DUAL OCCUPANCY - INCLUDING DEMOLITION OF EXISTING
STRUCTURES**

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PAGE 42	ITEM-21	Attachment C:	Processing Chronology

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STRUCTURES**

ITEM-21 Attachment A: Submitted Plans

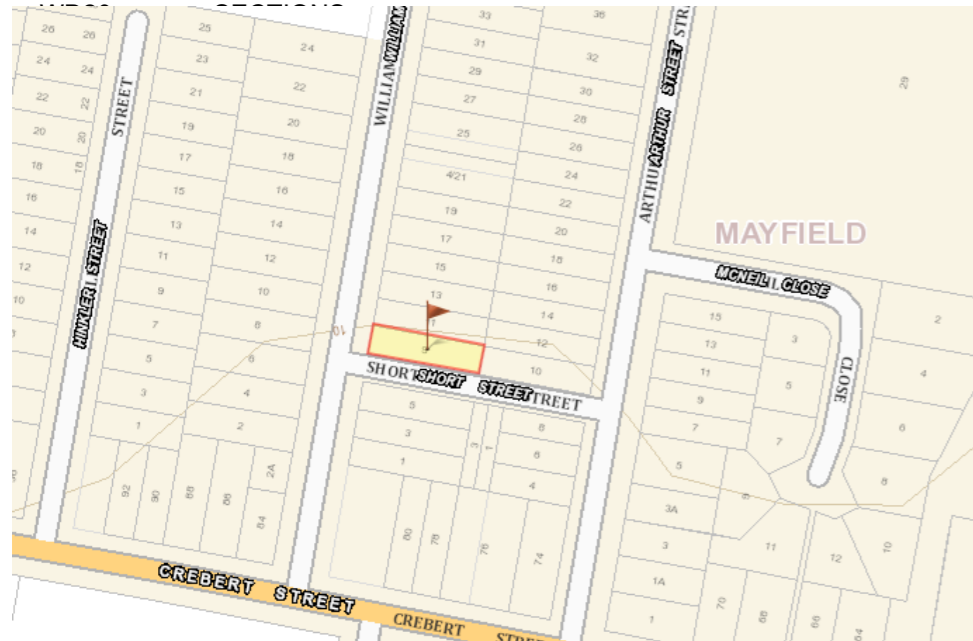
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WORKING DOCUMENTATION

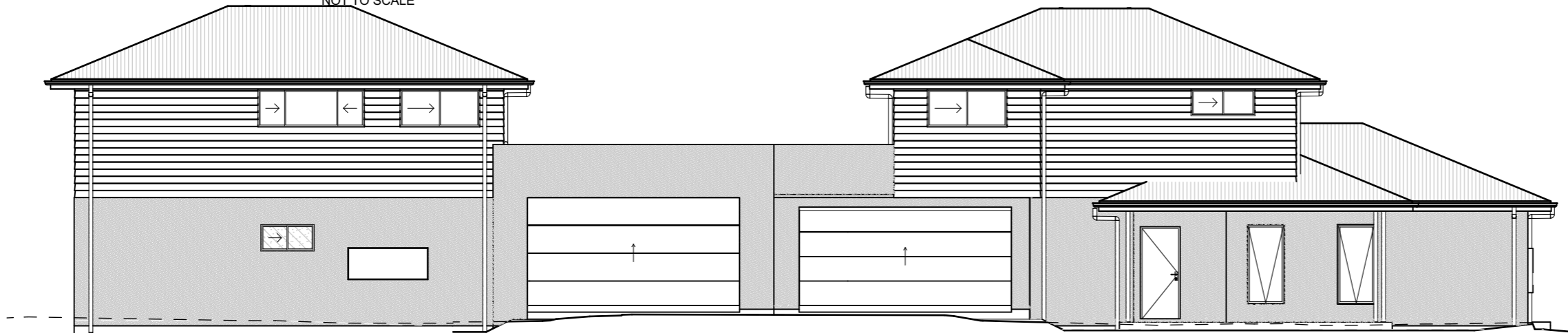
DWG No. DRAWING TITLE

- WD01 COVER SHEET
- WD02 SURVEY
- WD03 LANDSCAPE PLAN
- WD04 SITE SETOUT PLAN
- WD05 DEMOLITION PLAN
- WD06 STORMWATER PLAN
- WD07 SHADOW DIAGRAMS
- WD08 SHADOW DIAGRAMS
- WD09 COVER SHEET - UNIT 1
- WD10 FLOOR PLAN - GROUND FLOOR
- WD11 FLOOR PLAN - FIRST FLOOR
- WD12 ELEVATIONS
- WD13 ELEVATIONS
- WD14 SECTIONS
- WD15 COVER SHEET - UNIT 2
- WD16 FLOOR PLAN
- WD17 FLOOR PLAN - FIRST FLOOR
- WD18 ELEVATIONS
- WD19 ELEVATIONS



SITE LOCALITY

NOT TO SCALE



9 William Street Mayfield			
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT			
<i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au</i>			
WATER COMMITMENTS			
Fixtures			
3 Star Shower Heads	Yes		
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes
Alternative Water			
Minimum Tank Size (L)	1500	Collected from Roof Area (m2)	40
Tank Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Gas Instantaneous 6 Star		
Cooling System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Natural ventilation	N/A
	Laundry	Natural ventilation	N/A
Natural Lighting	Window/Skylight in Kitchen	As drawn	
	Window/Skylight in Bathrooms/Toilets	As drawn	
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	All	Dedicated Yes
	Number of Living/Dining rooms	All	Dedicated Yes
	Kitchen	Yes	Dedicated Yes
	All Bathrms/Toilets	Yes	Dedicated Yes
	Laundry	Yes	Dedicated Yes
All Hallways	Yes	Dedicated Yes	
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Stove/Oven	Gas cooktop & electric oven		
Alternative Energy	Photovoltaic System: 0.4kw to U1 only		

BASIX REQUIREMENTS

August 2022		BSA Reference: 18082	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
In NSW both BASIX & the BCA variations must be complied with, in particular the following:			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1			
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)			
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
AAC 75mm Veneer & Lightweight		R2.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		R2.0 to walls adjacent to garage	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof space	
Roof Construction		Colour (Solar Absorptance)	
Metal		Any	
Floor Construction		Covering (if not noted default values used)	
Concrete (175mm waffle pod)		As drawn	
Timber		As drawn	
Windows		Glass and frame type	U value SHGC Range Area sq m
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63 As drawn
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77 As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres			
Skylights		Glass and frame type	U SHGC Area sq m Detail
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA			
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
Additional Notes			
Nil			

WD01⁵ of 20

COVER SHEET

For Job:

0009WILL

On:

12/10/2022
CONTRACT PLANS

For the design of a:

Custom DETACHED DUAL OCCUPANCY WITH Custom FACADE

For:

Mahdi Ashuri

At:

63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304

Wind Classification: N2

Soil Classification: H1

Mine Subside: Yes/No

Acid Sulphate Soil: Class 2

Acoustic Requirements: No

Mains Power: Yes

Mains Water Available: Yes

Mains Gas Available: Yes

Mains Sewer Available: Yes

Stormwater Drainage: Kerb/Pit

>1km to Breaking Surf: No

>100m to Salt Water: No

Rock: Yes/No

Flood Min RL: No

Bushfire Requirements: No



Hunter Homes Pty Ltd Builders Lic. 216162C
11 Hank Street, Heatherbrae, NSW, 2324
Website: www.hunterhomesnsw.com
Email: info@hunterhomesnsw.com
Phone: (02) 4987 4909 ABN: 76 133 887 064
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No.	DETAIL	DATE
1. KD	PLANS ISSUED FOR APPROVAL	18/01/2022
2. MI	DESIGN CHANGES ISSUED FOR REVIEW AND COMMENT	09/05/2022
3. MI	BASIX COMMITMENTS ADDED	16/05/2022
4. JL	TOWN PLANNER AMENDMENTS	18/05/2022
5. MI	COUNCIL RFI AMENDMENTS, DWELLINGS ATTACHED	16/08/2022
6. MI	UPDATED BASIX BLOCKS ADDED	17/08/2022
7. MI	MINOR SETBACK ADJUSTMENTS + GFA CALC UPDATE	29/08/2022
8. MI	SHADOW DIAGRAMS UPDATE	12/10/2022

LEGEND

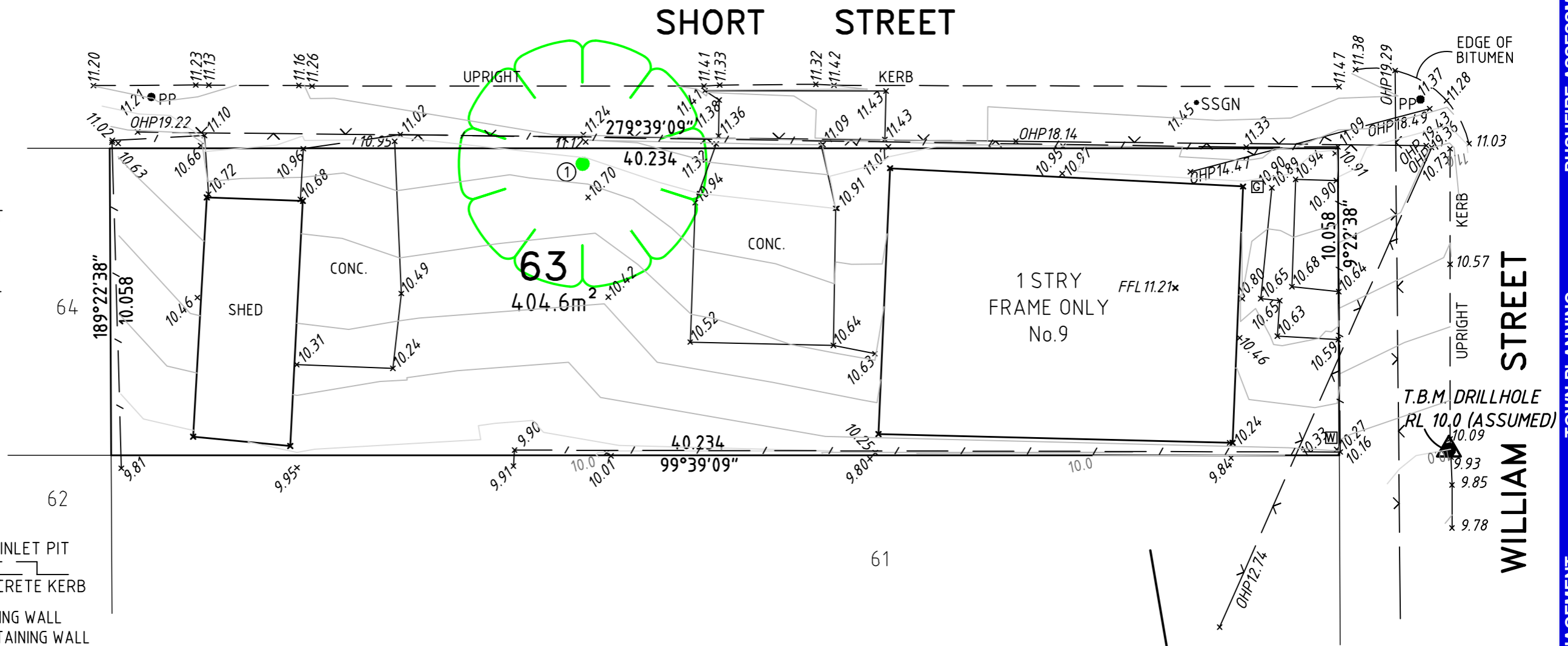
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- TELSTRA PILLAR
- DNBN NBN PIT
- TELSTRA PIT
- ELECTRICITY PILLAR
- LP LIGHT POLE
- PP POWER POLE
- SEWER MAINTENANCE HOLE
- SIPT SEWER INSPECTION POINT
- SVNT SEWER VENT
- SHT SEWER TANK
- SP SEWER PUMP
- SEWER MAINTENANCE SHAFT
- FP FLUSH POINT
- IL PIPE INVERT
- STORMWATER DRAINAGE PIT
- GAS METER
- TAP
- WATER METER
- WATER STOP VALVE
- WATER HYDRANT
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- TRW DENOTES EXISTING TOP OF RETAINING WALL
- BRW DENOTES EXISTING BOTTOM OF RETAINING WALL
- WARNING: PROTECTED SURVEY MARK (REFER TO R.M.S. GOV.AU FOR INFORMATION)

WIND CLASSIFICATION	N1
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO

GAS MAIN	YES*
WATER MAIN	YES*

* AS PER "DIAL BEFORE YOU DIG" SEARCH DATED 25/08/2021

Table of Tree Data			
No.	Trunk	Spread	Height
1	0.5m ϕ	9m ϕ	4m



CAUTION:

LAND IS AFFECTED BY (SEE CERTIFICATE OF TITLE):-

- LIMITED TITLE (THE BOUNDARIES SHOWN IN THE TITLE DIAGRAM HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL. THE BOUNDARIES SHOWN IN THE SKETCH HEREON REPRESENT OUR INTERPRETATION OF THEIR POSITION AND CAN BE CHALLENGED BY ANOTHER SURVEYOR OR ALTERED IF A PLAN OF SURVEY WAS PREPARED FOR ONE OF THE NEIGHBOURING LOTS THEN REGISTERED BY NSW LAND REGISTRY SERVICES. THE PREPARATION OF A PLAN OF REDEFINITION FOR THE LAND THEN ITS LODGMENT WITH, AND REGISTRATION BY, NSW LAND REGISTRY SERVICES WOULD CONFIRM THE BOUNDARIES AND EXTINGUISH THE "LIMITED TITLE" NOTATION.)

NOTES:

1. CONTOURS, WHERE SHOWN, HAVE BEEN DERIVED FROM THE SPOT LEVELS TAKEN, AND PROVIDE A GENERAL INDICATION ONLY OF THE GROUND SURFACE.
2. CONTOUR INTERVALS ARE 0.2 METRES.
3. ONLY VISIBLE SERVICES HAVE BEEN LOCATED.
4. IT IS RECOMMENDED THE POSITION AND DEPTHS OF ALL SERVICES BE INVESTIGATED. A "DIAL BEFORE YOU DIG" SEARCH SHOULD BE UNDERTAKEN.
5. THIS DOCUMENT IS FOR PLANNING PURPOSES ONLY.
6. ONLY SIGNIFICANT TREES LOCATED AT TIME OF SURVEY.



REV	DETAILS & AMENDMENTS	DATE	PLAN TITLE:
A	INITIAL PLAN	2/09/2021	CONTOUR PLAN
			ADDRESS: 9 WILLIAM STREET, MAYFIELD
			CLIENT: HUNTER HOMES
			LOT: 63 SECTION: B DP: 192768
			CLIENT REFERENCE: 0009WILL - P0.2134
			DATUM: ASSUMED
			PARKER SCANLON CONTACT: JOEL SHEARER
			SURVEYED/DRAWN/CHECKED: TM/PC/JH
			SOURCE: TBM DRILLHOLE RL10.0
REF No: 14962CON-A		SHEET 1 OF 1	A3

17 William Street HAMILTON NSW 2303	
PO Box 986 HAMILTON NSW 2303	
Ph: 4969 6995	
www.parkerscanlon.com.au	
Email: surveys@parkerscanlon.com.au	
ABN 36124 624 022	



PARKER SCANLON

LANDSCAPING SCHEDULE

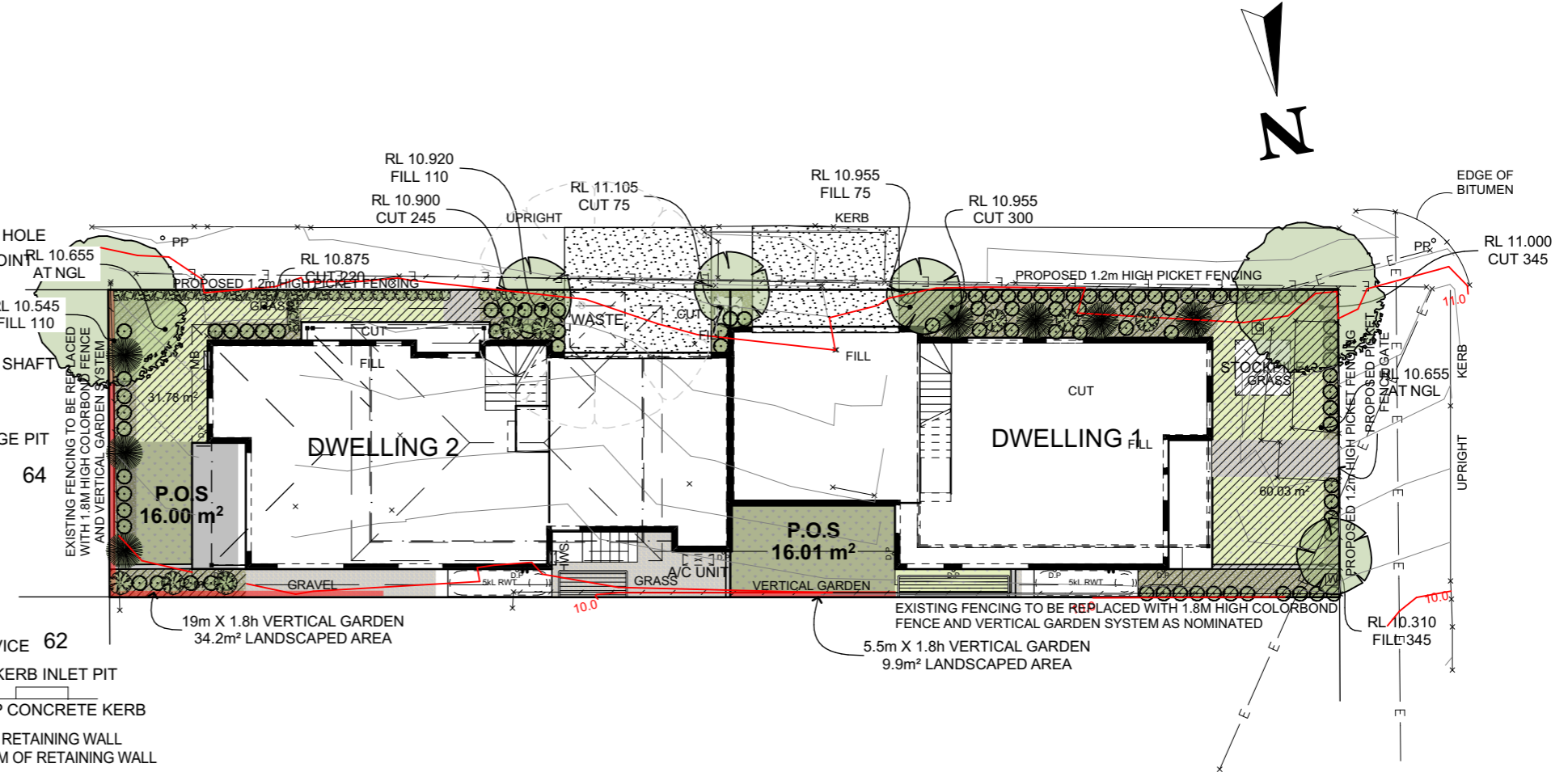
2D Plan Preview	Element ID	Qty.	Pot Size	Height at Maturity
	Standard Tree	2	75L	5m
	Small Tree	4	25L	3m
	Medium Bush	7	5L	1.1m
	Hedge	8	200ml	1.5m
	Medium Bush - Feature	8	Tube	0.25m
	Small Bush - Feature	18	Tube	0.25m
	Small Bush	90	Tube	0.25m

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- GAS METER
- TAP
- WATER METER
- WATER STOP VALVE
- WATER HYDRANT
- WATER CONNECTION
- MISC MISCELLANEOUS SERVICE

SITE AREA

SITE	404.67
TOTAL VERTICAL LANDSCAPE	44.10m ²
TOTAL YARD LANDSCAPE	95.93m ²
TOTAL LANDSCAPE AREA	140.03m ²
LANDSCAPE PERCENTAGE	34.6%

LANDSCAPE PLAN



- LANDSCAPED AREA
- TURF
- MULCHED GARDEN BED
- GRAVEL

For:
Mahdi Ashuri
At:
63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304

CONTRACT PLANS
For the design of a:
Custom DETACHED DUAL OCCUPANCY
WITH Custom FACADE

Wind Classification:	Mains Power:	Mains Water Available:	>1km to Breaking Surf:
N2	Yes	Yes	No
Soil Classification:	Stormwater Drainage:	Mains Gas Available:	>100m to Salt Water:
H1	Kerb/Pit	Yes	No
Mine Subsidence:	Acid Sulphate Soil:	Mains Sewer Available:	Acoustic Requirements:
Yes/No	Class 2	Yes	No

Bushfire Requirements:	No
Flood Requirements:	No
Rock (Approx. Depth):	Yes/No

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WD03_{of 20}
LANDSCAPE PLAN
For Job: **0009WILL**
On: **12/10/2022**

For Job:

0009WILL

On:

12/10/2022
CONTRACT PLANS

For the design of a:

Custom DETACHED DUAL OCCUPANCY WITH Custom FACADE

For:

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MAYFIELD,
NSW, 2304

CUT FILL SPLIT

Cubic Meters	14.62	72.89	-58.27
Tonne	32.12	160.36	-128.19
12t Trucks	2.68	13.35	-10.67

SITE COVERAGE

UNIT 1	
GARAGE	32.77
GROUND FLOOR	68.64
PORCH	6.03
	107.44 m²
UNIT 2	
ALFRESCO	7.26
GARAGE	36.22
GROUND FLOOR	77.73
PORCH	4.54
	125.75 m²
SITE	233.19 m²
	404.67

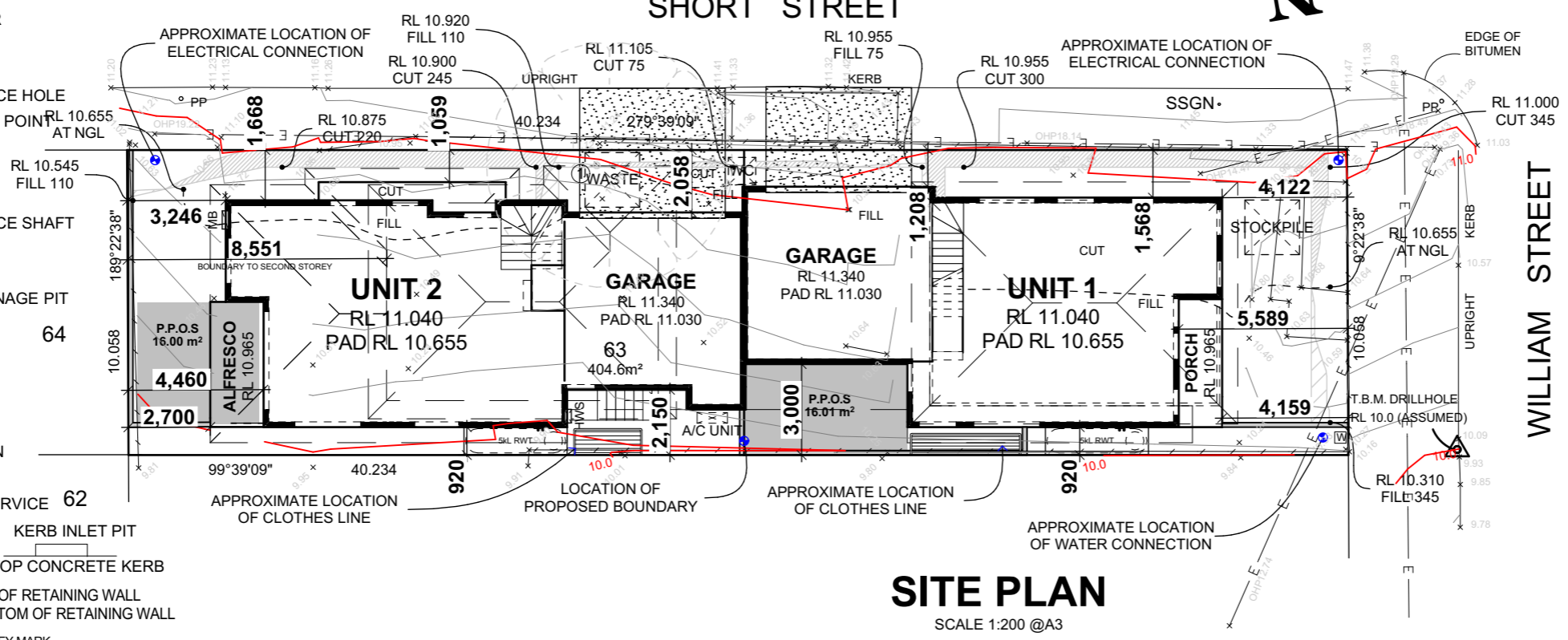
LEGEND

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- TRW DENOTES EXISTING TOP OF RETAINING WALL
- BRW DENOTES EXISTING BOTTOM OF RETAINING WALL
- WARNING: PROTECTED SURVEY MARK (REFER TO R.M.S. GOV.AU FOR INFORMATION)

Table of Tree Data

No.	Trunk	Spread	Height
1	0.5mØ	9mØ	4m

EXISTING TREE TO BE REMOVED



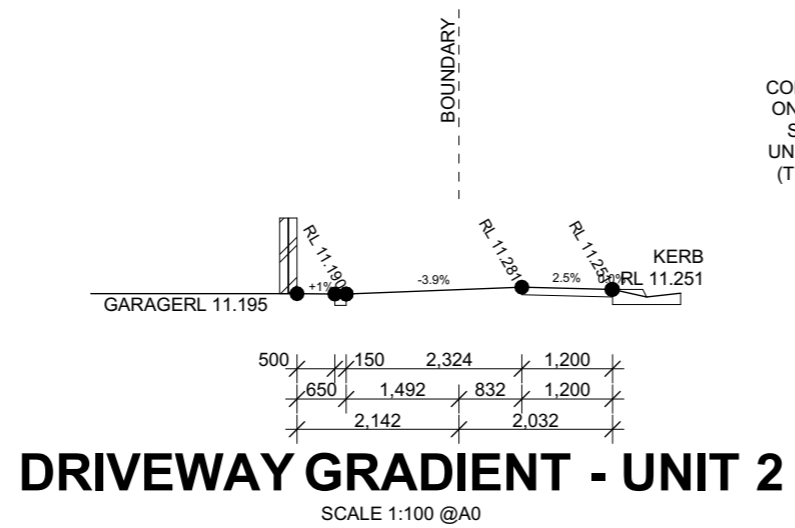
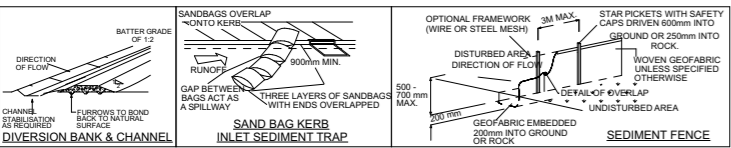
SITE PLAN

SCALE 1:200 @A3

GROSS FLOOR AREAS

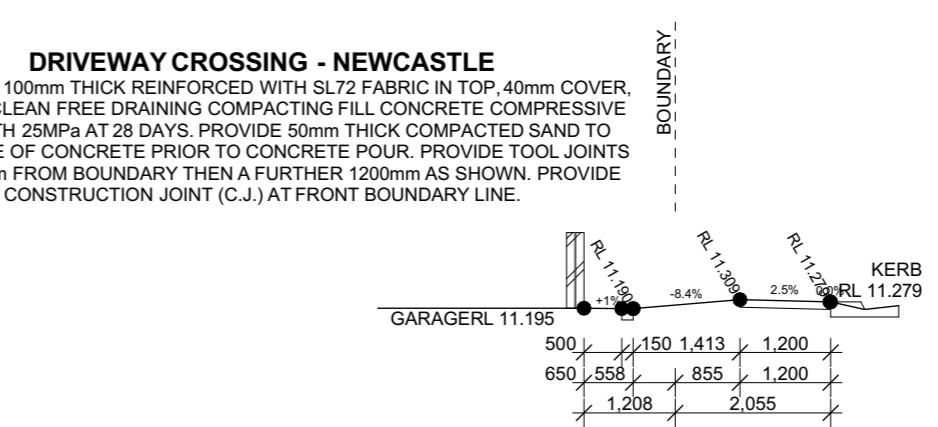
UNIT 1	
CONDITIONED	109.67
UNCONDITIONED	8.19
	117.86 m²
UNIT 2	
CONDITIONED	111.73
UNCONDITIONED	8.41
	120.14 m²
SITE	238.00 m²
	404.67

- ALL BATTERS SHOWN ARE 1V:4H UNLESS NOTED OTHERWISE
- CONTOURS SHOWN ARE BASED ON COMPUTER INTERPRETATION OF POINT LEVELS, CARE SHOULD BE TAKEN IF EXTRAPOLATING
- SERVICES LOCATED HEREIN ARE APPROXIMATE ONLY AND TAKEN FROM INFORMATION AVAILABLE AT THE TIME OF DRAFTING, CONSULT DIAL BEFORE YOU DIG TO ESTABLISH EXACT DETAILS AT THE COMMENCEMENT OF WORKS
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE WITHIN THE ALLOTMENT BOUNDARIES
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AND MAINTAINED BY SITE SUPERVISOR REGULARLY AND CLEANED UPON REACHING 50% CAPACITY. FOOTWAYS, DRIVEWAYS AND ROADS SHOULD BE TREATED SIMILARLY
- ALL STORMWATER MUST BE CONNECTED TO LEGAL POINT OF DISCHARGE AS SOON AS PRACTICAL DURING CONSTRUCTION.



DRIVEWAY GRADIENT - UNIT 2

SCALE 1:100 @A0



DRIVEWAY GRADIENT - UNIT 1

SCALE 1:100 @A3

Wind Classification:	N2	Soil Classification:	H1
Mine Subsidence:	Yes/No	Acid Sulphate Soil:	Class 2
Acoustic Requirements:	No	Mains Power:	Yes
Mains Water Available:	Yes	Mains Gas Available:	Yes
Mains Sewer Available:	Yes	Stormwater Drainage:	Kerb/Pit
>1km to Breaking Surf:	No	>100m to Salt Water:	No
Rock:	Yes/No	Flood Min RL:	No
Bushfire Requirements:	No		



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WD05^o of 20
DEMOLITION PLAN
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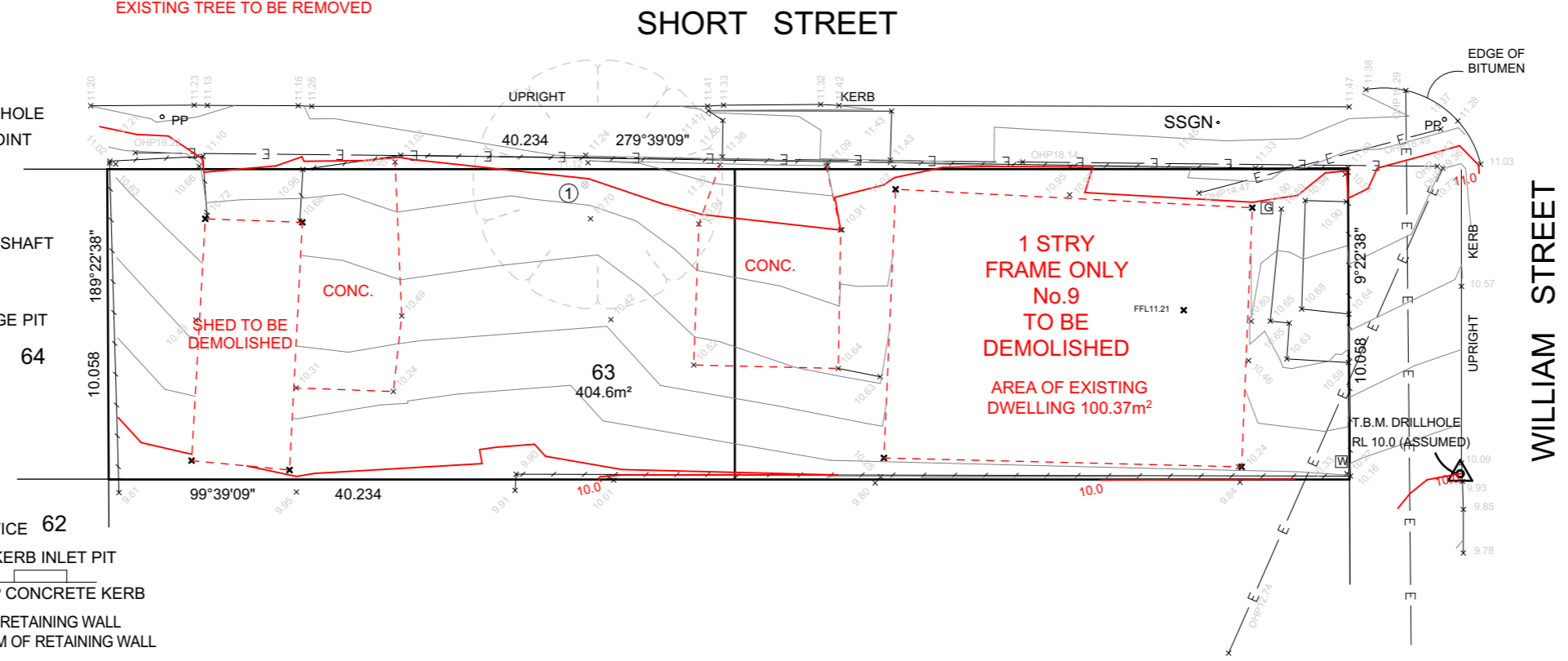
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LEGEND

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- BRW DENOTES EXISTING BOTTOM OF RETAINING WALL
- ⊙ WARNING: PROTECTED SURVEY MARK (REFER TO R.M.S. GOV.AU FOR INFORMATION)

Table of Tree Data		
No.	Trunk	Spread Height
1	0.5mØ	9mØ 4m

EXISTING TREE TO BE REMOVED



DEMOLITION PLAN

SCALE 1:200 @A0

Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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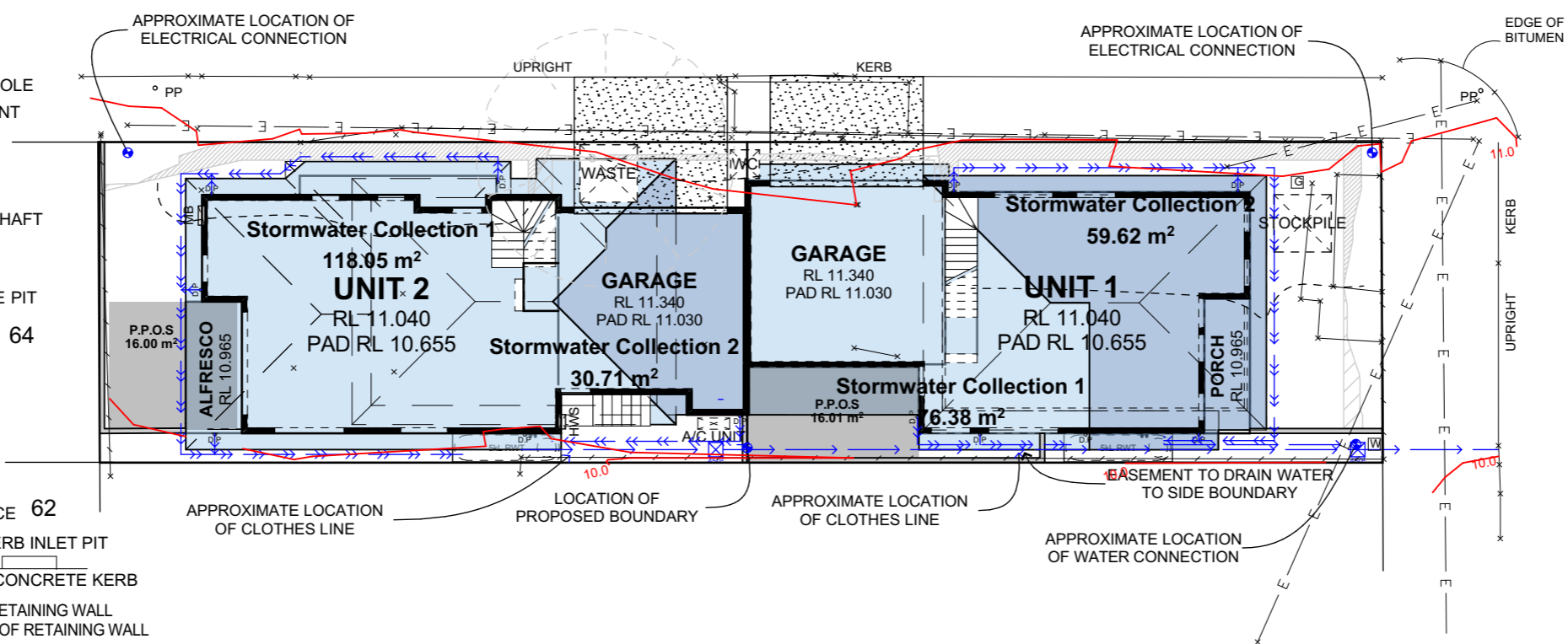
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7. MI	MINOR SETBACK ADJUSTMENTS + GFA CALC UPDATE	29/08/2022
8. MI	SHADOW DIAGRAMS UPDATE	12/10/2022

WD06¹⁰ of 20
STORMWATER PLAN
 For Job: **0009WILL**
 On: **12/10/2022**
CONTRACT PLANS

For the design of a:
Custom DETACHED DUAL OCCUPANCY WITH Custom FACADE
 For: **Mahdi Ashuri**
 At: **63 / B / 192768
 9 WILLIAM STREET
 MAYFIELD,
 NSW, 2304**

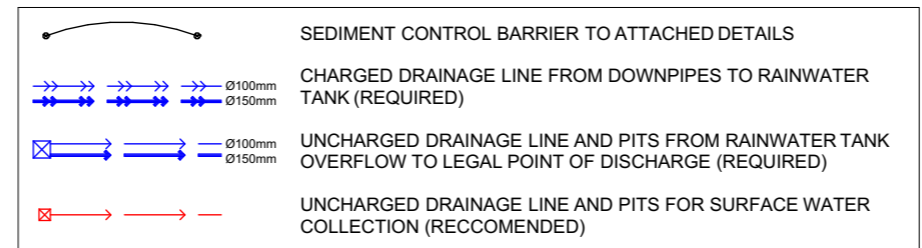
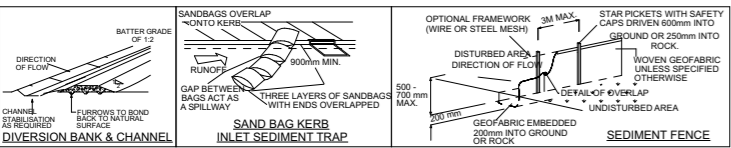
- STREET TREE
- TELSTRA PILLAR
- NBN NBN PIT
- TELSTRA PIT
- ELECTRICITY PILLAR
- LP LIGHT POLE
- PP POWER POLE
- SEWER MAINTENANCE HOLE
- SIPT SEWER INSPECTION POINT
- SVNT SEWER VENT
- SHT SEWER TANK
- SP SEWER PUMP
- SEWER MAINTENANCE SHAFT
- FP FLUSH POINT
- IL PIPE INVERT
- STORMWATER DRAINAGE PIT
- GAS METER
- TAP
- WATER METER
- WATER STOP VALVE
- WATER HYDRANT
- WC WATER CONNECTION

- MISC MISCELLANEOUS SERVICE 62
- DRIVE CROSSING
- KERB INLET PIT
- TOP CONCRETE KERB
- TOP CONCRETE KERB
- TRW DENOTES EXISTING TOP OF RETAINING WALL
- BRW DENOTES EXISTING BOTTOM OF RETAINING WALL



STORMWATER PLAN
 SCALE 1:200 @A3

- ALL BATTERS SHOWN ARE 1V:4H UNLESS NOTED OTHERWISE
- CONTOURS SHOWN ARE BASED ON COMPUTER INTERPRETATION OF POINT LEVELS, CARE SHOULD BE TAKEN IF EXTRAPOLATING
- SERVICES LOCATED HEREIN ARE APPROXIMATE ONLY AND TAKEN FROM INFORMATION AVAILABLE AT THE TIME OF DRAFTING, CONSULT DIAL BEFORE YOU DIG TO ESTABLISH EXACT DETAILS AT THE COMMENCEMENT OF WORKS
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE WITHIN THE ALLOTMENT BOUNDARIES
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AND MAINTAINED BY SITE SUPERVISOR REGULARLY AND CLEANED UPON REACHING 50% CAPACITY. FOOTWAYS, DRIVEWAYS AND ROADS SHOULD BE TREATED SIMILARLY
- ALL STORMWATER MUST BE CONNECTED TO LEGAL POINT OF DISCHARGE AS SOON AS PRACTICAL DURING CONSTRUCTION.



Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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 Website: www.hunterhomesnsw.com
 Email: info@hunterhomesnsw.com
 Phone: (02) 4987 4909 ABN: 76 133 887 064

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 16/05/2022 3. MI BASIS COMMITMENTS ADDED
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 12/10/2022 8. MI SHADOW DIAGRAMS UPDATE

For Job:

0009WILL

On:

**12/10/2022
CONTRACT
PLANS**

For the design of a:
**Custom DETACHED DUAL OCCUPANCY
WITH Custom FACADE**

For:

Mahdi Ashuri

At:

**63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304**



09:00 21/6

NOT TO SCALE



10:00 21/6

NOT TO SCALE



12:00 21/6

NOT TO SCALE



11:00 21/6

NOT TO SCALE

Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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8. MI	SHADOW DIAGRAMS UPDATE	12/10/2022

WD08¹² of 20
SHADOW DIAGRAMS
 For Job: **0009WILL**
 On: **12/10/2022**
CONTRACT PLANS

For the design of a:
Custom DETACHED DUAL OCCUPANCY WITH Custom FACADE

For:
Mahdi Ashuri
 At:
63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304



13:00 21/6
 NOT TO SCALE



14:00 21/6
 NOT TO SCALE



15:00 21/6
 NOT TO SCALE

Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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WORKING DOCUMENTATION

DWG No. DRAWING TITLE

- WD08 COVER SHEET - UNIT 1
- WD09 FLOOR PLAN - GROUND FLOOR
- WD10 FLOOR PLAN - FIRST FLOOR
- WD11 ELEVATIONS
- WD12 ELEVATIONS
- WD13 SECTION A-A

WD09¹³ of 20

COVER SHEET - UNIT 1

For Job:

0009WILL

On:

**12/10/2022
CONTRACT
PLANS**

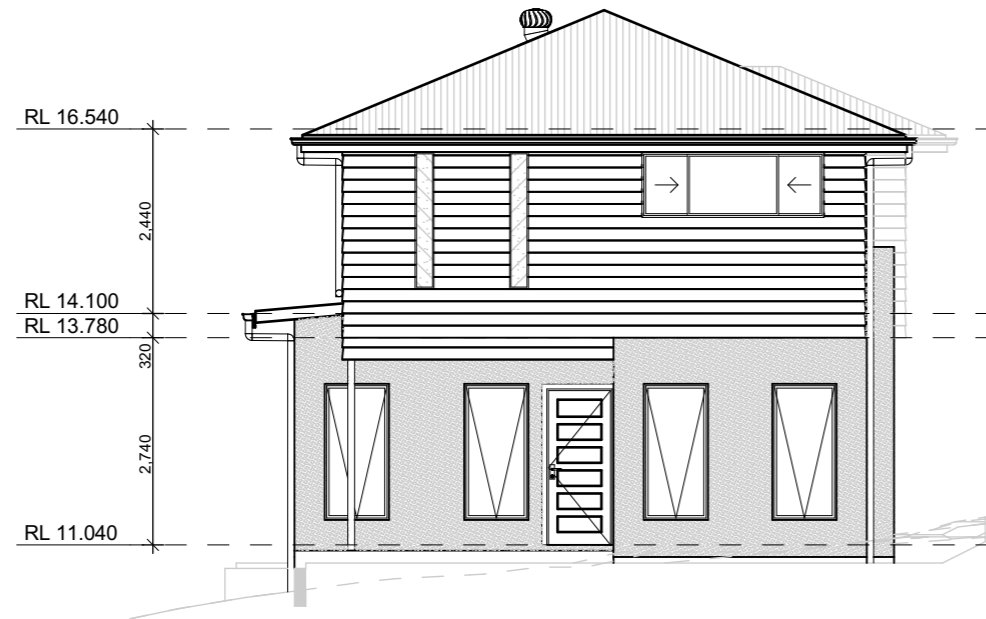
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WITH Custom FACADE**

For:

Mahdi Ashuri

At:

**63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304**



FRONT ELEVATION

SCALE 1:100 @A0



RIGHT ELEVATION

SCALE 1:100 @A0

Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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FLOOR PLAN - FIRST FLOOR

For Job:

0009WILL

On:

12/10/2022
CONTRACT PLANS

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Custom DETACHED DUAL OCCUPANCY WITH Custom FACADE

For:

Mahdi Ashuri

At:

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9 WILLIAM STREET
MAYFIELD,
NSW, 2304

BASIX AREAS

UNIT 1

Conditioned	109.67
Unconditioned	8.19
	117.86 m ²

FLOOR AREAS

UNIT 1

GROUND FLOOR	68.64
FIRST FLOOR	64.82
GARAGE	32.77
PORCH	6.03
	172.26 m ²

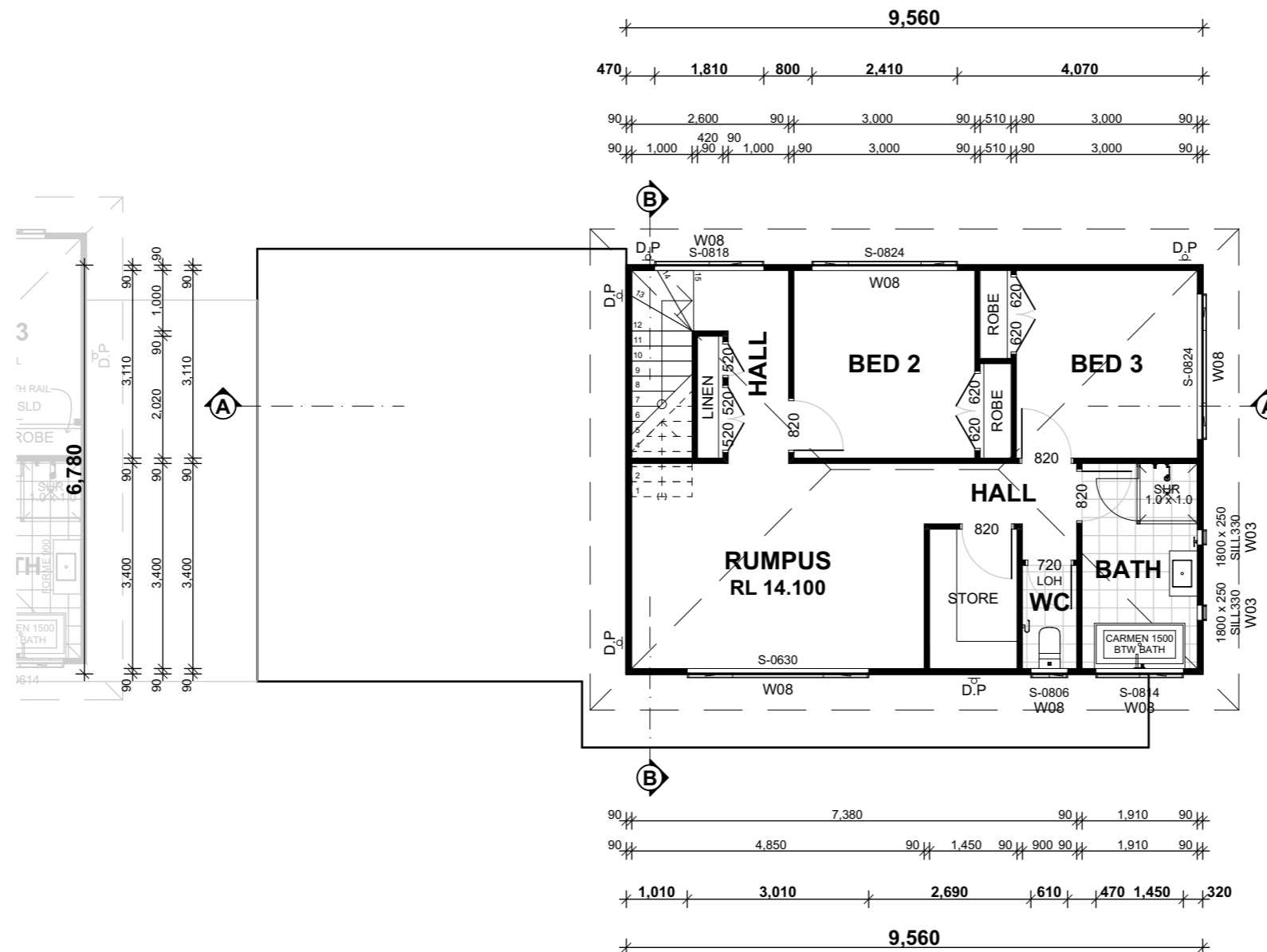
ROOF DETAILS

Roof Type	CUSTOM ORB ROOF SHE...	CUSTOM ORB ROOF SHE...
Pitch	5.0°	22.5°
Flat Area	55.31	85.69
Pitched Area	55.52	92.75

Wind Classification:	N2	Soil Classification:	H1
Mine Subsidence:	Yes/No	Acid Sulphate Soil:	Class 2
Acoustic Requirements:	No	Mains Power:	Yes
Mains Water Available:	Yes	Mains Gas Available:	Yes
Mains Sewer Available:	Yes	Stormwater Drainage:	Kerb/Pit
>1km to Breaking Surf:	No	>100m to Salt Water:	No
Rock:	Yes/No	Flood Min RL:	No
Bushfire Requirements:	No		

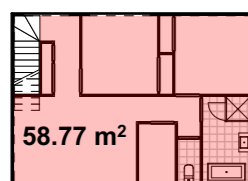


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FLOOR PLAN - FIRST FLOOR

SCALE 1:100 @A3



58.77 m²

GROSS FLOOR AREA - FIRST FLOOR

SCALE 1:300 @A0

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For Job:

0009WILL

On:

12/10/2022
CONTRACT
PLANS

For the design of a:

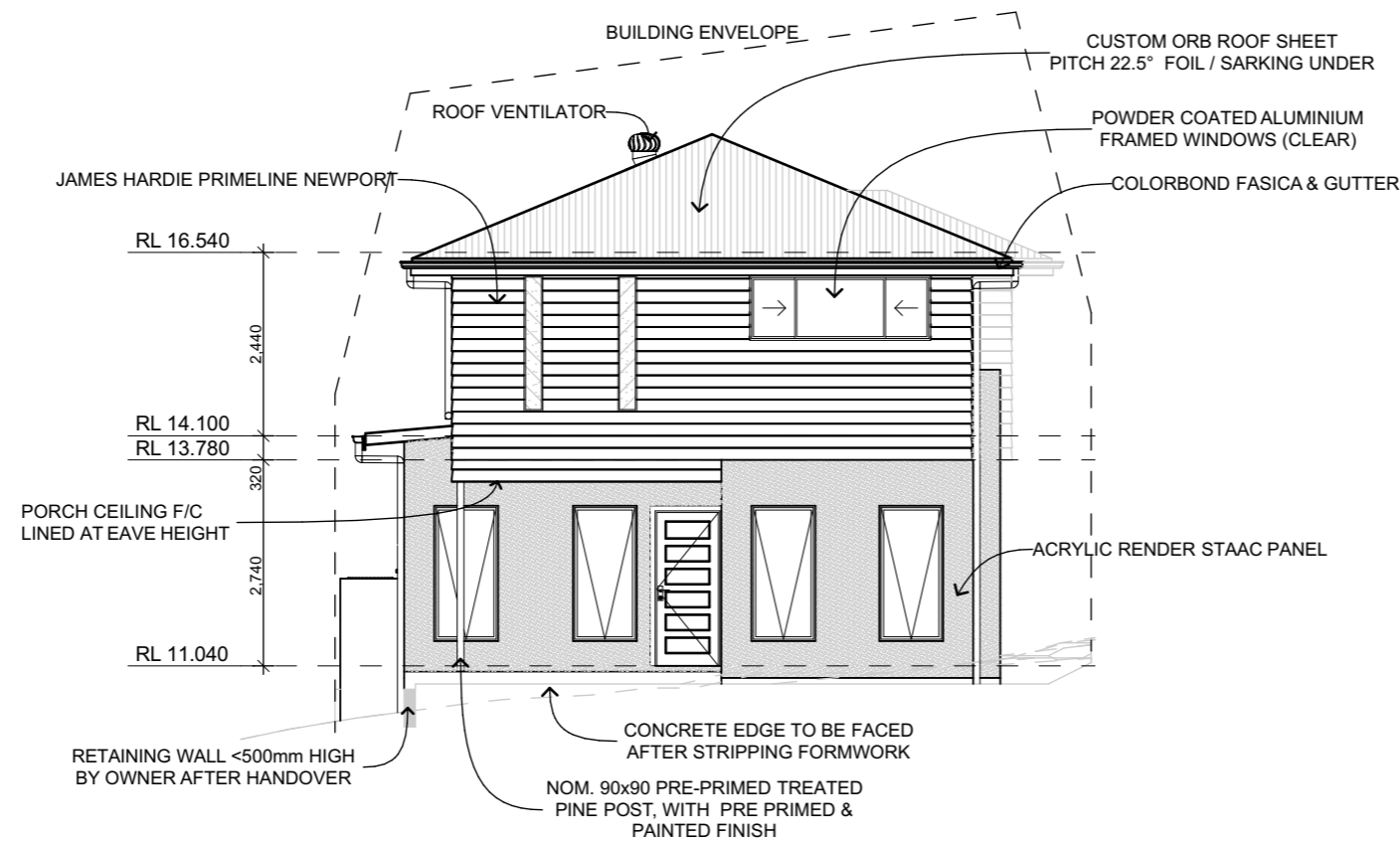
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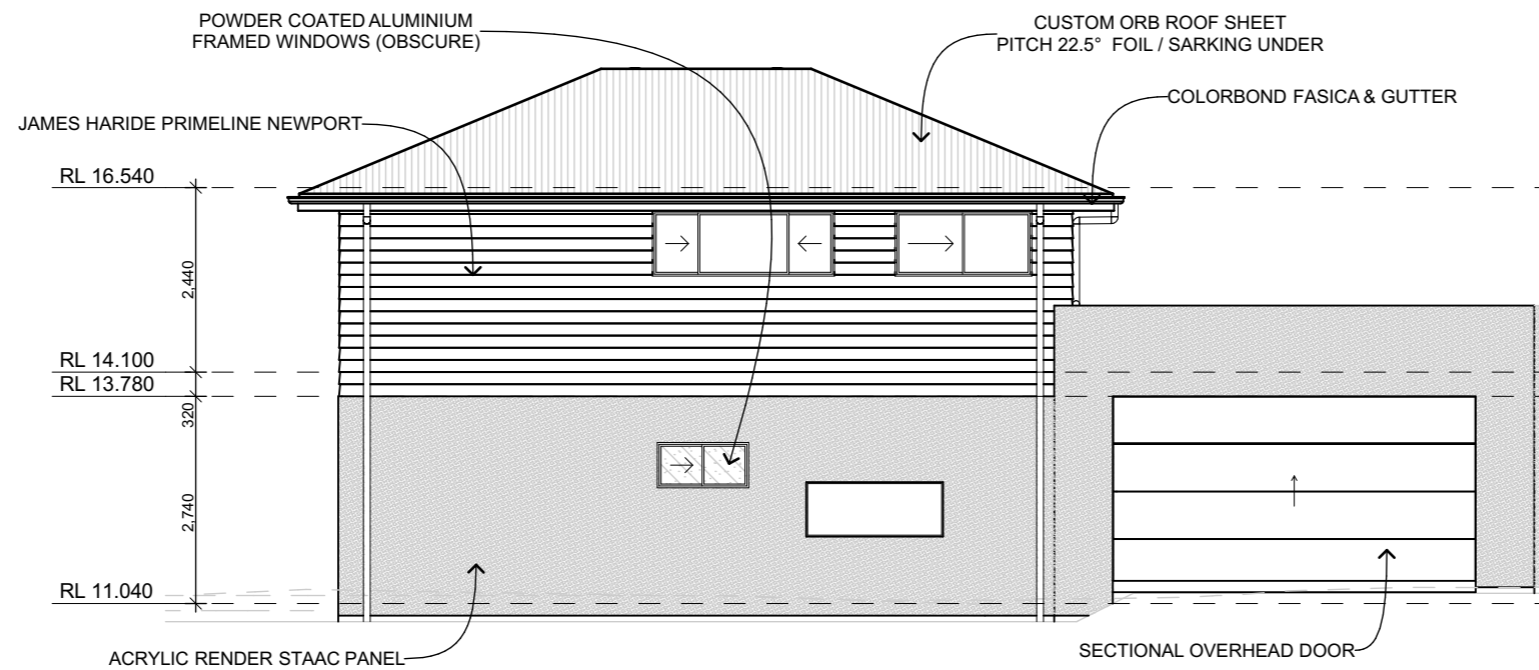


FRONT ELEVATION

SCALE 1:100 @A3

NOTE: BRICK SILLS ARE TO BE PROVIDED TO WINDOWS AS PER BELOW;

- ALL WINDOWS FACING OUTDOOR LIVING AREAS (ALFRESCO) SNAP HEADER
- SPLASHBACK WINDOWS SNAP HEADER
- ALL OTHER CASES RAKED SILL



RIGHT ELEVATION

SCALE 1:100 @A3

Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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WD13¹⁷ of 20

ELEVATIONS

For Job:

0009WILL

On:

12/10/2022
CONTRACT
PLANS

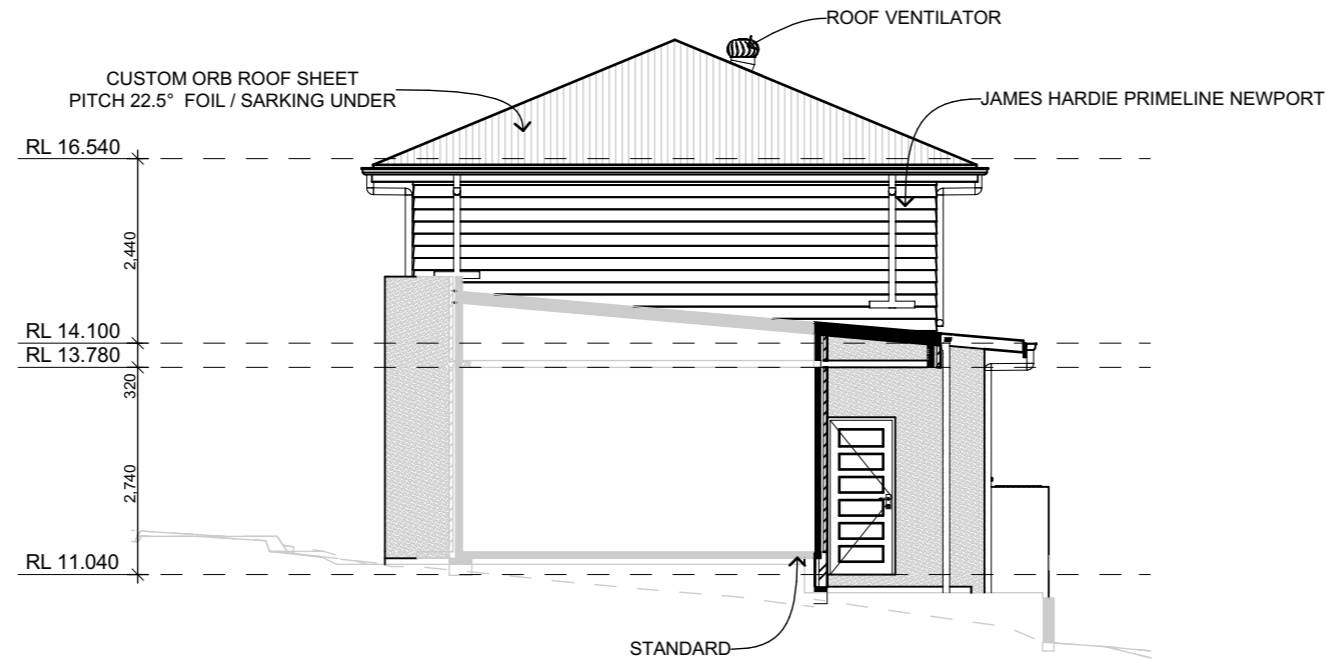
For the design of a:
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For:

Mahdi Ashuri

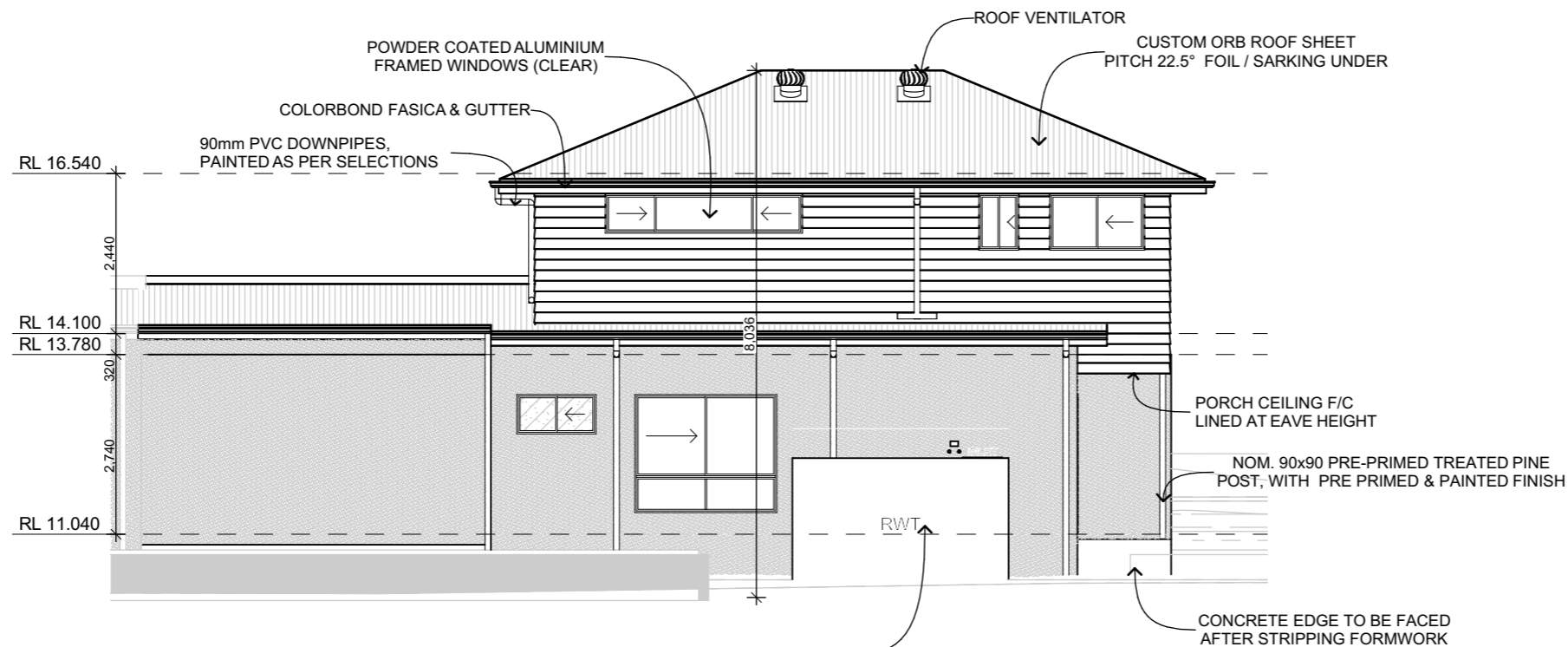
At:

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REAR ELEVATION

SCALE 1:100 @A3



ACRYLIC RENDER STAAC PANEL

LEFT ELEVATION

SCALE 1:100 @A3

NOTE: BRICK SILLS ARE TO BE PROVIDED TO WINDOWS AS PER BELOW;

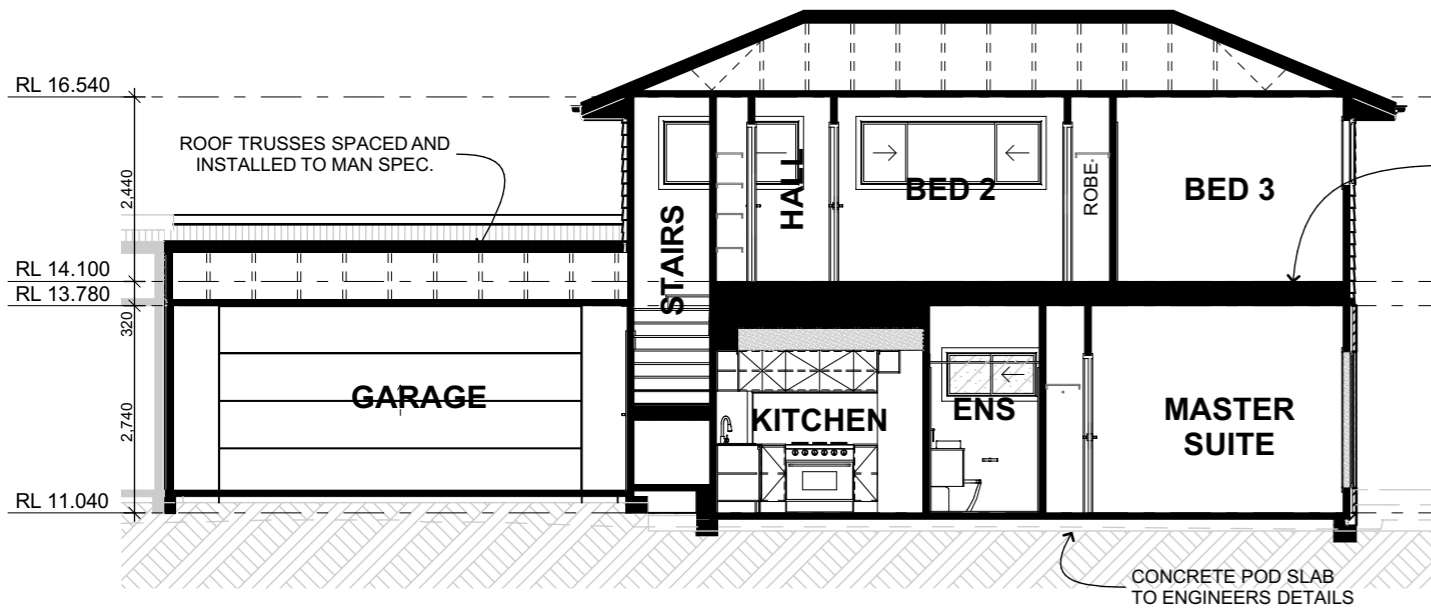
- ALL WINDOWS FACING OUTDOOR LIVING AREAS (ALFRESCO) SNAP HEADER
- SPLASHBACK WINDOWS SNAP HEADER
- ALL OTHER CASES RAKED SILL

Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	

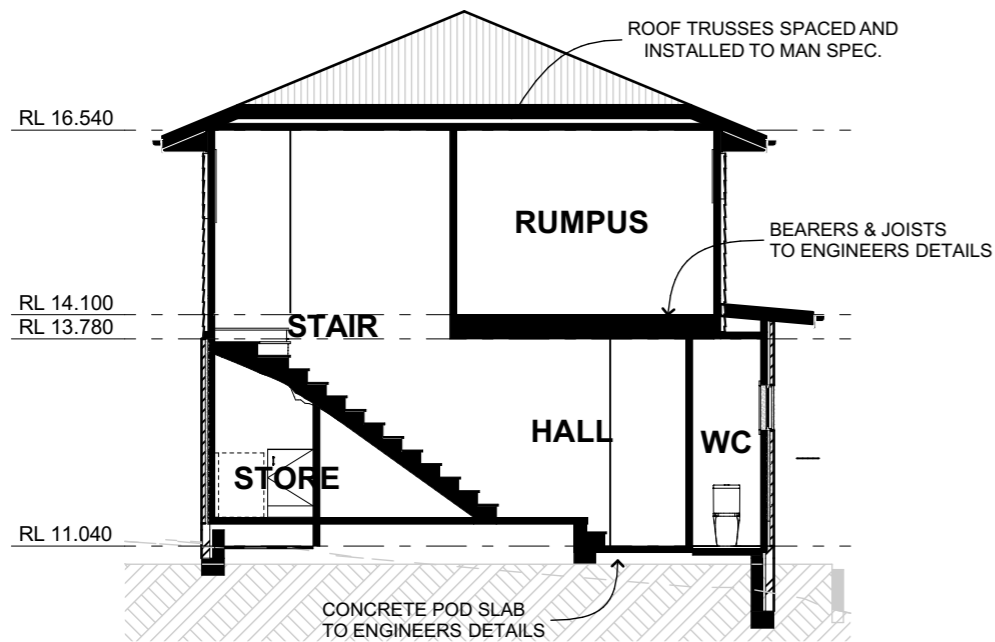


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SECTION A-A
SCALE 1:100 @A3



SECTION B-B
SCALE 1:100 @A0

BEARERS & JOISTS TO ENGINEERS DETAILS

ID	D01	D01	W03	W03	W03
External View					
Height	2	2	2	2	2
Width	1	1	1	1	1
Window/Door Type	Swinging Door	Swinging Door	Aluminium Awning	Aluminium Awning	Aluminium Awning
Head Height	2	2	2	2	2
Sill Height	0	0	0	0	0
Orientation	L	R	L	R	R
ID	W03	W03	W03	W04	W06
External View					
Height	1	2	2	2	2
Width	2	0	0	1	2
Window/Door Type	Aluminium Fixed	Aluminium Fixed	Aluminium Fixed	Aluminium Awning	Sliding Window
Head Height	2	2	2	2	2
Sill Height	1	0	0	0	0
Orientation	L	L	R	R	L
ID	W06	W06	W08	W08	W08
External View					
Height	1	1	1	1	1
Width	1	1	2	2	2
Window/Door Type	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window
Head Height	2	2	2	2	2
Sill Height	2	2	1	1	1
Orientation	L	R	L	L	L
ID	W08	W08	W08	W08	W08
External View					
Height	1	1	1	1	1
Width	1	1	3	2	2
Window/Door Type	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window
Head Height	2	2	2	2	2
Sill Height	1	1	2	2	2
Orientation	R	R	R	R	R

WINDOW AND DOOR SCHEDULE

For the design of a:
CONTRACT PLANS
Custom DETACHED DUAL OCCUPANCY
WITH Custom FACADE

For:
Mahdi Ashuri
63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304

Wind Classification: **N2**
Soil Classification: **H1**
Mine Subsidence: **Yes/No**

Mains Power: **Yes**
Stormwater Drainage: **Kerb/Pit**
Acid Sulphate Soil: **Class 2**

Mains Water Available: **>1km to Breaking Surf: Yes No**
Mains Gas Available: **>100m to Salt Water: Yes No**
Mains Sewer Available: **Acoustic Requirements: Yes No**

Bushfire Requirements: **No**
Flood Requirements: **No**
Rock (Approx. Depth): **Yes/No**

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For Job:

WD14_{of 20}
SECTIONS
0009WILL
12/10/2022

WORKING DOCUMENTATION

DWG No. DRAWING TITLE

- WD14 COVER SHEET - UNIT 2
- WD15 FLOOR PLAN
- WD16 FLOOR PLAN - FIRST FLOOR
- WD17 ELEVATIONS
- WD18 ELEVATIONS
- WD19 SECTION A-A

WD15¹⁰ of 20

COVER SHEET - UNIT 2

For Job:

0009WILL

On:

**12/10/2022
CONTRACT
PLANS**

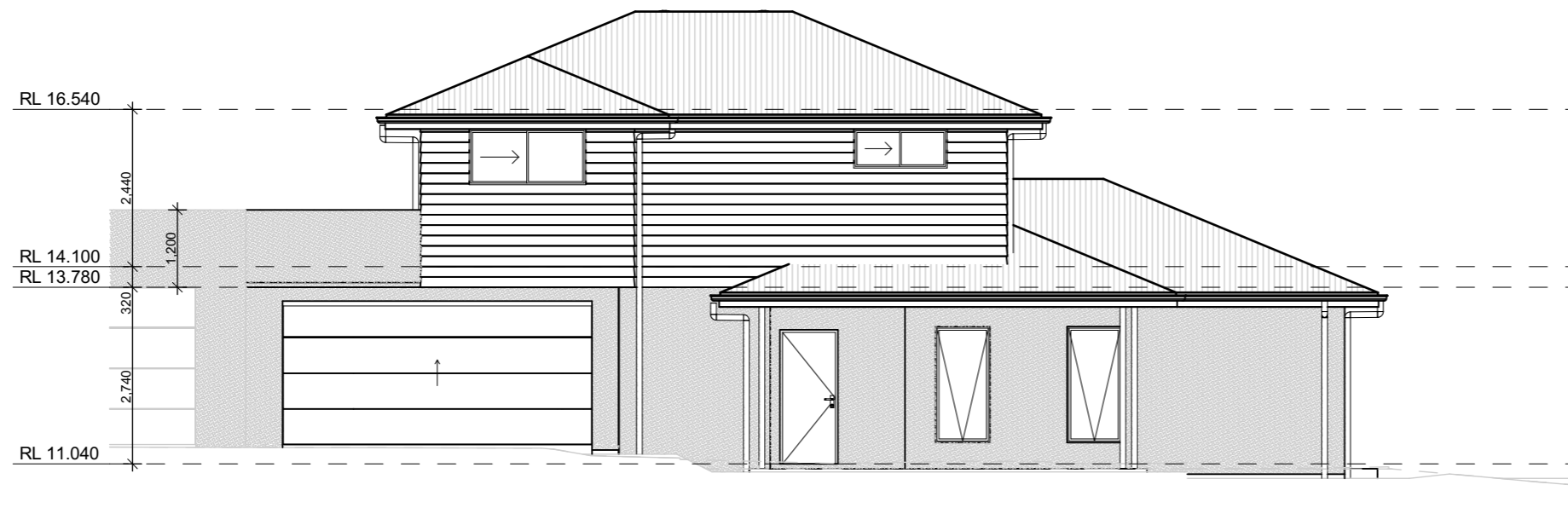
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WITH Custom FACADE**

For:

Mahdi Ashuri

At:

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9 WILLIAM STREET
MAYFIELD,
NSW, 2304**



RIGHT ELEVATION

Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



Hunter Homes Pty Ltd Builders Lic. 216162C
11 Hank Street, Heatherbrae, NSW, 2324
Website: www.hunterhomesnsw.com

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8. MI	SHADOW DIAGRAMS UPDATE	12/10/2022

Email: info@hunterhomesnsw.com
Phone: (02) 4987 4909 ABN: 76 133 887 064
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For Job:

0009WILL

On:

12/10/2022
CONTRACT PLANS

For the design of a:
Custom DETACHED DUAL OCCUPANCY WITH Custom FACADE

For:

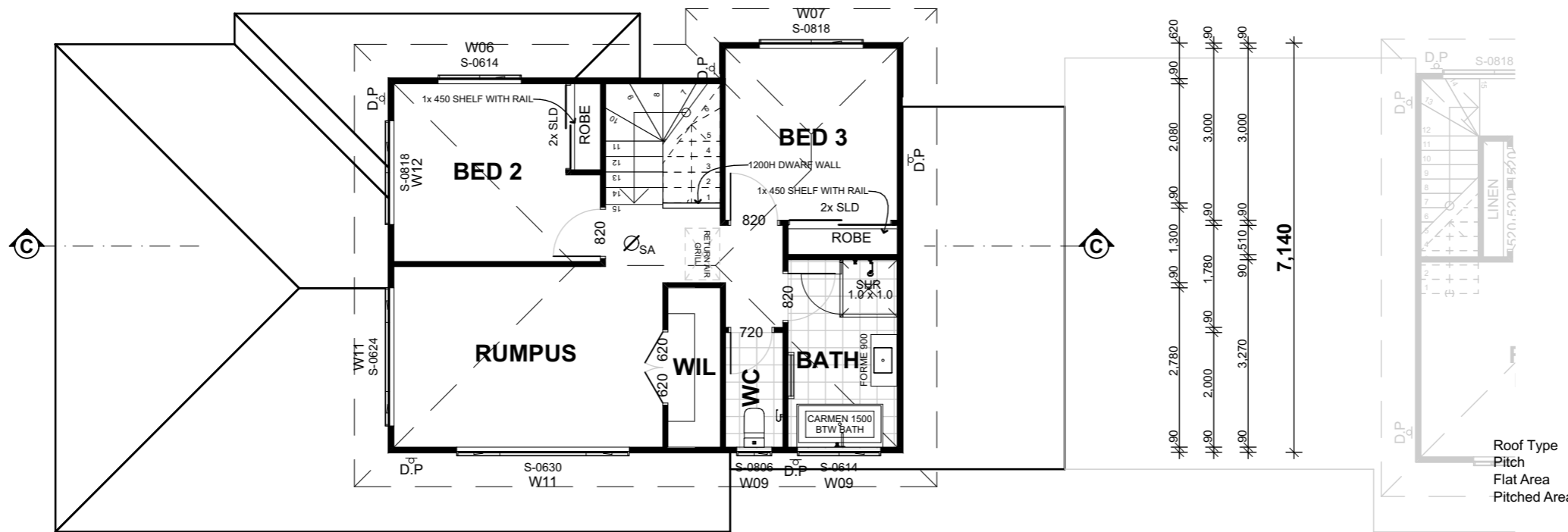
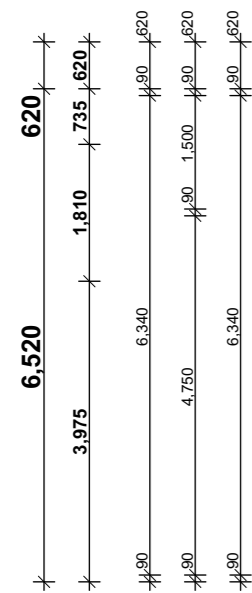
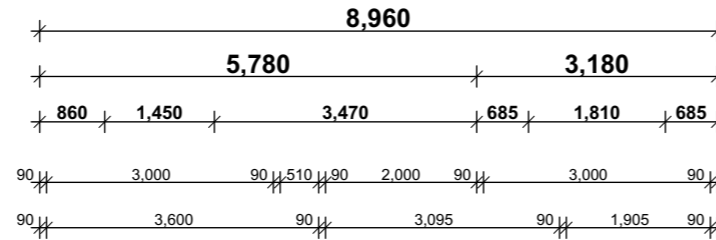
Mahdi Ashuri

At:

63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304

FLOOR COVERING LAYOUT - FIRST FLOOR

SCALE 1:300 @A3



BASIX AREAS

UNIT 2	
Conditioned	111.73
Unconditioned	8.41
	120.14 m ²

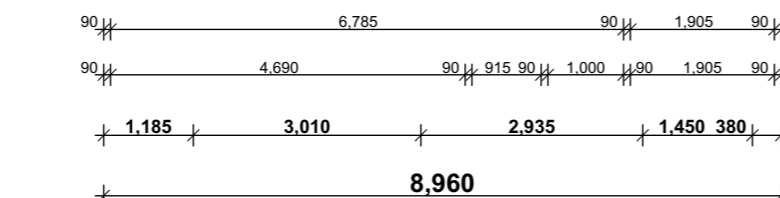
FLOOR AREAS

UNIT 2	
GROUND FLOOR	77.73
FIRST FLOOR	60.44
GARAGE	36.22
ALFRESCO	7.26
PORCH	4.54
	186.19 m ²

ROOF DETAILS

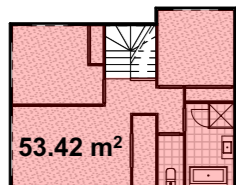
Roof Type	CUSTOM ORB ROOF SHE...	CUSTOM ORB ROOF SHE...
Pitch	5.0°	22.5°
Flat Area	18.80	145.12
Pitched Area	18.87	157.07

Wind Classification:	N2	Soil Classification:	H1
Mine Subsidence:	Yes/No	Acid Sulphate Soil:	Class 2
Acoustic Requirements:	No	Mains Power:	Yes
Mains Water Available:	Yes	Mains Gas Available:	Yes
Mains Sewer Available:	Yes	Stormwater Drainage:	Kerb/Pit
>1km to Breaking Surf:	No	>100m to Salt Water:	No
Rock:	Yes/No	Flood Min RL:	No
Bushfire Requirements:	No		



FIRST FLOOR PLAN - DWELLING 2

SCALE 1:100 @A3



GROSS FLOOR AREA - FIRST FLOOR



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WD18²² of 20

ELEVATIONS

For Job:

0009WILL

On:

12/10/2022

CONTRACT PLANS

For the design of a:

Custom DETACHED DUAL OCCUPANCY WITH Custom FACADE

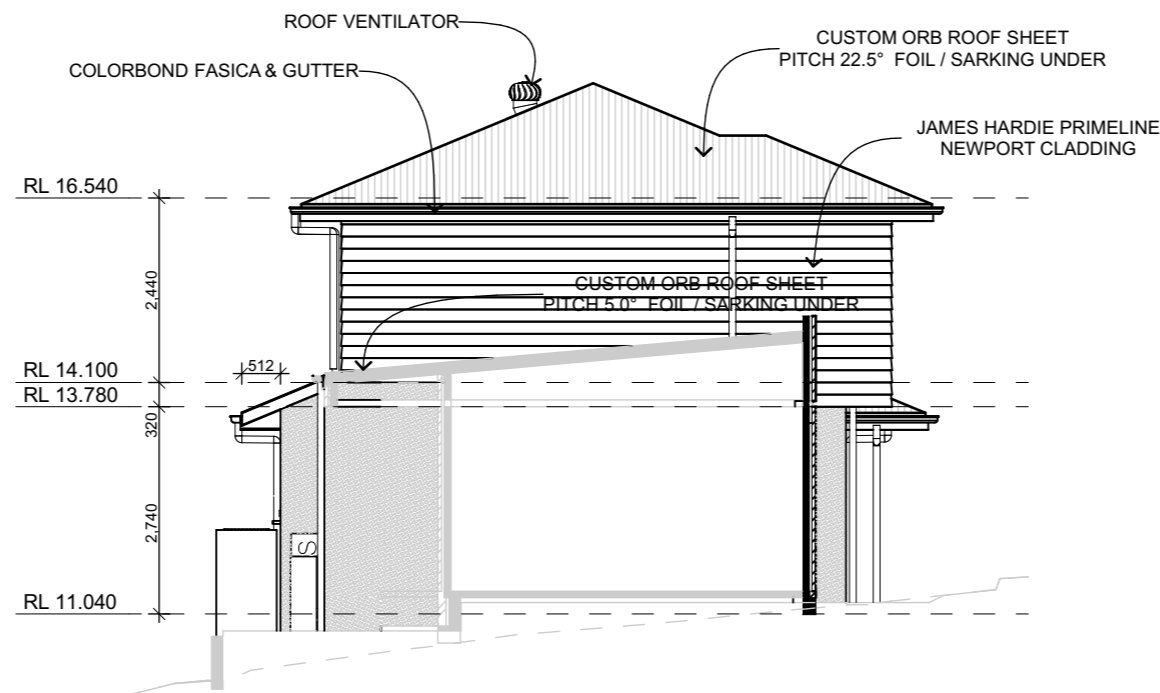
For:

Mahdi Ashuri

At:

63 / B / 192768
9 WILLIAM STREET
MAYFIELD,
NSW, 2304

90mm PVC DOWNPIPES,
PAINTED AS PER SELECTIONS

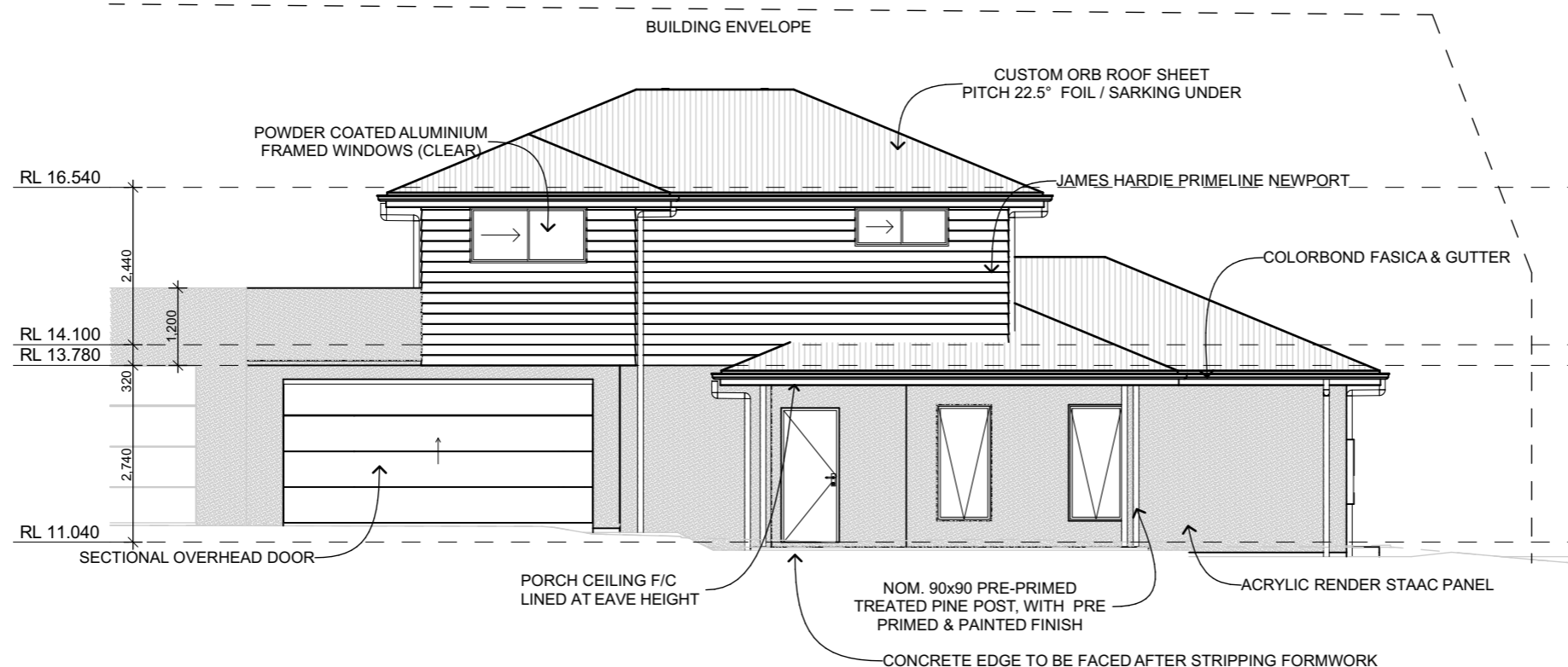


LEFT ELEVATION

SCALE 1:100 @A3

NOTE: BRICK SILLS ARE TO BE PROVIDED TO WINDOWS AS PER BELOW;

- ALL WINDOWS FACING OUTDOOR LIVING AREAS (ALFRESCO) SNAP HEADER
- SPLASHBACK WINDOWS SNAP HEADER
- ALL OTHER CASES RAKED SILL



FRONT ELEVATION

SCALE 1:100 @A3

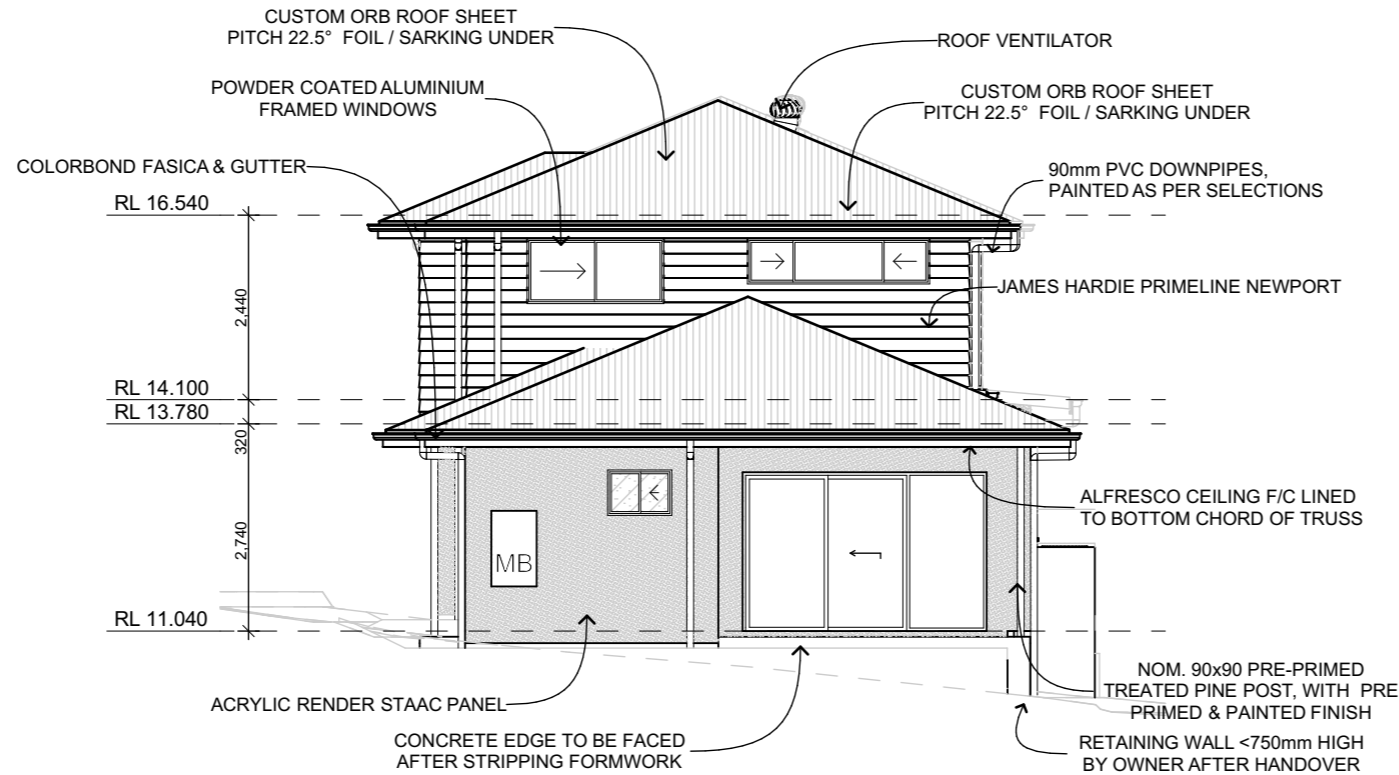
Wind Classification:	Soil Classification:
N2	H1
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class 2
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb/Pit
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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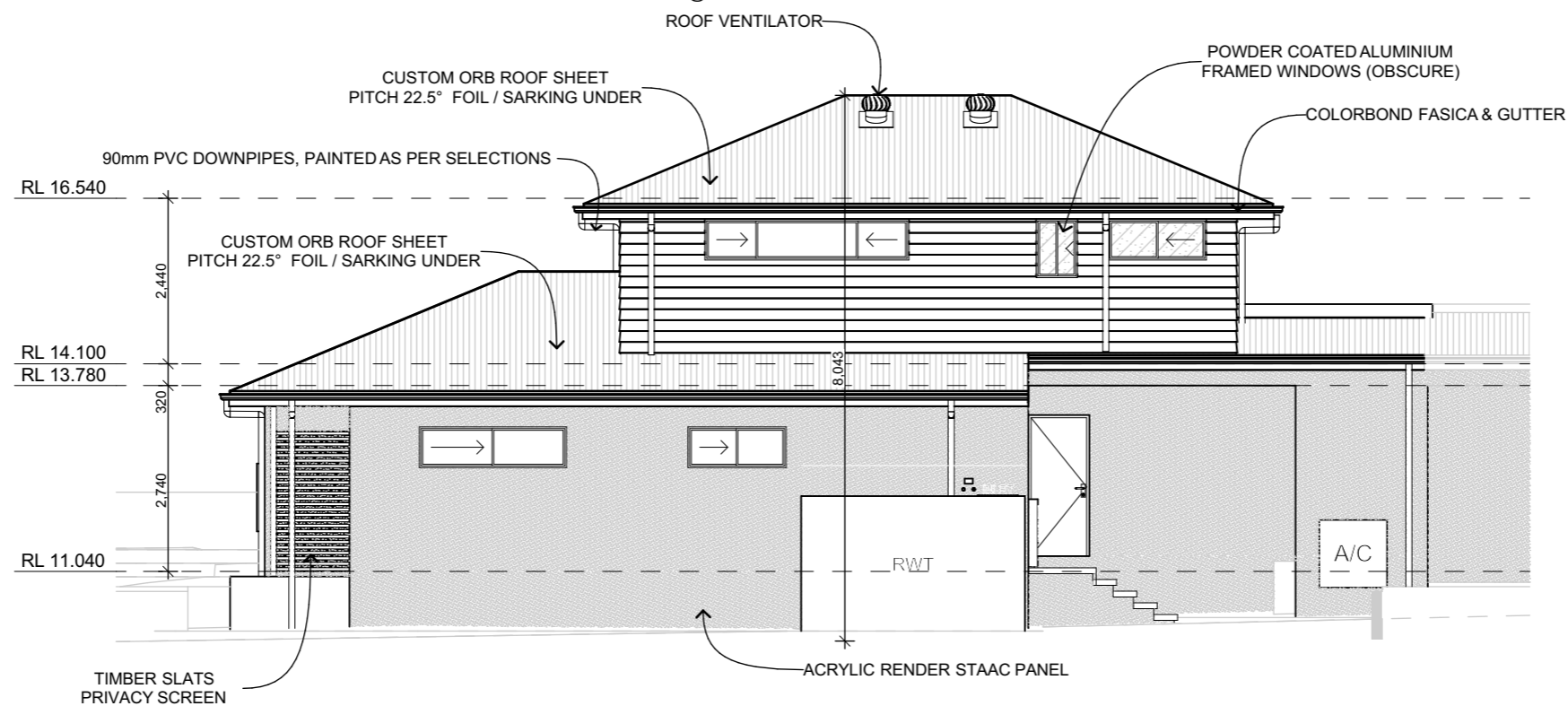
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RIGHT ELEVATION

SCALE 1:100 @A3



REAR ELEVATION

SCALE 1:100 @A3

NOTE: BRICK SILLS ARE TO BE PROVIDED TO WINDOWS AS PER BELOW;

- ALL WINDOWS FACING OUTDOOR LIVING AREAS (ALFRESCO) SNAP HEADER
- SPLASHBACK WINDOWS SNAP HEADER
- ALL OTHER CASES RAKED SILL

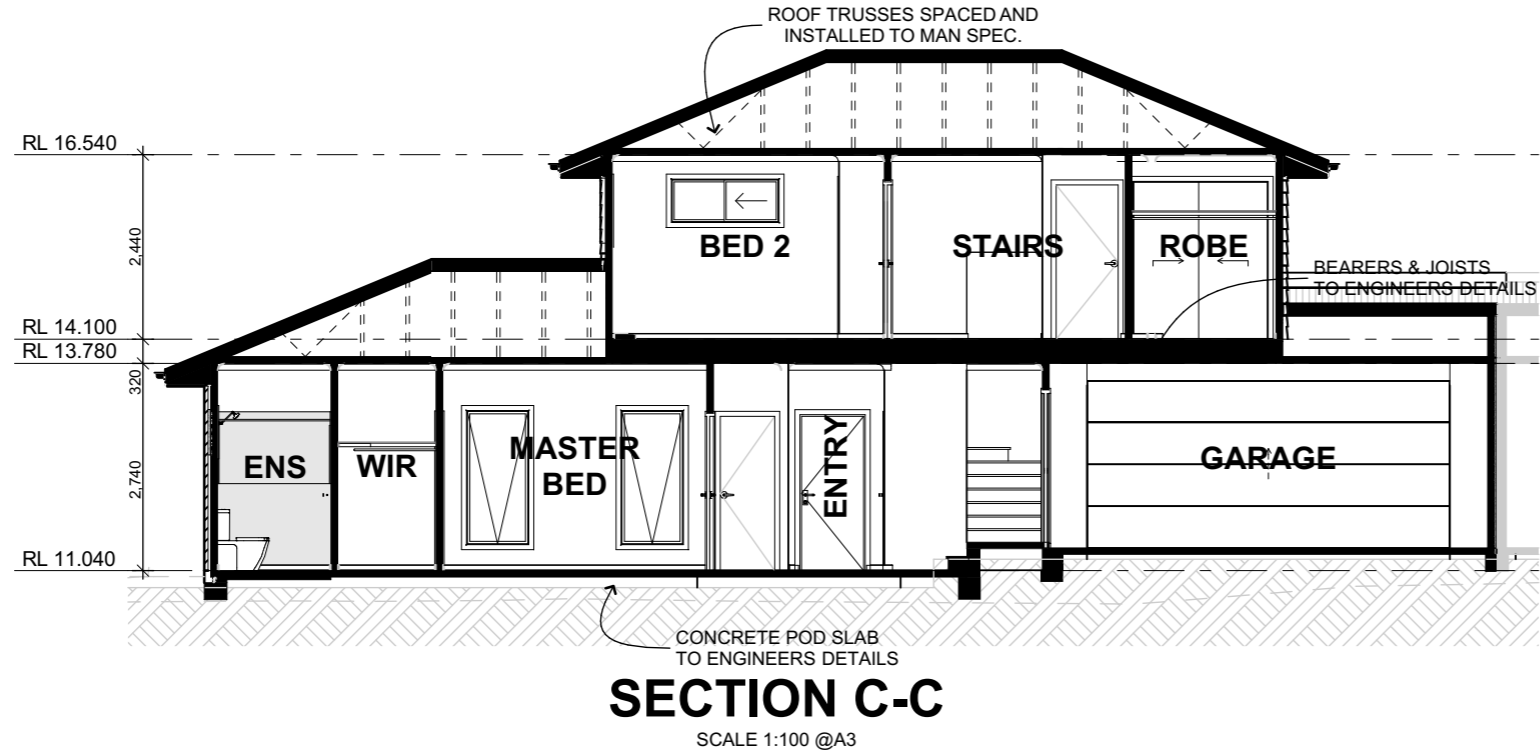
Wind Classification:	N2	Soil Classification:	H1
Mine Subsidence:	Yes/No	Acid Sulphate Soil:	Class 2
Acoustic Requirements:	No	Mains Power:	Yes
Mains Water Available:	Yes	Mains Gas Available:	Yes
Mains Sewer Available:	Yes	Stormwater Drainage:	Kerb/Pit
>1km to Breaking Surf:	No	>100m to Salt Water:	No
Rock:	Yes/No	Flood Min RL:	No
Bushfire Requirements:	No		



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ID	D01	D01	D02	W03	W03	W03	W04	W05
External View								
Height	2	2	2	2	2	1	1	1
Width	1	1	3	1	1	1	2	1
Window/Door Type	Swinging Door	Swinging Door	Sliding Door with Sidelight o...	Aluminium Awning	Aluminium Awning	Sliding Window	Sliding Window	Sliding Window
Head Height	2	2	2	2	2	2	2	2
Sill Height	0	0	0	0	0	2	2	2
Orientation	R	R	L	R	R	L	L	R
ID	W06	W07	W09	W09	W11	W11	W12	
External View								
Height	1	1	1	1	1	1	1	
Width	1	2	1	1	2	3	2	
Window/Door Type	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window	
Head Height	2	2	2	2	2	2	2	
Sill Height	2	1	1	2	2	2	1	
Orientation	L	L	R	R	L	L	L	

WINDOW AND DOOR SCHEDULE

For the design of a:
CONTRACT PLANS
 Custom DETACHED DUAL OCCUPANCY
 WITH Custom FACADE

For:
Mahdi Ashuri
 63 / B / 192768
 9 WILLIAM STREET
 MAYFIELD,
 NSW, 2304

Wind Classification: **N2**
 Soil Classification: **H1**
 Mine Subsidence: **Yes/No**

Mains Power: **Yes**
 Stormwater Drainage: **Kerb/Pit**
 Acid Sulphate Soil: **Class 2**

Mains Water Available: >1km to Breaking Surf: **No**
 Mains Gas Available: >100m to Salt Water: **No**
 Mains Sewer Available: Acoustic Requirements: **No**

Bushfire Requirements: **No**
 Flood Requirements: **No**
 Rock (Approx. Depth): **Yes/No**

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For Job:
WD20_{of 20}
SECTIONS
0009WILL
 On:
12/10/2022



CIVIL SERVICES for 9 WILLIAM STREET, MAYFIELD NSW 2304

Prepared by
WALLACE INFRASTRUCTURE DESIGN PTY LTD

GENERAL NOTES

- THESE PLANS ARE FOR DA PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNDER ANY CASE.
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH OTHER RELEVANT REPORTS AND PLANS (INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, GEOTECHNICAL, SURVEY ETC.).
- LEVELS, OUTSIDE OF STORMWATER DESIGN LEVELS, ARE SHOWN FOR REFERENCE ONLY.



LOCATION PLAN
(NTS)

DRAWING NUMBER	DRAWING DESCRIPTION
C01.01	LEGEND, DRAWING SCHEDULE AND LOCATION PLAN
C02.01	GENERAL NOTES
C04.01	CIVIL WORKS AND STORMWATER DRAINAGE PLAN
C05.01	TYPICAL SECTIONS AND DETAILS

ABBREVIATIONS

A/G	ABOVE GROUND	GA	GENERAL ARRANGEMENT	REV	REVISION
AGG	AGGREGATE	GI	GALVANISED IRON	RL	REDUCED LEVEL
ARCH	ARCHITECT	IC	INSPECTION CHAMBER	RSJ	ROLLED STEEL JOIST
ASP	ASPHALT	ID	INSIDE DIAMETER	RW	RETAINING WALL
BM	BENCHMARK	IFC	ISSUED FOR CONSTRUCTION	SFW	SEALED FLOOR WASTE
CAD	COMPUTER AIDED DRAFTING	IFCR	ISSUED FOR CLIENT REVIEW	SHR	SHOWER
C/C	CENTRE TO CENTRE	IL	INVERT LEVEL	SK	KITCHEN SINK
CH	CHAINAGE	IO	INSPECTION OPENING	SL	SURFACE LEVEL
CI	CAST IRON	KIP	KERB INLET PIT	SMH	SEWER MAN HOLE
CJ	CONSTRUCTION JOINT	LP	LAMP POST (SURVEY)	SMV	SEWER MAIN VENT
CL	COVER LEVEL or CENTRE LINE	(m)	METRE	SOD	SIDE OUTLET DRAIN
CO	CLEAN OUT (SUBSOIL)	MAX	MAXIMUM	SP	SPRINKLER
COG	CHANGE OF GRADE	MC	MASS CONCRETE	S/S	STAINLESS STEEL
CONC	CONCRETE	MH	MANHOLE	STD	STANDARD
CTRL	CONTROL	MIN	MINIMUM	SV	STOP VALVE
CR	CROWN	MISC	MISCELLANEOUS	SWD	STORMWATER DRAINAGE
CTS	CENTRES	N	NORTH	SWP	STORMWATER PIT
DIA	DIAMETRE	NRV	NON RETURN VALVE	THK	THICKNESS
DP	DOWNPIPE	NTS	NOT TO SCALE	TOW	TOP OF WALL
DRG	DRAWING	OD	OUTER DIAMETER	TW	TRADE WASTE
D/S	DOWN STREAM	OF	OVERFLOW	TYP	TYPICAL
DTM	DIGITAL TERRAIN MODEL	OH	OVERHEAD	U/G	UNDERGROUND
EB	EDGE BEAM	PP	POWER POLE	UNO	UNLESS NOTED OTHERWISE
EX	EXISTING	PPE	PERSONAL PROTECTIVE EQUIPMENT	U/S	UPSTREAM
ESL	EXISTING SURFACE LEVEL	PVC	POLYVINYLCHLORIDE	VC	VITRIFIED CLAY PIPE
FH	FIRE HYDRANT	PV	PRESSURE VENT	VP	VENT PIPE
FHR	FIRE HOSE REEL	PVP	PRESSURE VENT PIPE	VR	VERTICAL RISER
FFL	FINISHED FLOOR LEVEL	QA	QUALITY ANALYSIS	WC	WATER CLOSET
FGL	FINISHED GROUND LEVEL	QTY	QUANTITY	WL	WATER LEVEL
FSL	FINISHED SURFACE LEVEL	RAD	RADIUS	WM	WATER MARK
FW	FLOOR WASTE	RC	REINFORCED CONCRETE	WS	WASTE STACK

LINETYPES

GENERAL		
SITE BOUNDARY	---	
CADASTRAL BOUNDARY	---	
EASEMENT BOUNDARY	---	
EXISTING - SURVEY FEATURES		
CONTOURS	30.0	
STORMWATER PIPE	---	
STORMWATER PIT	⊗	
TREES / SHRUBS	⊙	
ELECTRICAL CABLE - U/G	---	
ELECTRICAL CABLE - O/H	---	
EXISTING SEWER PIPE	---	
EXISTING WATER	---	
EXISTING WATER (HYDRANT)	●	
EXISTING WATER (STOP VALVE)	X	
EXISTING TELECOM	---	
EXISTING GAS	---	
BUILDING FOOTPRINT	---	
PROPOSED - UTILITIES		
ELECTRICAL CABLE - U/G	---	
ELECTRICAL CABLE - O/H	---	
PROPOSED - UTILITIES (cont.)		
SEWER PIPE	---	
WATER	---	
COMMUNICATIONS	---	
COMMUNICATIONS - OPTIC FIBRE	---	
COMMUNICATIONS PIT	⊗	
GAS	---	
REDUNDANT	---	
PROPOSED - EROSION AND SEDIMENT CONTROL		
SITE EXCLUSION FENCE	---	
STABILISED SITE ACCESS	---	
SEDIMENT FENCE	---	
MATERIAL STOCKPILE	---	
DIVERSION DRAIN	---	
SLOPE DIRECTION	---	
MESH AND GRAVEL INLET FILTER	---	
PROPOSED - ARCHITECTURE (INDICATIVE ONLY)		
DWELLING NUMBER	UNIT 01	
FLOOR LEVEL	FFL 5.00	
BUILDING FOOTPRINT	---	

PROPOSED - SWD (STORMWATER DRAINAGE)

SWD PIPE (INCL. DIA/GRADE/LENGTH)	⊘XXXmm uPVC X.X% GRADE, X.XXm
SWD PIPE - CHARGED (INCL. DIA/GRADE/LENGTH)	⊘XXXmm uPVC CHARGE X.X% GRADE, X.XXm
SWD PIT - GRATED	⊗
SWD - KERB INLET PIT (INCLUDING LINTEL)	⊗
SWD PIT - JUNCTION	⊗
SWD LABEL (TYPE / COVER LEVEL)	PIT XX SUR: XXXXX INV: XXXXX
RAINWATER/REUSE TANK	OR
GROSS POLLUTANT TRAP	GPT
GRATED DRAIN	---
INFILTRATION TRENCH	---
HEADWALL	---
SUBSOIL	---
STORMWATER SWALE	---
PIPE RISER	○ XX
PIPE DROPPER	○ XX
OVERLAND FLOW PATH	---

SYMBOLS

PROPOSED - CIVIL	
CONCRETE	---
ASPHALTIC CONCRETE	---
SAND	---
EARTH	---
RIP RAP	---
BUILDING / STRUCTURES	---
TIMBER	---
BLOCK PAVERS	---
RETAINING WALL	---
KERB RAMP	---
VEHICULAR CROSSING	---
FENCE	---
PROPOSED TREE	●
BATTER	---
BOLLARD - TYPE 1 (FIXED)	● B-T1
BOLLARD - TYPE 2 (REMOVABLE)	● B-T2
LINEMARKING - CHEVRON	---
PAVEMENT EXPANSION JOINT	---
PAVEMENT CONTROL JOINT	---

AutoCAD Civil 3D 2021

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REV	DESCRIPTION	DATE	APP'D	END'D
B	DEVELOPMENT APPLICATION ISSUE	30.08.22	S.S.	--
A	PRELIMINARY ISSUE	01.07.22	S.S.	--

ARCHITECT:
HUNTER HOMES

CLIENT:
MAHDI ASHURI



WALLACE INFRASTRUCTURE DESIGN PTY LTD
PART OF WALLACE DESIGN GROUP PTY LTD
ABN: 96 154 894 952
PO BOX 850, WARNERS BAY, NSW 2282
phone: (02) 49 294 109
email: enquiries@wddgroup.com.au
web: www.wddgroup.com.au

PROJECT:
CIVIL WORKS for
LOT 63 SEC B DP 192768
9 WILLIAM STREET
MAYFIELD NSW 2304

DRAWING TITLE:
CIVIL SERVICES
LEGEND, DRAWING SCHEDULE AND LOCATION PLAN

DRAWING STATUS					
DA APPROVAL NOT TO BE USED FOR CONSTRUCTION					
SCALE				ORIG. SIZE	
N.T.S.				A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE
JC	SS	KB	SS	--	30.08.22
PROJECT No.		DRAWING No.		REV	
22215		C01.01		B	

GENERAL NOTES

- ALL CONSTRUCTION WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S ENGINEERING REQUIREMENTS FOR DEVELOPMENTS.
- ALL DIMENSIONS, EASEMENTS AND LOTS SUBJECT TO REGISTRATION OF DEPOSITED PLAN.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND CONSULTANT'S DRAWINGS AND SPECIFICATIONS, AND OTHER WRITTEN REPORTS (e.g GEOTECHNICAL, ARBORIST, ENVIRONMENTAL, ETC.). ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORKS.
- ALL LEVELS SHALL BE OBTAINED FROM ESTABLISHED BENCH MARKS AS DIRECTED BY THE SUPERVISOR.
- THE DEVELOPER, SHALL ENSURE ALL ASSOCIATED DOCUMENTATION (GEOTECHNICAL, LANDSCAPE, ARCHITECTURAL, ELECTRICAL, TELECOM, GAS ETC.) HAS BEEN APPROVED FOR CONSTRUCTION BEFORE COMMENCING ANY WORKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION, PROTECTION AND ADJUSTMENT TO ALL IN GROUND AND ABOVE GROUND SERVICES. SEE HUNTER WATER'S NOTICE OF REQUIREMENTS.
- EROSION CONTROL MEASURES, DEVICES, SILT TRAPS, ETC. ARE TO BE INSTALLED BEFORE ANY SITE DISTURBANCE IN ACCORDANCE WITH COUNCIL INSPECTORS REQUIREMENTS AND SITE SEDIMENTATION AND EROSION CONTROL PLANS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH SAFETY ACT.
- VEHICULAR ACCESS AND ALL SERVICES ARE TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION WORKS.
- ALL WASTE OR DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF SITE TO A COUNCIL APPROVED SITE. ALL FEES AND CHARGES SHALL BE INCLUDED IN THE CONTRACT SUM.
- CONSTRUCTION VIBRATION TO COMPLY WITH AS2760.1-2004 AND/OR NSW DEPT OF ENVIRONMENT AND CONSERVATION NOISE REQUIREMENTS
- EMISSIONS FROM SITE ARE NOT TO INTERFERE WITH THE AMENITY OF THE NEIGHBORHOOD.
- NOISE EMISSIONS ARE TO COMPLY WITH NSW EPA NOISE CONTROL MANUAL. TIME RESTRICTIONS APPLY TO CONSTRUCTION WORKS AS FOLLOWS: 7AM TO 6PM MON-FRI; 8AM TO 1PM SAT.
- TREES & SHRUBS WHICH ARE FELLED SHALL BE SALVAGED FOR RE-USE, EITHER IN LOG FORM, OR AS A WOODCHIP MULCH FOR EROSION CONTROL AND/OR SITE REHABILITATION. NON-SALVAGEABLE MATERIAL SUCH AS ROOTS & STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER.
- 'ESCP' REFERS TO EROSION AND SEDIMENT CONTROL PLAN, 'SWMP' REFERS TO SOIL AND WATER MANAGEMENT PLAN, AND, 'ESC' REFERS TO EROSION AND SEDIMENT CONTROL.
- SEDIMENT, INCLUDES, BUT IS NOT LIMITED TO, CLAY, SILT, SAND, GRAVEL, SOIL, MUD, CEMENT AND CERAMIC WASTE.
- ANY REFERENCE TO THE BLUE BOOK REFERS TO "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION", LANDCOM, 2004.
- ANY REFERENCE TO THE IECA WHITE BOOKS (2008) REFERS TO IECA 2008, "BEST PRACTICE EROSION AND SEDIMENT CONTROL". BOOKS 1-6. INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIA), PICTON, NSW.
- ANY MATERIAL DEPOSITED IN ANY CONSERVATION AREA FROM WORKS ASSOCIATED WITH THE DEVELOPMENT SHALL BE REMOVED IMMEDIATELY BY MEASURES INVOLVING MINIMAL GROUND AND/OR VEGETATION DISTURBANCES AND NO MACHINERY, OR FOLLOWING DIRECTIONS BY COUNCIL AND/OR WITHIN A TIMEFRAME ADVISED BY COUNCIL.

SURVEY NOTES

- THE EXISTING SURVEY CONDITIONS SHOWN ON THESE DRAWINGS HAVE BEEN DERIVED FROM SURVEY INFORMATION SUPPLIED BY PARKER SCANLON DATED 02/09/2021 REF NO. 14962CON-A
- THE INFORMATION SHOWN IS PROVIDED AS A BASIS FOR THE DESIGN. WALLACE DESIGN GROUP DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.
- SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTRACTOR SHALL CONTACT PARKER SCANLON.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.

THE ESCP

- THE ESCP AND ITS ASSOCIATED ESC MEASURES SHALL BE CONSTANTLY MONITORED, REVIEWED AND MODIFIED AS REQUIRED TO CORRECT DEFICIENCIES. COUNCIL HAS THE RIGHT TO DIRECT CHANGES IF, IN ITS OPINION, THE MEASURES THAT ARE PROPOSED OR HAVE BEEN INSTALLED ARE INADEQUATE TO PREVENT POLLUTION.
- PRIOR TO ANY ACTIVITIES ONSITE, THE RESPONSIBLE PERSON(S) IS TO BE NOMINATED. THE RESPONSIBLE PERSON(S) SHALL BE RESPONSIBLE FOR THE ESC MEASURES ONSITE. THE NAME, ADDRESS AND 24 HOUR CONTACT DETAILS OF THE PERSON(S) SHALL BE PROVIDED TO COUNCIL IN WRITING. COUNCIL SHALL BE ADVISED WITHIN 48 HOURS OF ANY CHANGES TO THE RESPONSIBLE PERSON(S), OR THEIR CONTACT DETAILS, IN WRITING.
- AT LEAST 14 DAYS BEFORE THE NATURAL SURFACE IS DISTRIBUTED IN ANY NEW STAGE, THE CONTRACTOR SHALL SUBMIT TO THE CERTIFIER A PLAN SHOWING ESC MEASURES FOR THAT STAGE. THE DEGREE OF DESIGN DETAIL SHALL BE BASED ON THE DISTRIBUTED AREA.
- AT ANY TIME, THE ESC MEASURES ONSITE SHALL BE APPROPRIATE FOR THE AREA OF DISTURBANCE AND ITS CHARACTERISTICS, INCLUDING SOIL TYPE (IN ACCORDANCE WITH THOSE REQUIRED FOR THE SITE AS PER THE DCP).
- THE IMPLEMENTATION OF THE ESCP SHALL BE SUPERVISED BY PERSONNEL WITH APPROPRIATE QUALIFICATIONS AND/OR EXPERIENCE IN ESC ON CONSTRUCTION SITES.
- THE APPROVED ESCP SHALL BE AVAILABLE ON-SITE FOR INSPECTION BY COUNCIL OFFICERS WHILE WORK ACTIVITIES ARE OCCURRING.
- THE APPROVED ESCP SHALL BE UP TO DATE AND SHOW A TIMELINE OF INSTALLATION, MAINTENANCE AND REMOVAL OF ESC MEASURES.
- ALL ESC MEASURES SHALL BE APPROPRIATE FOR THE SEDIMENT TYPE(S) OF THE SOILS ONSITE, IN ACCORDANCE WITH THE BLUE BOOK, IECA WHITE BOOKS OR OTHER CURRENT RECOGNISED INDUSTRY STANDARDS PERTAINING TO ESC FOR AUSTRALIAN CONDITIONS.
- ADEQUATE SITE DATA, INCLUDING SOIL DATA FROM A NATA APPROVED LABORATORY, SHALL BE OBTAINED TO ALLOW FOR THE PREPARATION OF AN APPROPRIATE ESCP, AND TO ALLOW FOR THE SELECTION, DESIGN AND SPECIFICATION OF REQUIRED ESC MEASURES.
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED ESCP (AS AMENDED FROM TIME TO TIME) UNLESS CIRCUMSTANCES ARISE WHERE:
 - COMPLIANCE WITH THE ESCP WOULD INCREASE THE POTENTIAL FOR ENVIRONMENTAL HARM
 - CIRCUMSTANCES CHANGE DURING CONSTRUCTION AND THOSE CIRCUMSTANCES COULD NOT HAVE BEEN FORSEEN; OR
 - COUNCIL DETERMINES THAT UNACCEPTABLE OFF-SITE SEDIMENTATION IS OCCURRING AS A RESULT OF A LAND-DISTURBING ACTIVITY. IN EITHER CASE, THE PERSON(S) RESPONSIBLE MAY BE REQUIRED TO TAKE ADDITIONAL, OR ALTERNATIVE PROTECTIVE ACTION, AND/OR UNDERTAKE REASONABLE RESTORATION WORKS WITHIN THE TIMEFRAME SPECIFIED BY THE COUNCIL.
- ADDITIONAL ESC MEASURES SHALL BE IMPLEMENTED, AND A REVISED ESCP SUBMITTED FOR APPROVAL TO THE CERTIFIER (WITHIN 5 BUSINESS DAYS OF AN SUCH AMENDMENTS) IN THE EVENT THAT:
 - THERE IS A HIGH PROBABILITY THAT SERIOUS OR MATERIAL ENVIRONMENTAL HARM MAY OCCUR AS A RESULT OF SEDIMENT LEAVING THE SITE; OR
 - THE IMPLEMENTED WORKS FAIL TO ACHIEVE COUNCIL'S WATER QUALITY OBJECTIVES SPECIFIED IN THESE CONDITIONS; OR
 - SITE CONDITIONS SIGNIFICANTLY CHANGE; OR
 - SITE INSPECTIONS INDICATE THAT THE IMPLEMENTED WORKS ARE FAILING TO ACHIEVE THE "OBJECTIVE" OF THE ESCP.
- A COPY OF ANY AMENDED ESCP SHALL BE FORWARDED TO AN APPROPRIATE COUNCIL OFFICER, WITHIN FIVE BUSINESS DAYS OF ANY SUCH AMENDMENTS.

SITE ESTABLISHMENT INCLUDING CLEARING AND MULCHING

- NO LAND CLEARING SHALL BE UNDERTAKEN UNLESS PRECEDED BY THE INSTALLATION OF ADEQUATE DRAINAGE AND SEDIMENT CONTROL MEASURES, UNLESS SUCH CLEARING IS REQUIRED FOR THE PURPOSE OF INSTALLING SUCH MEASURES, IN WHICH CASE, ONLY THE MINIMUM CLEARING REQUIRED TO INSTALL SUCH MEASURES SHALL OCCUR.
- BULK TREE CLEARING AND GRUBBING OF THE SITE SHALL BE IMMEDIATELY FOLLOWED BY SPECIFIED TEMPORARY EROSION CONTROL MEASURES (E.G. TEMPORARY GRASSING OR MULCHING) PRIOR TO THE COMMENCEMENT OF EACH STAGE OF CONSTRUCTION WORKS.
- TREES AND VEGETATION CLEARED FROM THE SITE SHALL BE MULCHED ONSITE WITHIN 7 DAYS OF CLEARING.
- APPROPRIATE MEASURES SHALL BE UNDERTAKEN TO CONTROL ANY DUST ORIGINATING DUE TO THE MULCHING OF VEGETATION ONSITE.
- ALL OFFICE FACILITIES AND OPERATIONAL ACTIVITIES SHALL BE LOCATED SUCH THAT ANY EFFLUENT, INCLUDING WASH-DOWN WATER, CAN BE TOTALLY CONTAINED AND TREATED WITHIN THE SITE.
- ALL REASONABLE AND PRACTICABLE MEASURES SHALL BE TAKEN TO ENSURE STORMWATER RUNOFF FROM ACCESS ROADS AND STABILISED ENTRY/EXIT SYSTEMS DRAINS TO AN APPROPRIATE SEDIMENT CONTROL DEVICE.
- SITE EXIT POINTS SHALL BE APPROPRIATELY MANAGED TO MINIMISE THE RISK OF SEDIMENT BEING TRACKED ONTO SEALED, PUBLIC ROADWAYS.
- STORMWATER RUNOFF FROM ACCESS ROADS AND STABILIZED ENTRY/EXIT POINTS SHALL DRAIN TO AN APPROPRIATE SEDIMENT CONTROL DEVICE.
- THE APPLICANT SHALL ENSURE AN ADEQUATE SUPPLY OF ESC, AND APPROPRIATE POLLUTION CLEAN-UP MATERIALS ARE AVAILABLE ON-SITE AT ALL TIMES.
- ALL TEMPORARY EARTH BANKS, FLOW DIVERSION SYSTEMS, AND SEDIMENT BASIN EMBANKMENTS SHALL BE MACHINE-COMPACTED, SEEDED AND MULCHED WITHIN 10 DAYS OF FORMATION FOR THE PURPOSE OF ESTABLISHING A VEGETATIVE COVER, OR LINED APPROPRIATELY.
- SEDIMENT DEPOSITED OFF SITE AS A RESULT OF ON-SITE ACTIVITIES SHALL BE COLLECTED AND THE AREA CLEANED/REHABILITATED AS SOON AS REASONABLE AND PRACTICABLE.
- CONCRETE WASTE AND CHEMICAL PRODUCTS INCLUDING PETROLEUM AND OIL-BASED PRODUCTS, SHALL BE PREVENTED FROM ENTERING ANY INTERNAL OR EXTERNAL WATER BODY, OR ANY EXTERNAL DRAINAGE SYSTEM, EXCLUDING THOSE ON-SITE WATER BODIES SPECIFICALLY DESIGNED TO CONTAIN AND/OR TREAT SUCH MATERIAL. APPROPRIATE

- MEASURES SHALL BE INSTALLED TO TRAP THESE MATERIALS ONSITE.
- BRICK, TILE OR MASONRY CUTTINGS SHALL BE CARRIED OUT ON A PERVIOUS SURFACE (E.G. GRASS OR OPEN SOIL) AND IN SUCH A MANNER THAT ANY RESULTING SEDIMENT-LADEN RUNOFF IS PREVENTED FROM DISCHARGING INTO A GUTTER, DRAIN OR WATER. APPROPRIATE MEASURES SHALL BE INSTALLED TO TRAP THESE MATERIALS ONSITE.
- NEWLY SEALED HARD-STAND AREAS (E.G. ROADS, DRIVEWAYS AND CAR PARKS) SHALL BE SWEEPED THOROUGHLY AS SOON AS PRACTICABLE AFTER SEALING/SURFACING TO MINIMISE THE RISK OF COMPONENTS OF THE SURFACING COMPOUND ENTERING THE STORMWATER DRAINS. STOCKPILES OF ERODIBLE MATERIAL SHALL BE PROVIDED WITH AN APPROPRIATE PROTECTIVE COVER (SYNTHETIC OR ORGANIC) IF THE MATERIALS ARE LIKELY TO BE STOCKPILED FOR MORE THAN 10 DAYS.
- STOCKPILES, TEMPORARY OR PERMANENT, SHALL NOT BE LOCATED IN AREAS IDENTIFIED AS NO-GO ZONES (INCLUDING, BUT NOT LIMITED TO, RESTRICTED ACCESS AREAS, BUFFER ZONES, OR AREAS OF NON-DISTURBANCE) ON THE ESCP.
- NO MORE THAN 150m OF STORMWATER, SEWER LINE OR OTHER SERVICE TRENCH SHALL BE TO OPEN AT ANY ONE TIME.
- SITE SPOIL SHALL BE LAWFULLY DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
- WHEREVER REASONABLE AND PRACTICABLE, STORMWATER RUNOFF ENTERING THE SITE FROM EXTERNAL AREAS, AND NON-SEDIMENT LADEN (CLEAN) STORMWATER RUNOFF ENTERING A WORK AREA OR AREA OF SOIL DISTURBANCE, SHALL BE DIVERTED AROUND OR THROUGH THAT AREA IN A MANNER THAT MINIMISES SOIL EROSION AND THE CONTAMINATION OF THAT WATER FROM ALL DISCHARGES UP TO THE SPECIFIED DESIGN STORM DISCHARGE.

SITE MANAGEMENT INCLUDING DUST

- PRIORITY SHALL BE GIVEN TO THE PREVENTION, OR AT LEAST THE MINIMISATION, OF SOIL EROSION, RATHER THAN THE TRAPPING OF DISPLACED SEDIMENT. SUCH A CLAUSE SHALL NOT REDUCE THE RESPONSIBILITY TO APPLY AND MAINTAIN, AT ALL TIMES, ALL NECESSARY ESC MEASURES.
- MEASURES USED TO CONTROL WIND EROSION SHALL BE APPROPRIATE FOR THE LOCATION AND PREVENT SOIL EROSION AND EMISSIONS FROM SITE AT ALL TIMES, INCLUDING WORKING HOURS, OUT OF HOURS, WEEKENDS, PUBLIC HOLIDAYS, AND DURING ANY OTHER SHUTDOWN PERIODS.
- THE APPLICATION OF LIQUID OR CHEMICAL-BASED DUST SUPPRESSION MEASURES SHALL ENSURE THAT SEDIMENT-LADEN RUNOFF RESULTING FROM SUCH MEASURES DOES NOT CREATE A TRAFFIC OR ENVIRONMENTAL HAZARD.
- ALL CUT AND FILL EARTH BATTERS LESS THAN 3m IN ELEVATION SHALL BE TOPSOILED, AND GRASS SEEDED/HYDROMULCHED WITHIN 10 DAYS OF COMPLETION OF GRADING IN CONSULTATION WITH COUNCIL.
- ALL DISTURBED AREAS SHALL BE STABILISED IN ACCORDANCE WITH TIMELINES IN THE BLUE BOOK.
- ALL REASONABLE AND PRACTICABLE MEASURES SHALL BE TAKEN TO PREVENT, OR AT LEAST MINIMISE, THE RELEASE OF SEDIMENT FROM THE SITE.
- SUITABLE ALL-WEATHER MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL SEDIMENT CONTROL DEVICES.
- SEDIMENT CONTROL DEVICES OTHER THAN SEDIMENT BASINS SHALL BE DE-SILTED AND MADE FULLY OPERATIONAL AS SOON AS REASONABLE AND PRACTICABLE AFTER A SEDIMENT-PRODUCING EVENT, WETHER NATURAL OR ARTIFICIAL, IF THE DEVICES SEDIMENT RETENTION CAPACITY FALLS BELOW 75% OF ITS DESIGNED RETENTION CAPACITY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING DRAINAGE CONTROL MEASURES, SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING THEIR OPERATION LIVES.
- WASHING/FLUSHING OF SEALED ROADWAYS SHALL ONLY OCCUR WHERE SWEEPING HAS FAILED TO REMOVE SUFFICIENT SEDIMENT AND THERE IS A COMPELLING NEED TO REMOVE THE REMAINING SEDIMENT (E.G. FOR SAFETY REASONS). IN SUCH CIRCUMSTANCES, ALL REASONABLE AND PRACTICABLE SEDIMENT CONTROL MEASURES SHALL BE USED TO PREVENT, OR AT LEAST MINIMISE, THE RELEASE OF SEDIMENT INTO THE RECEIVING WATERS. ONLY THOSE MEASURES THAT WILL NOT CAUSE SAFETY AND PROPERTY FLOODING ISSUES SHALL BE EMPLOYED. SEDIMENT REMOVED FROM ROADWAYS SHALL BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.
- SEDIMENT REMOVED FROM SEDIMENT TRAPS AND PLACES OF SEDIMENT DEPOSITIONS SHALL BE DISPOSED OF IN A LAWFUL MANNER THAT DOES NOT CAUSE ONGOING SOIL EROSION OR ENVIRONMENTAL HARM.

REVEGETATION/STABILISATION

- TEMPORARY STABILISATION MAY BE ATTAINED USING VEGETATION, NON WETTABLE SOIL POLYMERS, OR PNEUMATICALLY APPLIED EROSION CONTROLS.
- ALL CUT AND FILL EARTH BATTERS LESS THAN 3m IN ELEVATION SHALL BE TOPSOILED, AND GRASS SEEDED/HYDROMULCHED WITHIN 10 DAYS OF COMPLETION OF GRADING IN CONSULTATION WITH COUNCIL.
- AT THE COMPLETION OF FORMATION IN ANY SECTION, ALL DISTRIBUTED AREAS SHALL BE STABILISED IN ACCORDANCE WITH TIME LINES IN THE BLUE BOOK.
- THE COUNCIL SEED MIX SHALL BE USED UNLESS STATED ON THE ESCP/SWMP.
- THE PH LEVEL OF TOPSOIL SHALL BE APPROPRIATE TO ENABLE ESTABLISHMENT AND GROWTH OF SPECIFIED VEGETATION PRIOR TO INITIATING THE ESTABLISHMENT OF VEGETATION.
- NON RETWETTABLE BINDER SHALL BE USED IN ALL HYDROMULCH/HYDROSEED POLYMER MIXES ON SLOPES OR WORKS ADJACENT TO A WATER COURSE.
- SOIL AMELIORANTS SHALL BE ADDED TO THE SOIL IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN, VEGETATION MANAGEMENT PLAN, AND/OR SOIL ANALYSIS.
- PROCEDURES FOR INITIATING A SITE SHUTDOWN, WHETHER PROGRAMMED OR UN-PROGRAMMED, SHALL INCORPORATE REVEGETATION OF ALL SOIL DISTURBANCES UNLESS OTHERWISE APPROVED BY COUNCIL. THE STABILISATION WORKS SHALL NOT RELY UPON THE LONGEVITY OF NON-VEGETATED EROSION CONTROL BLANKETS, OR TEMPORARY SOIL BINDERS.

SITE MONITORING AND MAINTENANCE

- THE APPLICANT SHALL ENSURE THAT APPROPRIATE PROCEDURES AND SUITABLY QUALIFIED PERSONNEL ARE ENGAGED TO PLAN AND CONDUCT SITE INSPECTIONS AND WATER QUALITY MONITORING THROUGHTOUT THE CONSTRUCTION AND MAINTENANCE PHASE.
- ALL ESC MEASURES SHALL BE INSPECTED AND ANY MAINTENANCE UNDERTAKEN:
 - AT LEAST DAILY (WHEN WORKS IS OCCURRING ON-SITE); AND
 - AT LEAST WEEKLY (WHEN WORKS IS NOT OCCURRING ON-SITE) AND
 - WITHIN 24 HOURS OF EXPECTED RAINFALL; AND
 - WITHIN 18 HOURS OF A RAINFALL EVENT THAT CAUSES RUNOFF ON THE SITE.
- WRITTEN RECORDS SHALL BE KEPT ONSITE OF ESC MONITORING AND MAINTENANCE ACTIVITIES CONDUCTED DURING THE CONSTRUCTION AND MAINTENANCE PERIODS, AND BE AVAILABLE TO COUNCIL OFFICERS ON REQUEST.
- ALL ENVIRONMENTAL RELEVANT INCIDENTS SHALL BE RECORDED IN A FIELD LOG THAT SHALL REMAIN ACCESSIBLE TO ALL RELEVANT REGULATORY AUTHORITIES.
- ALL WATER QUALITY DATA, INCLUDING DATES OF RAINFALL, DATES OF TESTING, TESTING RESULTS AND DATES OF WATER RELEASE, SHALL BE KEPT IN AN ON-SITE REGISTER. THE REGISTER IS TO BE MAINTAINED UP TO DATE FOR THE DURATION OF THE APPROVED WORKS AND BE AVAILABLE ON-SITE FOR INSPECTION BY ALL RELEVANT REGULATORY AUTHORITIES ON REQUEST.
- AT NOMINATED INSTREAM WATER MONITORING SITES, A MINIMUM OF 3 WATER SAMPLES SHALL BE TAKEN AND ANALYSED, AND THE AVERAGE RESULT USED TO DETERMINE QUALITY.

STORMWATER NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT ARCHITECTURAL DETAILS.
- ALL WORKS ARE TO BE IN ACCORDANCE WITH AS3500, COUNCIL'S DEVELOPMENT CONTROL PLAN AND PROPRIETARY MANUFACTURERS RECOMMENDATIONS.
- UNLESS OTHERWISE STATED, ALL STORMWATER PIPES (INCLUDING DOWNPIPES AND RAINWATER TANK OVERFLOW PIPES) ARE TO BE uPVC SEWER GRADE, U.N.O JOINTED & INSTALLED TO MANUFACTURERS RECOMMENDATIONS.
- ALL uPVC STORMWATER LINES TO HAVE ALL JOINTS, INC. DOWNPIPE CONNECTIONS, FULLY SOLVENT WELDED, INCLUDING ANY CHARGED LINES.
- CONNECT DOWNPIPES AS REQUIRED TO NOMINATED HARVESTING TANK IN ACCORDANCE WITH APPROVED DEVELOPMENT PLANS AND HYDRAULIC ENGINEERS DESIGN.
- ALL LEVELS ARE DATUM AHD.
- ALL LEVELS ARE FINISHED PAVEMENT OR LAWN LEVELS.
- CONTRACTOR TO ALLOW FOR ALL PIPE SUPPORT SYSTEM TO SOFFIT AS PER MANUFACTURERS SPECIFICATIONS.
- ALL CONCRETE TO BE MANUFACTURED AND SUPPLIED IN ACCORDANCE WITH AS1379.
- AT COUNCILS DISCRETION, ALL CONCRETE CAN BE SUBJECT TO PROJECT ASSESSMENT AND TESTING TO AS1379
- MINIMUM PIPE COVERS TO BE IN ACCORDANCE WITH AS3500.
- PITS TO BE FILLED ACCORDINGLY TO MEET INVERTS AS NEEDED.
- CONTRACTOR TO CONFIRM ALL LEVELS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO WALLACE DESIGN GROUP.**

SUBSOIL DRAINAGE NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH COUNCIL'S CONSTRUCTION SPECIFICATIONS FOR SUBSURFACE DRAINAGE.
- SUBSOIL PIPE TO BE Ø100 SLOTTED PVC OR CORRUGATED CIRCULAR PLASTIC PIPE AND ENCLOSED IN SEAMLESS FILTER FABRIC SOCK
- SUBSOIL DRAINS SHALL CONSIST OF A 300 (MINIMUM) WIDE TRENCH, BACKFILLED WITH 7 OR 10mm AGGREGATE AND WRAPPED IN BIDIM A12 GEOTEXTILE FABRIC OR SIMILAR, LAPPED AT THE TOP. DEPTH OF TRENCH TO EXTEND 450 (MINIMUM) IN ROCK OR 600 (MINIMUM) IN EARTH BELOW FINISHED SUB-GRADE LEVEL. INVERT OF TRENCH SHOULD ALSO BE LOWER THAN THE INVERT OF ANY SERVICE CROSSINGS.

ROAD/DRIVEWAY PAVEMENT NOTES


- DRIVEWAY PAVEMENT TO BE CONSTRUCTED IN ACCORDANCE WITH NEWCASTLE COUNCIL STANDARD A1300.

RETAINING WALL NOTES

- ALL RETAINING WALLS SHOWN ON THESE PLANS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEERING AT TIME OF CONSTRUCTION CERTIFICATE STAGE.

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THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION UNLESS ENDORSED				
B	DEVELOPMENT APPLICATION ISSUE	30.08.22	S.S.	--
A	PRELIMINARY ISSUE	01.07.22	S.S.	--
REV	DESCRIPTION	DATE	APP'VD	END'OD



CLIENT:
MAHDI ASHURI



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PROJECT:
CIVIL WORKS for
LOT 63 SEC B DP 192768
9 WILLIAM STREET
MAYFIELD NSW 2304

DRAWING TITLE:
CIVIL SERVICES
GENERAL NOTES

DRAWING STATUS						DA APPROVAL NOT TO BE USED FOR CONSTRUCTION	
SCALE				N.T.S.		ORIG. SIZE A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE		
JC	SS	KB	SS	--	30.08.22		
PROJECT No.			DRAWING No.			REV	
22215			C02.01			B	

WILLIAM STREET

60

59

62

61

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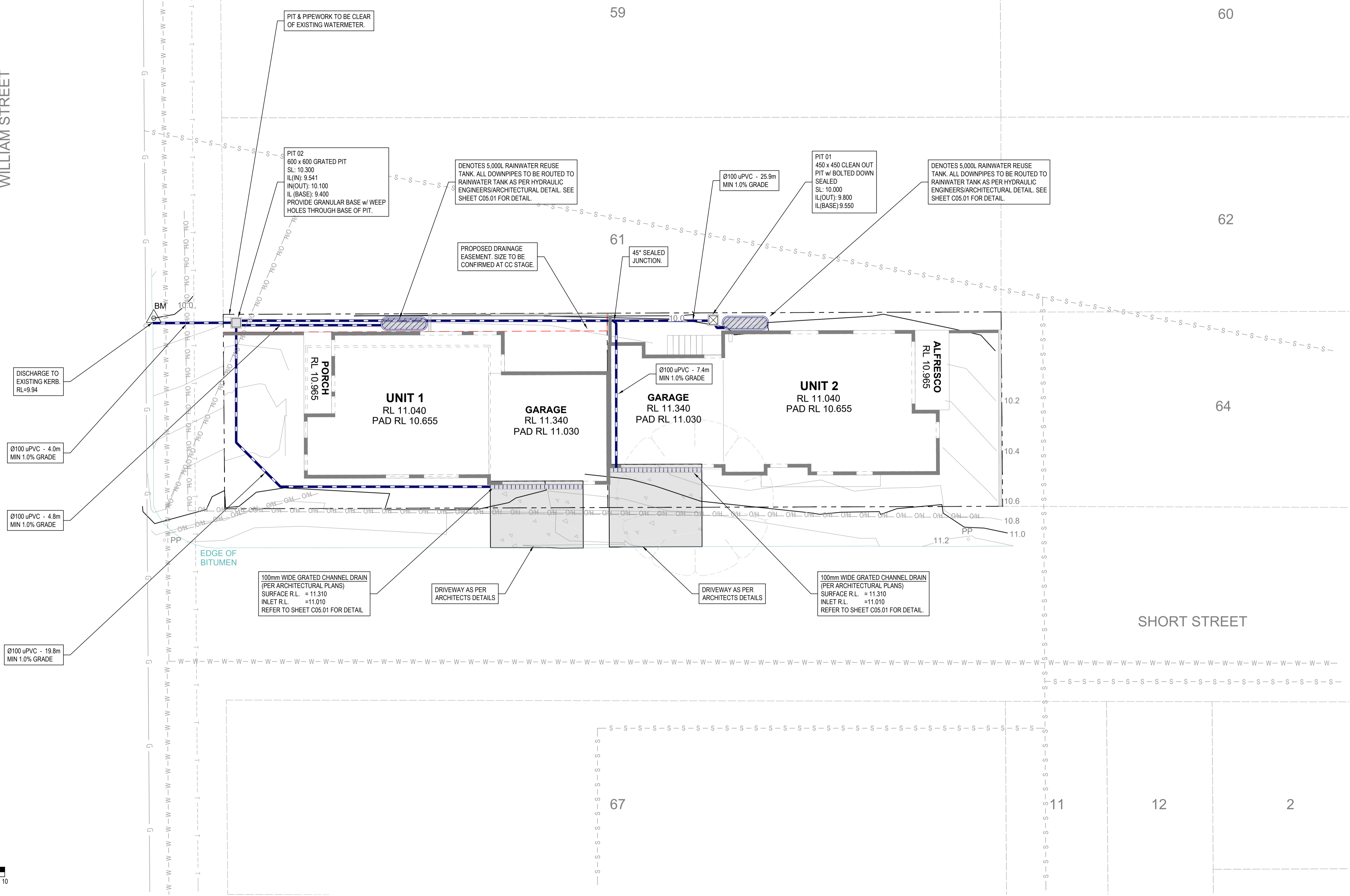
SHORT STREET

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DWG IN COLOUR

DRAINAGE SERVICES OUT OF STRATA BLOCK

STRATA ZONE					
REV	DESCRIPTION	DATE	APPVD	END'D	
B	DEVELOPMENT APPLICATION ISSUE	30.08.22	S.S.	--	
A	PRELIMINARY ISSUE	01.07.22	S.S.	--	



ARCHITECT:

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PROJECT:
CIVIL WORKS for
LOT 63 SEC B DP 192768
9 WILLIAM STREET
MAYFIELD NSW 2304

DRAWING TITLE:
CIVIL SERVICES
CIVIL WORKS AND STORMWATER
DRAINAGE PLAN

DRAWING STATUS						
DA APPROVAL NOT TO BE USED FOR CONSTRUCTION						
SCALE:					ORIG. SIZE	
1:100					A1	
DRAWN	DESIGNED	CHECKED	APPROVED	ENDORSED	DATE	
JC	SS	KB	SS	--	30.08.22	
PROJECT No:				DRAWING No:		REV
22215				C04.01		B

GENERAL RAINWATER TANK NOTES:

- ALL UNITS ARE TO BE CONNECTED TO THE SPECIFIED RAINWATER REUSE/STORAGE TANK AS NOTED ON THE STORMWATER DRAINAGE PLAN SHEET.
- DAVEY RAINBANK MAINS SWITCHOVER (OR EQUIVALENT) AND RAINWATER TANK TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- VOLUMES SHOWN FOR REUSE ARE PROVIDED TO COMPLY WITH MINIMUM SIZE REQUIREMENTS PER COUNCIL GUIDELINES AND DO NOT INCLUDE THE PERMANENT VOLUME REQUIRED FOR OPERATION OF THE PUMP.

**DETENTION FOR SMALL SITES
CITY OF NEWCASTLE COUNCIL**

TOTAL SITE AREA	404.67 m ²
TOTAL IMPERVIOUS AREA	285 m ² (in accordance with AS3500 Part 3)
OTHER IMPERVIOUS AREA	9 m ² (pavement + other site concrete areas)
% IMPERVIOUS AREA	73 % (assumed per Council Guidelines)

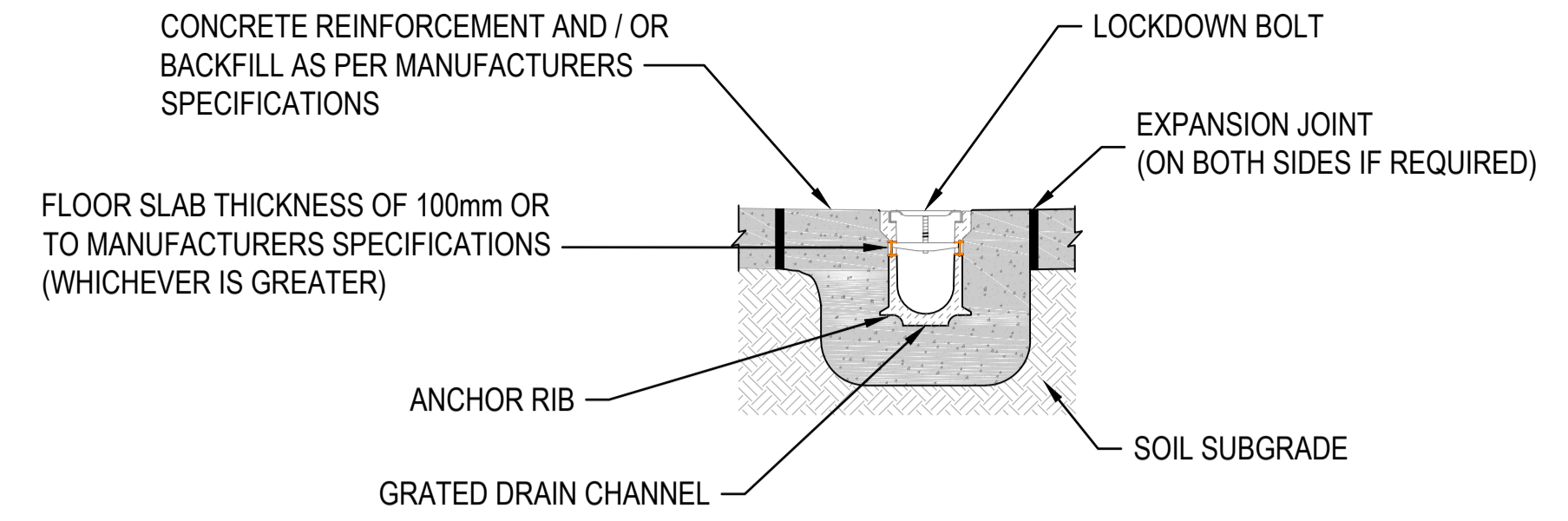
NCC STORAGE REQUIREMENTS PER Newcastle DCP Section 7.06

- Site of Less than 50% Impervious Cover, 12mm of storage of site area
- Site between 50% and 100% Impervious Cover, by linear interpolation of storage depth
- Site of 100% Impervious Cover, 25mm of storage of site area

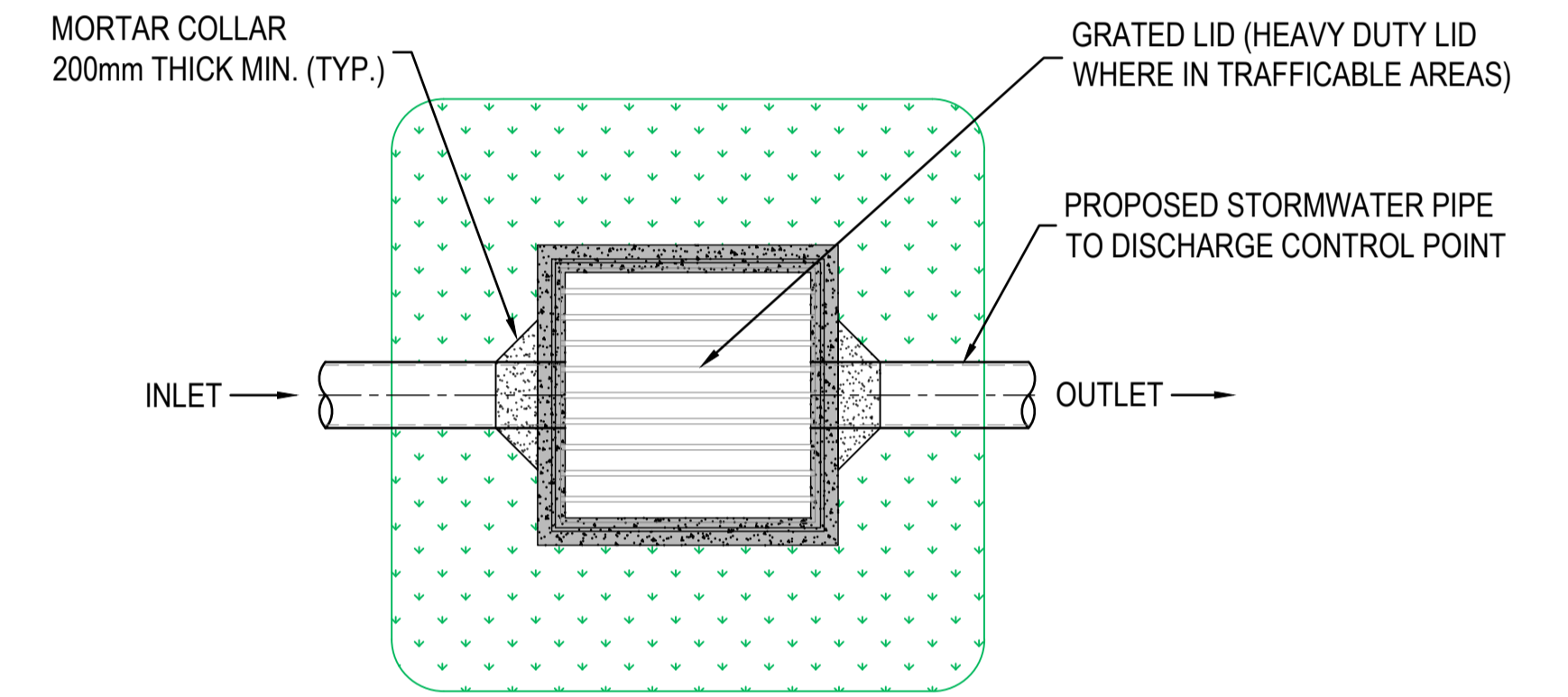
SITE DISCHARGE CONTROLS

OSD STORAGE REQUIREMENTS PER 7.06 DCP

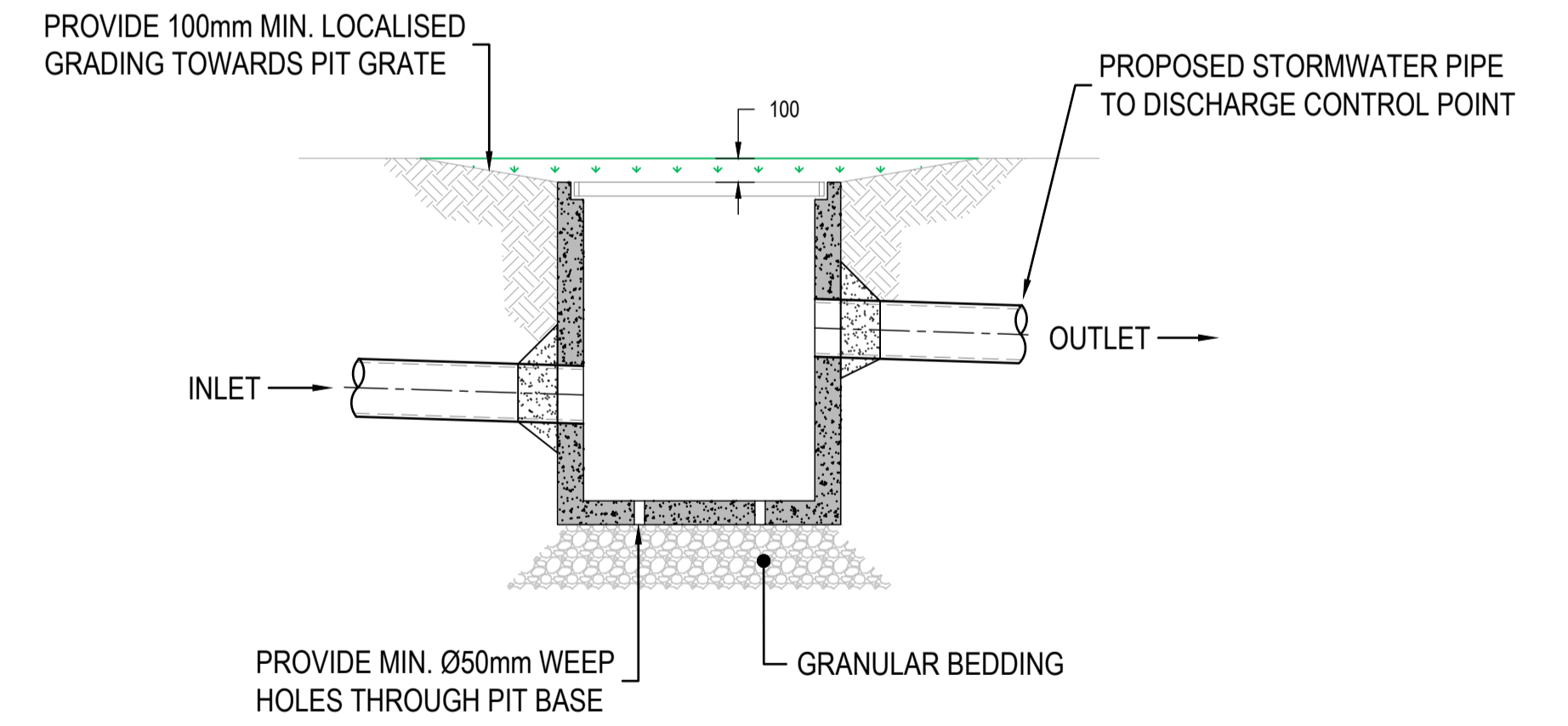
TOTAL IMPERVIOUS AREA	294 m ² (Effective roof area plus other impervious area)
STORAGE DEPTH REQUIRED	17.9 mm
VOLUME REQUIRED	5.2 m ³
RWT VOL PROVIDED	6.0 m ³ (2 tanks at 3kL per unit)



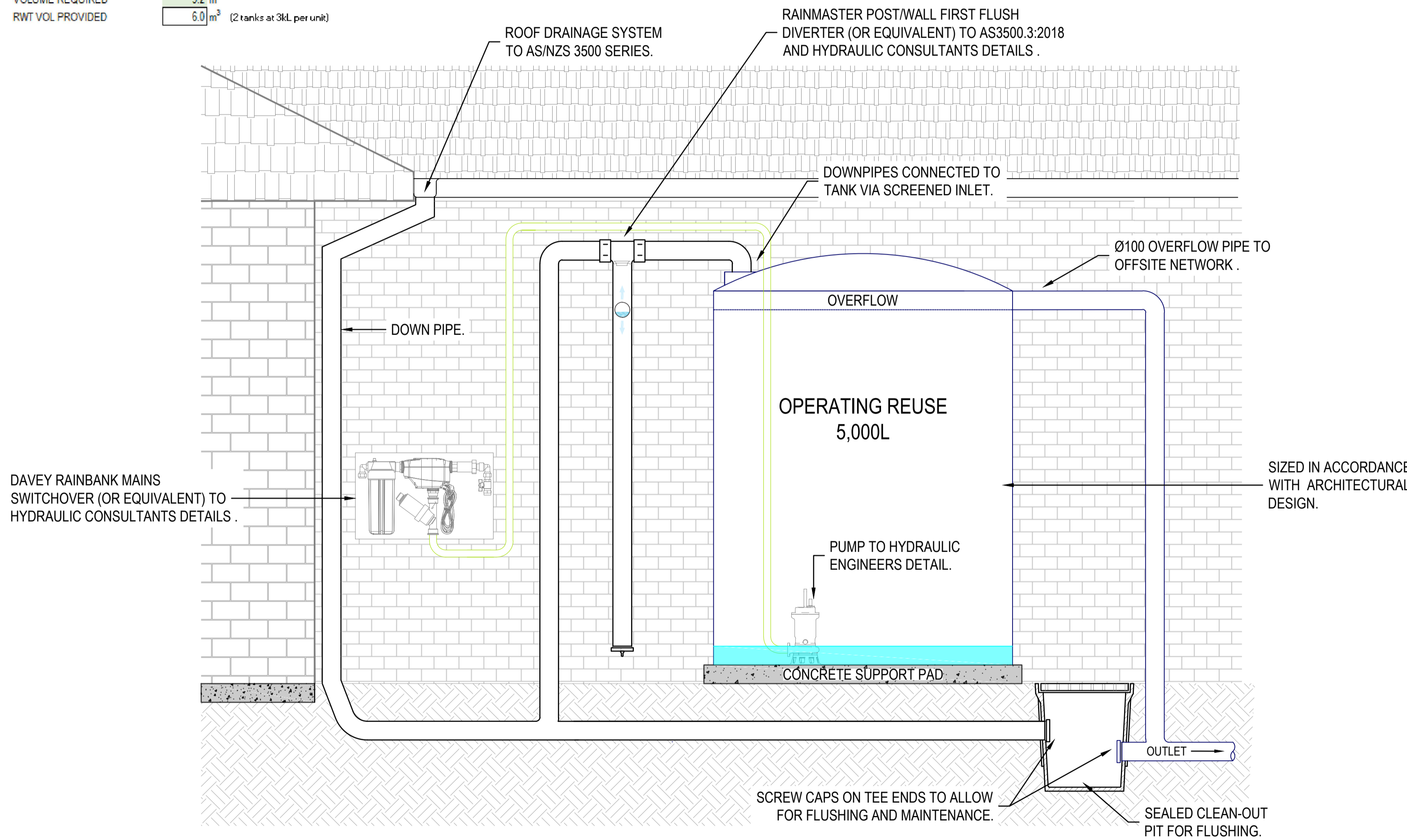
**TYPICAL SECTION
GRADED DRAIN (CONCRETE SURROUNDS)**
NOT TO SCALE



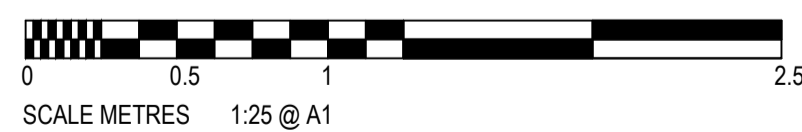
**PLAN
STORMWATER DRAINAGE PIT**
NTS



**SECTION
STORMWATER DRAINAGE PIT
(WITH 300mm SUMP)**
NTS



**TYPICAL DETAIL
RAINWATER REUSE TANK**
NTS



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REV	DESCRIPTION	DATE	APP'D	END'D
B	DEVELOPMENT APPLICATION ISSUE	30.08.22	S.S.	--
A	PRELIMINARY ISSUE	01.07.22	S.S.	--



CLIENT:
MAHDI ASHURI



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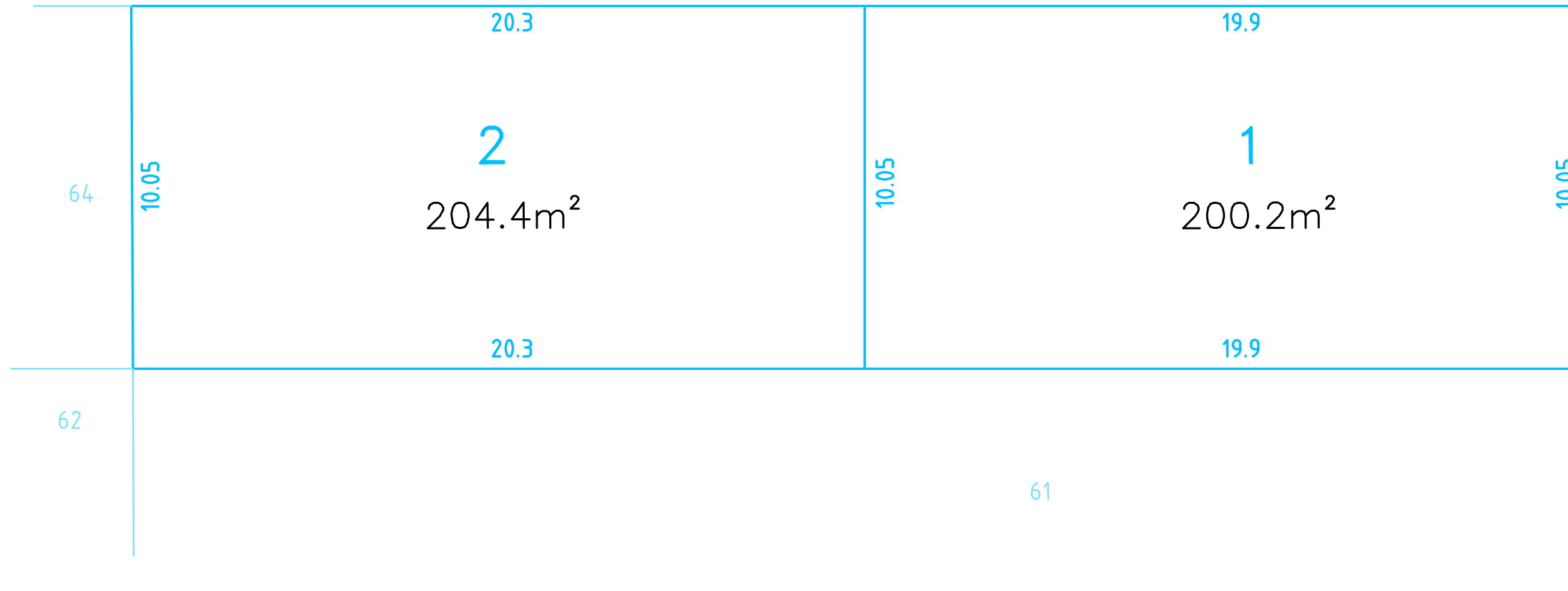
PROJECT:
CIVIL WORKS for
LOT 63 SEC B DP 192768
9 WILLIAM STREET
MAYFIELD NSW 2304

DRAWING TITLE:
CIVIL SERVICES
TYPICAL SECTIONS AND DETAILS

DRAWING STATUS: DA APPROVAL <small>NOT TO BE USED FOR CONSTRUCTION</small>						
SCALE: AS SHOWN					ORIG. SIZE: A1	
DRAWN: JC	DESIGNED: SS	CHECKED: KB	APPROVED: SS	ENDORSED: --	DATE: 30.08.22	REV: B
PROJECT No: 22215			DRAWING No: C05.01		REV: B	

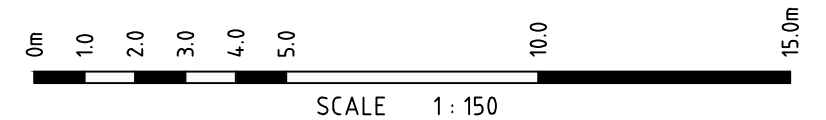
M.G.A.
DP1239888

SHORT STREET



WILLIAM STREET

NOTE:
FINAL BEARINGS, DIMENSIONS AND AREAS ARE SUBJECT TO
FINAL SURVEY.



REV	DETAILS & AMENDMENTS	DATE	PLAN TITLE:
B	AMENDED PLAN	18/05/2022	PLAN OF PROPOSED SUBDIVISION ADDRESS: 9 WILLIAM STREET, MAYFIELD CLIENT: HUNTER HOMES - 0009WILL TITLE DETAILS: LOT 63 OF SEC B IN DP192768 DATUM: N/A SOURCE: N/A
C	AMENDED PLAN	24/08/2022	
D	AMENDED PLAN	30/08/2022	
REF No: B2176SUB-D SHEET 1 OF 1 A3			
			PARKER SCANLON CONTACT: SURVEYED/DRAWN/CHECKED: LISA BLANDFORD --/JM/LB

17 William Street HAMILTON NSW 2303
 PO Box 986 HAMILTON NSW 2303
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 www.parkerscanlon.com.au
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 ABN 36124 624 022





ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 15/12/2022 – 9 WILLIAM STREET MAYFIELD – DA2022/00532 -
DUAL OCCUPANCY - INCLUDING DEMOLITION OF EXISTING
STRUCTURES**

ITEM-21 **Attachment B:** Draft Schedule of Conditions

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Application No: DA2022/00532

Land: Lot 63 Sec B DP 192768

Property Address: 9 William Street Mayfield NSW 2304

Proposed Development: Dual occupancy - including demolition of existing structures

SCHEDULE 1

Approved Documentation

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Landscape Plan	WD03 Issue 8	Hunter Homes	12/10/22
Site Plan	WD04 Issue 8	Hunter Homes	12/10/22
Demolition Plan	WD05 Issue 8	Hunter Homes	12/10/22
Unit 1	WD09 - 14 Issue 8	Hunter Homes	12/10/22
Unit 2	WD15 – 20 Issue 8	Hunter Homes	12/10/22
Civil Works and Stormwater Plan	C01.01, 02.01, 04.01, 05.01 Rev B	Wallace Infrastructure Design	30/08/22
Draft Plan of Subdivision	Sheet 1 Rev D	Parker Scanlon	30/08/22
BASIX	1273764M_02	Building Sustainability Assessments	16/05/22

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

- The car parking and vehicular access are to be designed to comply with the relevant provisions of *AS/NZS 2890 Parking facilities*. Details are to be included in documentation for a Construction Certificate application.
- All proposed driveways, parking bays, loading bays and vehicular turning areas are to be constructed with a basecourse of a depth to suit design traffic and be sealed with either bitumen seal, asphaltic concrete, concrete or interlocking pavers. Details are to be included in documentation for a Construction Certificate application.
- Two street trees are required to be planted. A fee, to be determined by contacting Council's City Greening Services, is to be paid to CN for the required compensatory planting and evidence of the payment of the required fee is to be included in the

documentation for a Construction Certificate application.

NOTE: The tree selection and location of the required compensatory tree will be determined by CN's City Greening Section in accordance with Newcastle City Council Street Tree selection manual. The location of the compensatory tree planting may not be in the immediate proximity of the site.

5. In accordance with the City of Newcastle Section 7.11 Development Contributions Plan 2021-2036 (the Plan), the following monetary contributions shall be paid to the City of Newcastle to cater for the increased demand for transport and social infrastructure resulting from the development:

Description	Contribution (\$)
Transport	\$3009.86
Open Space and Recreation	\$12934.01
Community Facilities	\$2392.69
Plan Preparation and Administration	\$457.75
TOTAL	\$18794.31

If the contributions are not paid within the financial quarter that this consent is granted, the contributions payable will be adjusted in accordance with the provisions of the Plan and the amount payable will be calculated on the basis of the contribution rates applicable at the time of payment

The contributions shall be paid to the City of Newcastle:

- (i) prior to the issue of the Subdivision Certificate where the development is for subdivision; or
 - (ii) prior to the issue of the first Construction Certificate where the development is for building work; or
 - (iii) prior to issue of the Subdivision Certificate or first Construction Certificate, whichever occurs first, where the development involves both subdivision and building work; or
 - (iv) prior to the works commencing where the development does not require a Construction Certificate or Subdivision Certificate.
6. Roof water from the proposed new work is to be directed to the proposed water tank with a minimum capacity of 4000-litres and being reticulated to any new toilet cisterns and cold water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be included in documentation for a Construction Certificate application.
7. All proposed planting and landscape elements indicated on the submitted landscape concept plan or otherwise required by the conditions of this consent are to be detailed on a comprehensive landscape plan and specification. The plan and specification are to be prepared in accordance with the provisions of Newcastle Development Control Plan 2012 and is to include details of the following:
- a) cross sections through the site
 - b) proposed contours or spot levels
 - c) botanical names
 - d) quantities and container size of all proposed trees

- e) shrubs and ground cover
- f) details of proposed soil preparation
- g) mulching and staking
- h) treatment of external surfaces and retaining walls where proposed
- i) drainage, location of taps and
- j) maintenance periods.

The plan and specification are to be prepared by a qualified landscape designer and be included in documentation for a Construction Certificate application.

8. The applicant is to comply with all of Hunter Water's requirements to provide your development with water supply and sewerage services. A copy of Hunter Water's compliance certificate (*Hunter Water Act 1991* - Section 50) must be submitted with your Construction Certificate application.
9. Facilities are to be provided within the proposed individual private courtyards, or in another screened location, for the storage of garbage. Full details are to be included in documentation for a Construction Certificate application.
10. Erosion and sediment control measures are to be implemented prior to the commencement of works and be maintained during the period of construction in accordance with the details set out on an Erosion and Sediment Control Plan that is to be submitted for approval with the Construction Certificate application. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
11. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve pursuant to Section 138 of the *Roads Act 1993*. The consent is to be obtained, or other satisfactory arrangements confirmed in writing from the City of Newcastle, before the issue of a Construction Certificate.
12. All stormwater runoff from the proposed development is to be managed in accordance with the requirements of Section 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012, the associated Technical Manual and *AS/NZS 3500.3 Plumbing and drainage Part 3 Stormwater drainage*, as indicated on the stormwater management concept plan prepared by Wallace Infrastructure Design (Drg. No. C04.01, dated 30/08/22). Details are to be included in documentation for a Construction Certificate application.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

13. A residential vehicular crossing is to be constructed across the road reserve, in accordance with the following criteria:
 - a) Constructed in accordance with City of Newcastle's A1300 - Driveway Crossings Standard Design Details.
 - b) The driveway crossing, within the road reserve, is to be a maximum of 5m wide, per dwelling.
 - c) Letterboxes, landscaping and any other obstructions to visibility are to be kept clear of or limited in height to 1.2m, in the 2.0m by 2.5m splay within the property boundary, each side of the driveway entrance.

- d) The proposed driveway is to be a minimum of 3.0m clear of the trunk of any tree within the road reserve.
- e) The proposed driveway is to be a minimum of 750mm clear of the centre of any pole or obstruction within the road reserve and 1.0m clear of any drainage pit.

These works are not approved until consent under Section 138 of the *Roads Act 1993* has been granted by the City of Newcastle.

- 14. During construction works, an assessment of acid sulfate soil potential is to be undertaken in the area of excavation. If acid sulfate soils are found to be present, soils are to be treated in accordance with the New South Wales Acid Sulfate Soil Management Advisory Committee's '*Acid Sulfate Soil Manual*'.
- 15. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
 - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - c) Be a temporary chemical closet approved under the *Local Government Act 1993*.
- 16. Building demolition is to be planned and carried out in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*.
 - 17. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*. A copy of the Hazardous Substances Management Plan is to be provided to the Council and to the demolisher prior to commencement of work.
 - 18. The demolition works are to be undertaken in accordance with Australian Standard 2601:2001 - The Demolition of Structures and the following requirements:
 - a) prior to commencement of demolition works a competent person shall determine the presence of hazardous substances impacted by the proposed demolition works in accordance with Section 1.6.1 of AS2601:2001 and where required produce a Hazardous Substances Management Plan
 - b) demolition works shall be conducted in accordance with any required Hazardous Substances Management Plan. A copy of the Plan shall be kept on-site for the duration of the proposed development and a copy is to be held in the possession of the landowner
 - c) the removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the appropriate class of Asbestos Licence, issued by the WorkCover Authority of NSW
 - d) a copy of all waste disposal receipts are to be kept in the possession of the landowner and made available to authorised Council Officers upon request
 - e) seven working days notice in writing is to be given to the owners/occupiers of neighbouring premises prior to the commencement of any demolition works. Such written notice is to include the date demolition will commence and details of the

name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor, and

- f) on sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.

19. The demolisher is to ensure that all services (ie water, telecommunications, gas, electricity, sewerage etc), are disconnected in accordance with the relevant authority's requirements prior to demolition.
20. Any waste containers used in association with the proposed demolition are to be located on the site where possible.

Note: Where this is not feasible, an application is to be made for the approval to position the container on the adjacent public road in accordance with the Council's adopted Building Waste Container Policy.

21. All demolition material incapable of being re-used in future redevelopment of the site is to be removed from the site and the site being cleared and levelled.

Note: Where reusable building materials are to be stored on site for use in future building works, such materials are to be neatly stacked at least 150 mm above the ground.

22. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.

23. At a minimum, the following measures are to be implemented during the construction phase:

- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste;
- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
- c) Provision is to be made to prevent windblown rubbish leaving the site; and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

24. A rigid and durable sign is to be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:

- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
- b) showing the name, address and telephone number of the Principal Contractor, if any, for any building work and a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and

- c) stating that unauthorised entry to the work site is prohibited, and
- d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, and must be removed when the work has been completed.

Note: This does not apply in relation to building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or Crown building work certified to comply with the Building Code of Australia under the Act, Part 6.

- 25. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
- 26. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on Council reserves, including the road reserve, is not permitted.
- 27. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
- 28. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

- 29. Council's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by Council, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

- 30. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1* (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
- 31. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
- 32. All public trees that are required to be retained are to be protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

33. Building work must be carried out in accordance with the requirements of the Building Code of Australia./
34. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.
35. If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil are to be provided.
36. All roof and surface waters are to be conveyed to the street gutter by way of a sealed pipe system, extending through the footway to Council's requirements, with provision of an easement to drain water minimum 0.9m wide over Lot 1 to benefit Lot 2, in accordance with Section 7.06 'Stormwater' of Newcastle Development Control Plan 2012.
37. Prior to the commencement of work, a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.
38. All necessary measures are to be undertaken to control dust pollution from the site. These measures are to include, but are not limited to:
 - a) Restricting topsoil removal;
 - b) Regularly and lightly watering dust prone areas (note: prevent excess watering as it can cause damage and erosion);
 - c) Alter or cease construction work during periods of high wind; and erect green or black shade cloth mesh or similar products 1.8m high around the perimeter of the site and around every level of the building under construction.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

39. Any redundant existing vehicular crossing is to be removed at no cost to the City of Newcastle. The road reserve and kerb is to be restored to the City of Newcastle's satisfaction. Works are to be completed prior to the issuing of an Occupation Certificate for the proposed development.
40. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
41. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.

42. All commitments listed in the relevant BASIX certificate for:
- a) BASIX development,
 - b) BASIX optional development, if the development application was accompanied by a BASIX certificate,
- are to be satisfactorily completed prior to the issue of an Occupation Certificate.

Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the Newcastle City Council with Occupation Certificate documentation.

43. All works within the road reserve required by this consent are to be completed prior to the issue of an Occupation Certificate.
44. A Landscape Practical Completion Report is to be submitted to the Principal Certifier prior to the issue of an Occupation Certificate. The report is to verify that all landscape works have been carried out in accordance with the comprehensive landscape design plan and specifications that were required to be included in documentation for a Construction Certificate application and is to verify that an effective maintenance program has been commenced.
45. The premises are to be identified by the provision of house numbers on the building exterior and mailbox such that they are clearly visible from the road frontage.

The minimum numeral height is to be 75mm.

46. An application is to be made for a Subdivision Certificate. The application is to be supported by a digital copy (pdf format) of the survey plan of subdivision, associated administration sheets and a Section 50 Certificate from the Hunter Water Corporation.
47. An easement for drainage is to be created, a minimum 0.9m wide over Lot 1 to benefit Lot 2 is to be created prior to the issue of an Occupation Certificate for the proposed development.

Note: All associated survey and legal work is to be undertaken by the developer at the developer's expense.

48. An instrument under Section 88B of the *Conveyancing Act 1919*, setting out the terms of easements as required by this consent, along with related notations on the plan of subdivision, are to be submitted to the City of Newcastle for certification. The City of Newcastle is to be identified as a party whose consent is required to release, vary or modify easements.
49. The approved dual occupancy development on the site is to be completed to at least lock-up stage prior to the issue of the Subdivision Certificate.

Lock-up stage is taken to mean the stage at which a building's external wall cladding and roof covering is fixed, and external doors and windows are fixed (even if those doors and windows are only temporary).

CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

50. The premise/s is/are allocated the following street address/es in accordance with City of Newcastle's *House Numbering Policy* and the *Surveying and Spatial Regulation*.

Unit/ Dwelling/ Lot Number on plan	Council Allocated Street Addresses			
	House Number	Street Name	Street Type	Suburb
Unit 1	9	William	Street	Mayfield
Unit 2	9A	William	Street	Mayfield

ADVISORY MATTERS

- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (i.e. 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (i.e. 'on-the-spot fine') or prosecution.
- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- An application is to be submitted to the City of Newcastle for the removal or pruning of any trees located more than three metres from the dwelling wall, measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Division 6.2 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and Newcastle City Council is to be notified of the appointment; and
 - c) Newcastle City Council is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate must contain the information set out in Section

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the *Newcastle Development Control Plan 2012* (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site, and its approval is within the public interest.
- Newcastle City Council has considered and accepted the proposed development standard variation made under Clause 4.6 of the *Newcastle Local Environmental Plan 2012*. The proposed 12.6% variation is considered acceptable in the particular circumstances of this case as the variation is relates to the provision of additional car parking and will not significantly impact upon neighbouring properties.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



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**DAC 15/12/2022 – 9 WILLIAM STREET MAYFIELD – DA2022/00532 -
DUAL OCCUPANCY - INCLUDING DEMOLITION OF EXISTING
STRUCTURES**

ITEM-21 **Attachment C:** Processing Chronology

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PROCESSING CHRONOLOGY

DA2022/00532 – 9 William Street Mayfield

05 May 2022	-	Application lodged
27 May – 10 June 2022	-	Application notified in accordance with CN's Community Participation Plan (CPP)
06 June 2022		External referrals commenced: Ausgrid
13 July 2022	-	Request for additional information issued
31 August 2022	-	Additional information received from applicant
12 October 2022	-	Further additional information received from applicant