

NEWCASTLE INNER AREAS Conservation Planning Study

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NEWCASTLE INNER AREAS

CONSERVATION PLANNING STUDY

FINAL REPORT

Prepared for Newcastle City Council and
Department of Environment and Planning (NSW)

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March 1984

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Funding The study was jointly funded by the Heritage Conservation Fund and Newcastle City Council

Acknowledgements The study team would like to acknowledge the help and assistance received during the course of the study from the Steering Committee, Council Planning staff and members of the Newcastle community.

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SECTION 1

SECTION ONE: INTRODUCTION

1.1 Study Aim

This study is directed toward the identification of the conservation potential of the inner areas of Newcastle. The report establishes both guidelines and a framework within which the heritage of the areas can be conserved, the environmental qualities reinforced and new development sensitively encouraged such that economic and social vitality is enhanced.

The principal aims of this study have been:

- . to identify and recommend a strategy for the conservation of the environmental heritage of the Inner Areas of Newcastle.
- . to provide guidelines for the rehabilitation of, and sympathetic development within, the Inner Areas of Newcastle;
- . to provide material for a draft development control plan for Newcastle East End and to identify, as necessary, complementary public works.

1.2 Study Structure

Section Two, the "Historic Overview and Heritage Assessment" provides a brief historical perspective of the development of the Inner Areas of Newcastle and establishes their heritage significance.

Section Three identifies and analyses the physical and environmental qualities which influence the character of the Inner Areas today, including urban setting, natural features, open spaces, views and landmarks and architectural and urban character. Each of the three areas - Cook's Hill, The Hill and Newcastle East are considered individually.

Section Four is concerned with the attitudes and concerns of community groups within the Study areas, details their expectations of the study and highlights problems which may need to be overcome.

Section Five develops heritage objectives and guidelines to cover the Inner City Areas of Newcastle. They deal with city character, city urban conservation, new development, land use, movement patterns, economic activity and community awareness.

Section Six deals with the preceding heritage objectives and guidelines in more detail for the Newcastle East area. Material is presented on a precinctual basis and draft development control plan sheets identify heritage items to be retained, areas which may be developed, possible street closures, building setbacks, new planting and so on, where relevant.

Section Seven, comprises the Heritage Inventory which identifies, lists and details significant heritage items within the study area.

SECTION 2

SECTION TWO: HISTORIC OVERVIEW AND HERITAGE ASSESSMENT

BACKGROUND

The exploitation of the coal and timber resources of the Hunter River Valley began soon after its official discovery by Lieutenant John Shortland in 1797. Sydney entrepreneurs sent ships to the area before the first attempt at settlement in 1801. The small penal colony established at that time only lasted six months but occasional mining and timber ventures continued until April 1804, when a permanent settlement, named Newcastle, was made at the mouth of the Hunter River.

SUMMARY

The three areas surveyed here form the heart of historic Newcastle and the heritage focus of one of the oldest cities in Australia. With the possible exception of Hobart, Newcastle is the oldest city outside the Sydney area and it is far older than most of the capital cities. Visited by Europeans within a few years of the settlement at Port Jackson, officially discovered in 1797, its coal exported before the end of the 18th Century, the city on the Hunter River has a strong case for historical recognition. Sadly, much of the architectural heritage of the convict period is gone but the basic elements of the landforms, including the Hill itself, have resisted the destructive power of miners, builders and aldermen. Thus the stage remains even though the props and actors in that first chapter in the European heritage of the Hunter are gone.

Fortunately, the architectural record for the next phase in the Newcastle storey, the rise to influence as a regional capital and coal exporting centre of world significance, has lasted longer and it, too, is concentrated in the area covered by this study. Here, in a few square miles, is the record of the British struggle in Australia, a provincial and industrial struggle, of course, but no less significant for that.

2.1 NEWCASTLE EAST

Originally known as "the Sandhills" because of the sand dunes that plagued the district from the beginnings of European settlement, Newcastle East is of significance in historical terms.

Australia's first mine was established there together with the Hunter Region's first quarry, first hospital, the original fort, first signal station, first primitive lighthouse and first gaol, all in the penal settlement period of 1801-1822.

During a search for escaped convicts, Lieutenant John Shortland, in command of a whaleboat, landed and made his camp at the foot of Flagstaff Hill. During his short stay Shortland discovered a rich coal seam in the cliffside of Flagstaff Hill. Coal samples were taken back to Sydney and four years later, in 1801, the first settlement was attempted.

In the early period, convictism, practised in a particularly virulent form, was the dominant aspect of European life in the East end. Watt Street (then known as George Street) roughly bisected the settlement with the parade ground, the flagstaff, the commandant's residence, the house of the superintendent of convicts, the guard house, the boat house, the sand pits, the lumber yard, the officer's barracks, the hospital, the surgeon's quarters, a coal mine, the stone quarry, the gaol and the signalling post all lying to the east of that sandy track. At its northern end lay the first wharf, the first stage of the substantial port improvement programme that has been progressively implemented. In this part of the settlement, the most recalcitrant prisoners resided, floggings were carried out and much of the very hard labour was performed.

The earliest plans of the area are Captain Jeffries' map of 1816 (drawing (1)) and Surveyor Meehan's plan of 1818 (drawing (2)). The Meehan plan lists 26 buildings and structures.

Although Newcastle ceased to be a penal settlement in 1822, convicts employed in the coal mines and on public works continued to live in the settlement and the gaol remained in constant use, housing road gangs as well as all those who were waiting to be tried for serious crimes. Public executions were carried out at the gaol, the last in 1848.

In 1822 the district was designated as the Parish of Newcastle. The demand for town allotments grew, and free selectors were allowed by the regulations to take possession of an allotment within the town of Newcastle. These areas were held on a lease for 21 years, subject to a nominal ground rent. Henry Dangar was given the job of laying out the township of Newcastle. Land was set aside for churches, schools and government buildings, and after Newcastle was declared a free town a large number of settlers bought allotments. Dangar's plan shows ten streets and a market square and the old street names were scrapped and new ones substituted (refer to Drawing (3)). At this time much interest was being taken in the discovery of steam and six of the streets were named after engineers who had contributed in this field.

George Street became Watt Street (named after James Watt).

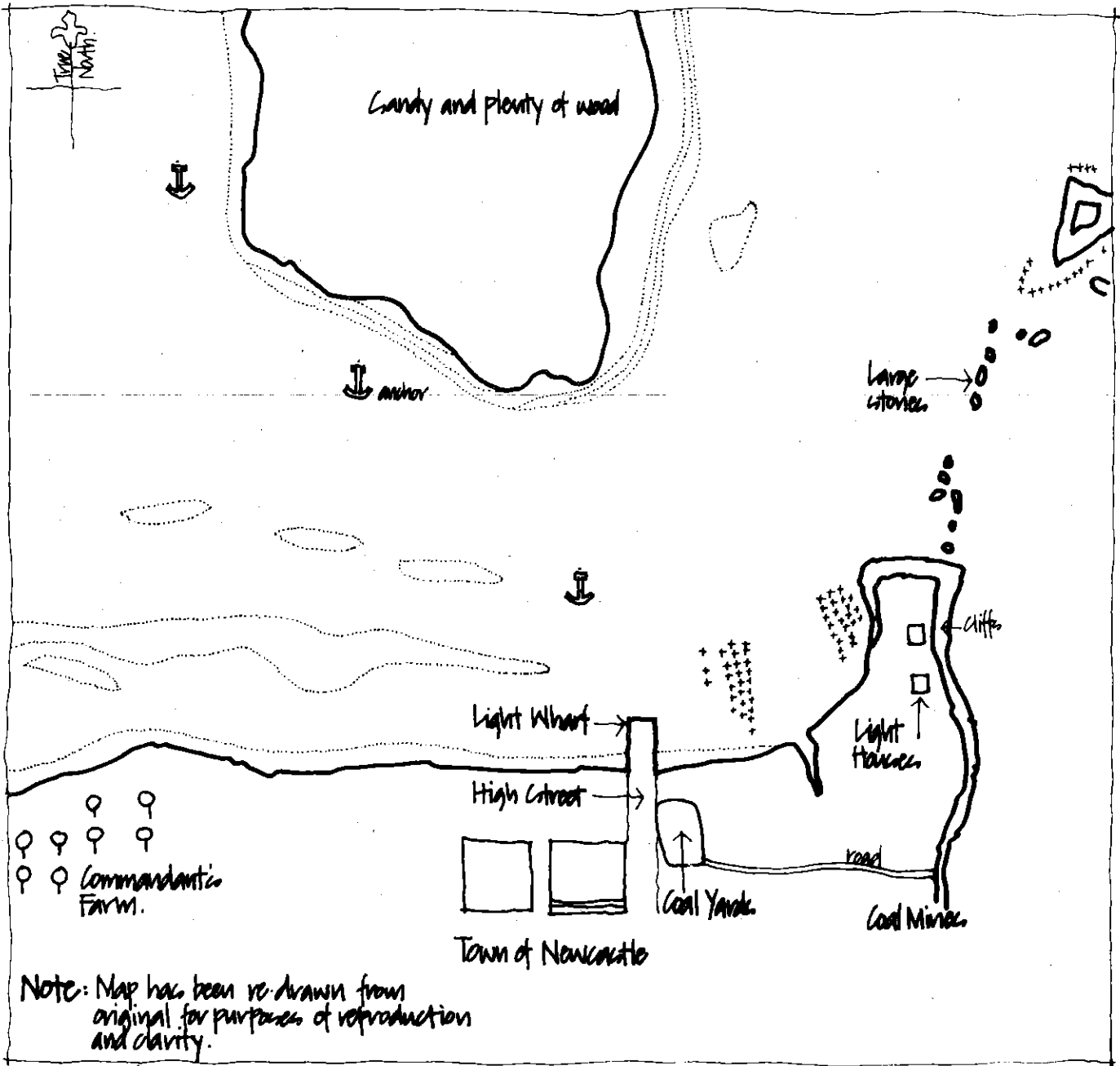
York Street became Bolton Street (named after Mathew Boulton).

Newcomen Street (named after Thomas Newcomen).

Wolfe Street (named after James Wolfe).

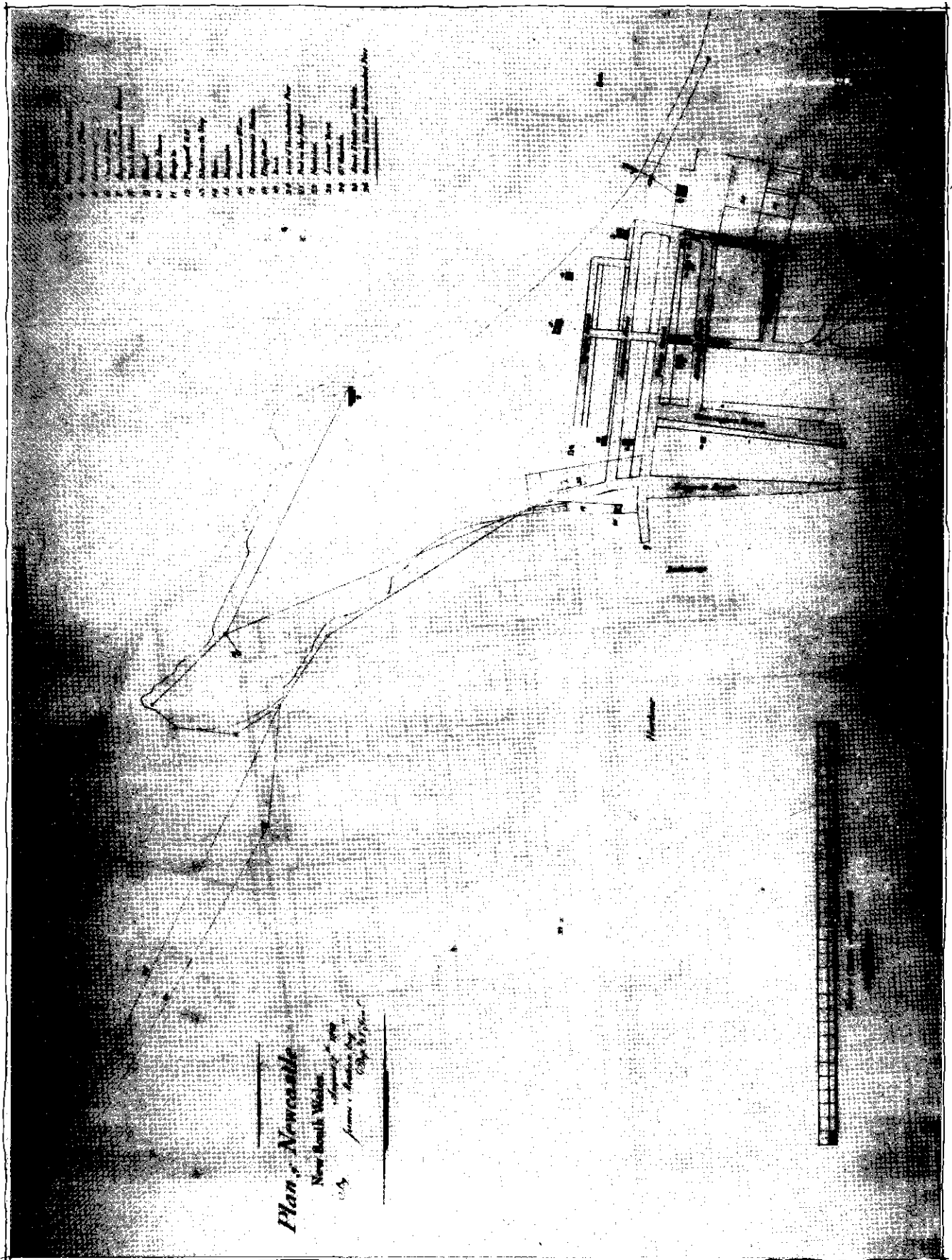
Perkins Street (named after Thomas Perkins).

Brown Street



Captain Jeffries Map 1816.

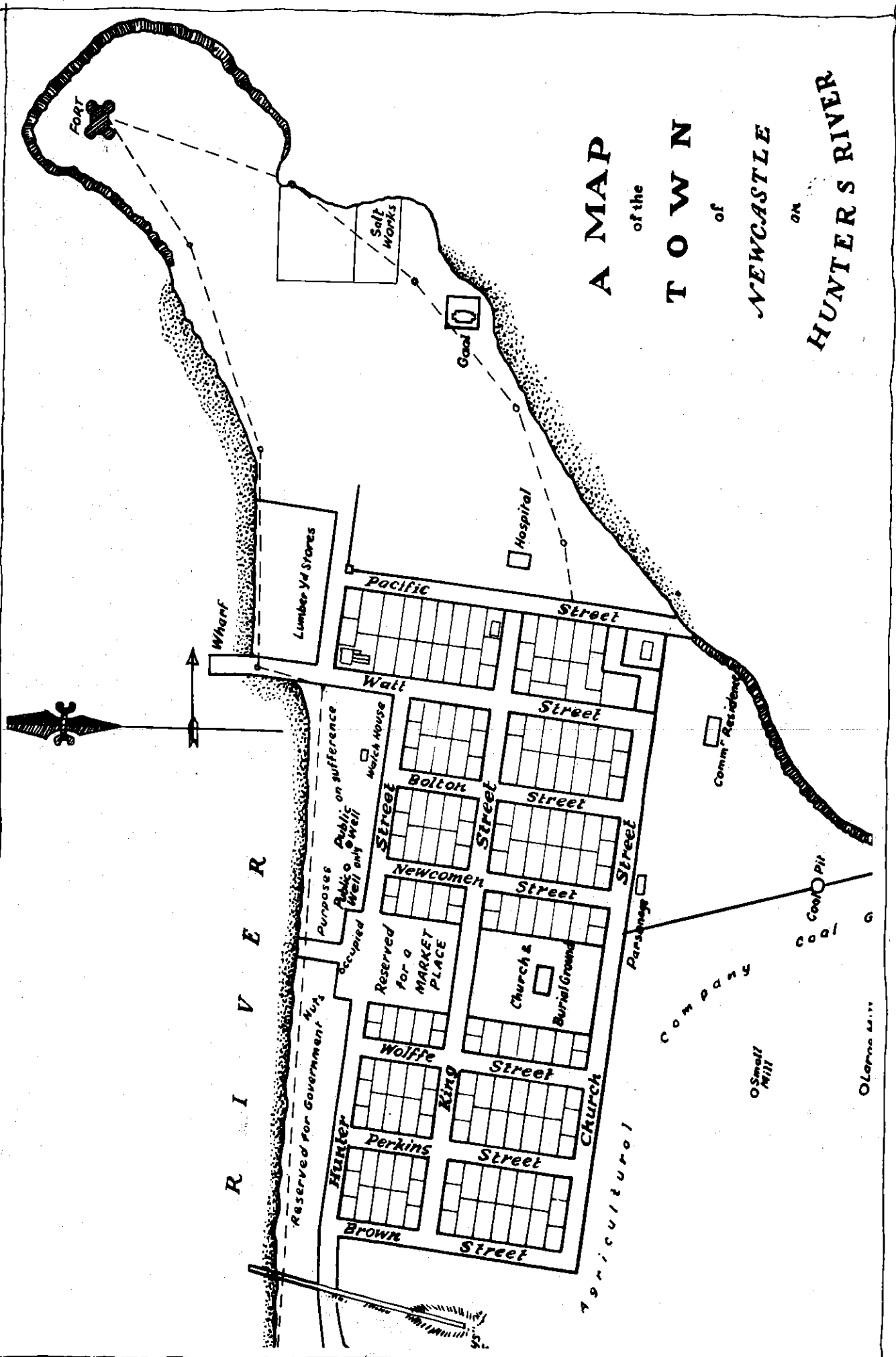
Drawing One.



Surveyor Mechanic's Plan. 1918. Mitchell Library.

Drawing Two.

A MAP
of the
TOWN
of
NEWCASTLE
ON
HUNTERS RIVER



Dangar's Plan

Drawing Three.

The rocky knoll upon which Nobby's Lighthouse was erected in 1857 was noted by Captain Cook, aboard the Endeavour, in 1770. It was then approximately twice its present height and separated from the mainland by a narrow passage of water that was navigable in favourable tidal conditions by small vessels with venturesome masters.

Coal mining commenced in 1804 at Collier's Point near Fort Scratchley, where the Dudley Seam was exposed in the cliff face. This tunnel was the first European mine in Australia. The first mine shaft was commenced in 1814 near the present day Watt Street Hospital. The mine required eight miners at the face, with another nineteen convicts to bail out water, supervise the work, wheel the coal to the shaft, raise it by windlass and move it to the wharf by bullock wagon. The annual output did not exceed 2,000 tones until 1819.

Between 1818 and 1846, a massive breakwater was constructed between Nobbys Island and the mainland in order to improve the entrance to the port. Inaugurated by Governor Lachlan Macquarie, this project employed large parties of convicts and ensured the presence of a body of soldiery until the middle of the century. Throughout this long period, convictism dominated the east end of the town and gaoling can be regarded as the principal industry of Newcastle East in its first half century.

The gradual development of the shipping industry, particularly from the 1820s, was important to the East End where ships have been serviced since the earliest days of settlement. From the erection of the first flagstaff on Flagstaff Hill (before 1812) so that ships could be advised whether it was safe to enter port, there have been strong links with the sea. Piloting, lighthouse-keeping, life boat services, tug boat services, customs administration, wharf labouring and ship chandlery have flourished in the eastern section of Newcastle. In

addition, the needs of generations of sailors had to be met and hotels, boarding houses and a seamen's mission developed in the East End.

Geographical factors determined that the eastern section of the city would have a general connection with the shipping industry but certain sites were particularly suitable for maritime use. The two knobs or knolls, Flagstaff Hill and Nobbys Island, were ideal for observing and communicating with shipping. They were equally suited for military purposes and both sites have served as forts. Flagstaff Hill had a battery of cannon as well as its signalling mast and coal fire beacon by 1821. The need for the guns declined and after 1857 when the lighthouse keeping moved to Nobbys only the military remained on Flagstaff Hill.

By 1871 the development of the flourishing coal trade led to the need for improved coastal defences. This view was emphasised by Sir W. Jervois and Colonel Scratchley after they visited the site in 1877. Fort Scratchley was designed to the approval of Colonel Scratchley and supervised by the Colonial Architect, James Barnet. By 1882 the guns were in place. In 1886 the barracks were completed by the builder George Smith. Additions and alterations to the fort continued up to the 1940's, and a military presence was retained until as late as 1972.

Flagstaff Hill has yet another claim to historical significance; it is the site of the first mine in Australia. In 1801 convict coal miners opened up the colliery that provided the colony's coal until 1817. At that stage the site was known as Colliers Point and the tunnels driven into its face drew coal of indifferent quality from the Dudley Seam. Production was small and the techniques of mining were primitive but this site has the greatest historical significance.

HOSPITAL SERVICES

The Eastern End has been providing hospital services since at least 1812 and possibly from 1804. In a tiny two-roomed building the surgeon had to cope with diseases caused by diet deficiencies, particularly scurvy, and occupational disorders induced by coal mining and lime burning as well as the usual human ailments. The hospital was often overcrowded, with other problems as well; it lacked essential medicines and items of clothing and bedding were scarce. Situated beside the sand dunes, there were times when sand blew through the primitive structure, adding to the discomforts of the patients.

The Colonial government maintained a hospital, using a part of the gaol building for most of all of this period, until the 1840's when a local hospital committee took over this responsibility. In 1866, the first wing of a new hospital was erected on the site of Royal Newcastle Hospital and the building was completed twenty years later. The history of hospital services in the East End is so long and its life spans so much of the development of modern medicine that this element must be recognised in any heritage assessment.

RECREATIONAL USE

From the earliest days of the settlement the east end has also served as a recreational area. In 1818 Governor Macquarie forbade swimming "in that part of the beach where there is a heavy surf" because several lives had been lost and shortly afterwards Commandant Morisset had an ocean bath (the Bogey Hole) constructed south of Newcastle Beach.

Newcastle was seen as a seaside resort as early as 1850 when a Sydney newspaper correspondent commented:

"Possessing a good climate and means of sea-bathing, it is much frequented by invalids and visitors during the summer season....."

With the development of railways after 1857, the seashore at Newcastle became accessible to the people living in its hinterland and holiday excursions to the beach became a feature of their social life.

RESIDENTIAL USE

The residential function of the eastern end of Newcastle was limited by the problem of eroding sand dunes. Wind-borne sand was occasionally troublesome in 1820 but this problem worsened to the extent that small buildings were threatened with engulfment by the 1840's. Crown residential subdivisions were planned in 1840 and 1845 but there was little development in this period. Not until the sand problem was greatly diminished and the development of the city put pressure on its land supply, was the East End to be developed. Surveyor White's plan of 1840 (Diagram (4)) shows allotments laid out on the Sand Hills, up to Parnell Place. The sand problem is revealed by the reference to the 'Buried Road' to the north of Zaara Street. The Scottish Australian Investment Company decided in 1874 to level the dunes and stabilize the sand on its leaseholds with chitter from its Lambton coal mine. Within two years new buildings began to appear and by the early 1880s, the area was being filled with substantial "villa" residences so rapidly that the local newspaper forecast that the "aristocratic end of the city" would soon be completely built up.

SALT INDUSTRY

There were three attempts to establish the salt industry in Newcastle in its first thirty years, one by the government and two by private enterprise. In Sydney there had been attempts to make salt, in 1790 and 1795, before the Government decided to commence manufacture on its own account because of scarcities and trafficking in salt. Two pans arrived on the Coromandel in May, 1804 and Governor King sent one to Newcastle immediately. The pan was erected on the harbour-side near a coal pit called the New Discovery, probably in the vicinity of the present day Argyle House.

The first salt arrived in Sydney in February 1805 and another 20,000 lbs was received six months later. Output in that year amounted to 28,750lbs, increased slightly in 1806 and again the following year but was sharply curtailed and then abandoned in 1808.

Gregory Blaxland, who was well established in salt manufacture on his Newington Estate on the Parramatta River, sought to improve his fuel supplies by opening a new works at Newcastle about 1826. There was little land available there, because of the uncertainty as to the location of the A.A. Company's grant, and though the Governor had issued an order for twenty acres, Blaxland accepted one acre on the elevated sea coast close to the early government coal mines on Signal Hill. On this unlikely site, claimed Blaxland, over £1500 was spent to establish a factory which was abandoned soon after it came into production. How an experienced salt manufacturer could have chosen such an exposed site is a puzzle but proximity to the existing coal mines may have been the prime need.

Gregory Blaxland's loss did not deter the A.A. Company which began to prepare for the manufacture of salt at Newcastle in 1831 in order to utilise

small coal which was considered unsaleable. Plant was imported and erected close to the Company's wharf but salt making did not begin until 1835. The results were disappointing as although the Company made a further attempt in 1838, its salt making ventures were never to be commercially viable.

BROKEN HILL PTY LTD AND STATE DOCKYARD

The development of Newcastle was given a tremendous impetus by the establishment of the vast steelworks at Port Waratah by the Broken Hill Pty Ltd in 1913-14. In 1915 the first steel was produced at the works. The State Dockyard was also established at that time.

Whilst these industries had a great affect on the region they created little change in Newcastle East. Housing expansion occured primarily in Wickham, Mayfield and Islington areas. The workers in Newcastle East were generally connected with the port and shipping (seamen, wharf-labourers etc.).

THE DEPRESSION

During the depression period (1930 to Second World War) camps were set up on the harbour front, by the unemployed. The settlement which originally consisted of tents was on Horse-shoe Beach and was subsidised by the Federal Government. At its peak the camp housed 250 people and was a great irritant to the Newcastle Municipal Council. The Council continually agitated for its removal and in 1936-37 the Defence Department obliged by acquiring the area as a parade ground. At the time of removal there were still 144 inhabitants in the camp. Despite the lack of sanitation the residents took some pride in the area and had changed the original tents to more substantial shanties. They also provided 'suburban' trimmings such as place names.

2.2 THE HILL

The high ground to the south of the Port of Newcastle has been known as Church Hill and Prospect Hill but now it is known as The Hill. The ruggedness of this terrain was the despair of municipal council engineers who sought to pave its precipitous streets but artists and writers have always been attracted to the area for the panoramas it afforded. The convict artist Joseph Lycett laboured here and when the first Christchurch went up on the hill one resident expressed his amazement that so beautiful a location was not yet blessed with a clergyman.

"No language can indeed fully exhibit to the mind the grandeur of the place which stands the Christchurch at Newcastle. It is founded upon an eminence, almost the highest in the neighbourhood, commanding a full view of the town all beneath. On two sides we have the boundless ocean, with its rolling waves, far below; on the other sides is an extensive bay, interspersed with islands; and on the other side, are immense mountains at a distance; nearer the hallowed site are pleasant valleys, and a beautiful terrace all around".

His prayers were soon answered and in time the churches on the hill multiplied with a cathedral and bishop's residence being added to the scene.

Soldiers also found virtue in The Hill and the earliest commandants lived there, the soldiers' barracks followed and late in the last century the area was to be fortified for the defence of the harbour approaches. While these developments were occurring, the Hill was playing a vital role in the expansion and modernisation of coal mining and engineering. Later on its breathtaking views and

proximity to the business district began to attract more houses, particularly those of the well-to-do, and schools flourished there too. The plan of 1846-1850 (diagram (5)) shows that the town had spread south to Ordnance Street and west to Brown Street. Simultaneously, recreational and sporting facilities appeared to give the Hill a socially diversified character.

CHURCHES

It is understandable that The Hill came to be known as Church Hill. Religious services were held in the penal settlement, usually by the civil or military officers, long before a church had been built. When the first ecclesiastical building appeared, it was a crude slab hut which was used until 1818 when the first Christchurch was opened on and attended by Governor Macquarie on the site of the present Cathedral. The plans for the first Christchurch were drawn by the convict artist, Joseph Lycett and the structure was the first of many ecclesiastical buildings, including churches, halls and schools, which have since been constructed on The Hill. The only relic of the original Christ Church is the foundation stone. The stone is also the only known building relic of the convict era.

As it was government practice to grant land to recognised churches and as the available land had been severely limited, the sites granted to the various denominations were close together. The Roman Catholics, the Methodists and the Congregationalists built churches on the Hill and the Baptists and the Presbyterians established themselves in the nearby Cooks Hill area. In doing so they gave the life of the area a strong ecclesiastical flavour.



Plan of Newcastle 1846-1850.

Diagram Five.

COAL MINING

While the churches proliferated on the surface of The Hill, coal mining flourished underneath it. Starting with the sinking of the first mine shaft (1814-1817) near the present Watt Street Hospital, the colonial government extracted coal from beneath The Hill until 1831 when it handed over the industry to a chartered company, the Australian Agricultural Company.

To provide this company with adequate reserves of coal it was allocated 2000 acres of land on the western boundary of the township. This had profound effects on the future development of Newcastle for hereafter the Company's policies controlled the sale of land in the only area in which the town could expand.

The entry of this company into coal mining transformed the industry. Its first mine was equipped with two steam engines (the first to be used for mining purposes in the colony) for raising coal and pumping out water and its coal was delivered to the port by an inclined plane which, though it relied on gravity for its power, has been recognised as the first railway in Australia. Moreover, the casting of certain metal parts for the steam engines, may well have been the first occasion that such work was undertaken in this country. The Company's last mine, the Sea Pit, produced coal from beneath The Hill and from beneath the adjacent ocean floor from 1888 until 1916 when the mine closed. This important colliery was visited by the Governor General, Lord Northcote, in 1906, when 100 gentlemen dined together at the bottom of the 300 foot shaft. Its closure marked the end of the Company's connection with the coal mining in Newcastle and the end of an era. For almost a century the industry had been dominated by the British corporation; from this point onwards, as far as Newcastle was concerned, it was merely a land sales company.

THE MILITARY TRADITION

The south-west portion of the Newcastle penal settlement lies in the Hill area where many of the convicts' huts, several barracks, offices and the government farm, stockshed and stables were located. The garrison was also sited on The Hill establishing a military tradition that lasted without interruption for half a century and was revived later when King Edward Park was fortified.

Military life on The Hill usually centred on the Watt Street Hospital site where substantial barracks were constructed in the early 1840's. The parade ground, now the site of the Court House, was used as a cricket ground, possibly the first in Newcastle, and the buildings were also utilized for civilian purposes after the withdrawal of the garrison. Embarrassed by this withdrawal within a decade of the completion of these expensive buildings, the colonial government used them for a girls' reformatory and also to house policemen in the last century.

After Fort Scratchley was constructed, fortifications were also made on the southern side of King Edward Park. Members of the volunteer defence forces trained there and an 1894 newspaper correspondent wrote:

"To the south of the Reserve, and overlooking its highest portion, is a fort in which is placed a heavy Armstrong breech-loading gun, with hydro-pneumatic carriage. During a recent sham fight in this locality, this fort became the objective point, but daring invaders were subjected to a baptism of fire which left them, from a strictly theoretical point of view, all dead mean".

THE COURTS

The administration of justice is another aspect of Newcastle life which has been associated with The Hill area. In the early days the commandants were magistrates with power to punish offenders and the government office on the corner of Watt and Church Streets (the Sessions House) became the first Court House in the Hunter Valley.

THE SCHOOLS

In 1815 the first school was established in Newcastle, it was public and free and, as such, represented a very significant advance in the history of education.

Its pupils were usually the children of convicts and soldiers and its teacher was a convict. Known originally as the Christchurch School, this institution became the Newcastle East Public School, continuing to educate the children of the city for over 60 years. It also established a tradition of education which was carried on by other agencies on The Hill. The Church of England and the Roman Catholic Church, to name only two, have conducted schools there and the Government opened the school that became the Hill High (or Newcastle Junior High) School in Tyrrell Street in 1878.

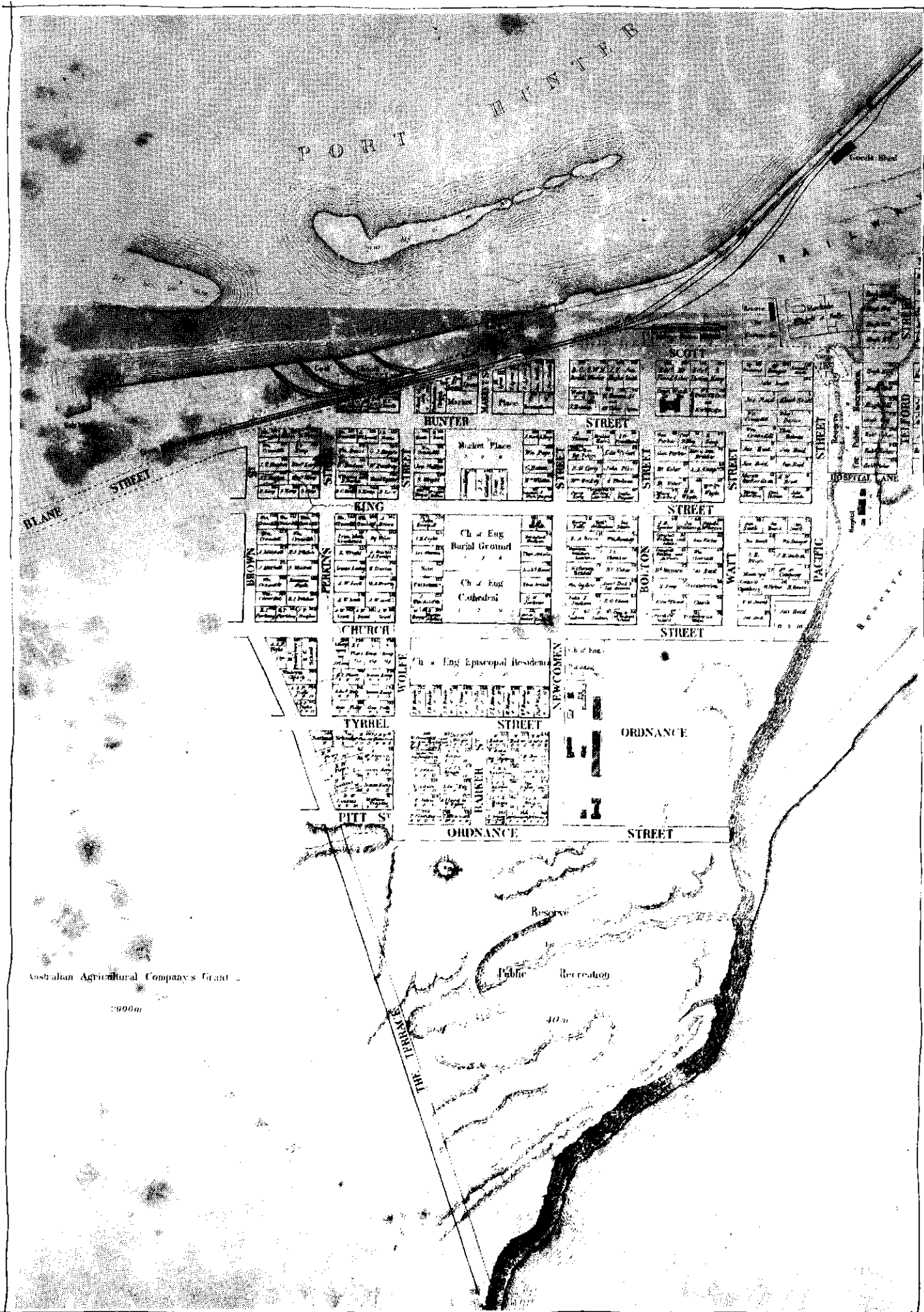
RECREATION

The recreation possibilities of The Hill were so obvious that Commandant Morisset began to construct a scenic walk there in the early 1820s. Known as the Horseshoe, this early attempt to utilize the magnificent ocean views available from the Hill led from Watt Street to the edge of the cliffs. In 1865 some 30 acres of land were vested in the Newcastle Borough Council which developed the

holding into what was first known as the Reserve and then renamed King Edward Park. By 1894, it was referred to as the "lungs" of Newcastle and by then there was a bowling green, a tennis court and electric lighting. Band concerts were already being given midst the formal gardens of the Reserve although the Band Rotunda was not completed until 1899. There was also an indoor roller skating rink in Bolton Street (Steel's Garage).

RESIDENCES

Taking advantage of the amenities of the area and its proximity to the business section of the town, the wealthy of Newcastle built their houses on the Hill. The affluence engendered by the expansion of the coal industry in the second half of the last century was reflected in the appearance of relatively large and impressive houses. The Terrace, for example, which was opened about 1871, quickly became one of the city's most favoured streets. (Refer to Diagram (6)). The period, 1870-1890, when the price of coal was high brought great prosperity to the city and in this period the rich lived on The Hill. This is reflected in the great houses of the brewers John and Joseph Wood, Jesmond House and Woodlands, and stately Rohallion, the home of R.B. Wallace in Church Street. An important contribution was made by the Newcastle architect F.B. Menkens who designed a number of fine houses in the villa style. (Lance Villa and Stewart Keightley's residence).



Plan of the City of Newcastle. 1873. The Hill and Terrace. Diagram Six.

2.3 COOKS HILL

To some extent Cooks Hill shared the heritage of The Hill but there were differences. Being part of the Australian Agricultural Company's grant, Cooks Hill had the closest possible association with that corporation. For about two decades this great British company, which is still one of the largest landholders in Australia, declined to subdivide any of its Newcastle grant and thus delayed the development of Cooks Hill. However, even in this period, the Company built huts for its workmen and so the area began its life as a mining village in the midst of the Company's mines and railways.

When the first land sales did occur, development was rapid along Lake Macquarie Road (Darby Street) and eventually Blane Street (Hunter Street West) became an extension of the city's main street. However, the houses in the Cooks Hill area did not approach the scale of those on The Hill. Retailing and hotel keeping tended to flourish in the Cooks Hill region as the population grew, but the development of the area was dominated by the policies of the Australian Agricultural Company. Its mines, its railways, (and the colliery railway serving the Merewether district) exercised a strong physical dominance over the flatter landscape of Cooks Hill. However, their eventual dismantling left the suburb to enjoy some fine churches, the Menkens designed St. Andrews Church, his Baptist Tabernacle and the A.A. Company's St. Johns Church.

ARNOTT'S BISCUIT FACTORY

In the nineteenth century large scale manufacture of food was almost absent from Newcastle with two notable exceptions, Woods Castlemaine Brewery and the biscuit factory of William Arnott. A Scot, Arnott originally settled in West Maitland, but after four floods he moved to Newcastle in 1865.

He opened a shop in Hunter Street and soon prospered. He expanded his business considerably during the next decade and in the 1870's built a factory in Melville (now Union) Street in Cooks Hill. The factory was two storeys, had an area of 2,800 square feet, and provided for the manufacture of biscuits, bread and confectionery. Further extensions were made and within three years the steam biscuit works employed between 40 and 50 people. Expansion of his market to Sydney saw the enterprise grow such that by the 1890's 300 people were employed in the business.

Adjacent to the biscuit factory stood the house known as Leslieville. This was reputedly Arnott's family home but it is more probable that it was built for William Arnott's son.

HOUSING

Towards the end of the 19th Century the area was developed on a large scale for housing the officials of the A.A. Co. These included Laman, Corlette, Parry and Darby Streets.

The area remained basically working class housing zone until the 1960's and 1970's when there developed a new interest in inner city living. The development was similar to that which had already commenced in Paddington, Balmain and Glebe in Sydney, and involved a recycling of the original housing stock together with some unfortunate new modern buildings.

SECTION 3

SECTION THREE: TOWNSCAPE ANALYSIS

INTRODUCTION

The townscape analysis for the Study Areas is considered on two levels. The first broad level deals collectively with the three areas and examines the influences of urban setting, landform and open space, landmarks and views and architectural character. The second more detailed level deals with each of the study areas (Newcastle East, The Hill and Cooks Hill) separately and examines the range of contributing townscape elements such as historic background, local topography, landmarks and views, vegetation, streetscape character, key buildings and areas, the character of new development and townscape details. The analysis also provides a list of the principal areas of concern with respect to the architectural and environmental quality of each area.

The detailed townscape character maps for each of the areas show the buildings or items which should be listed and warrant permanent conservation, buildings or items which contribute positively to the historic and environmental character of the area and which should not be altered or demolished without due consideration and consent approval, and those buildings or areas which detract from the quality of the area. The maps also identify key views, landscape elements, stone walls and other townscape details of significance are recorded.

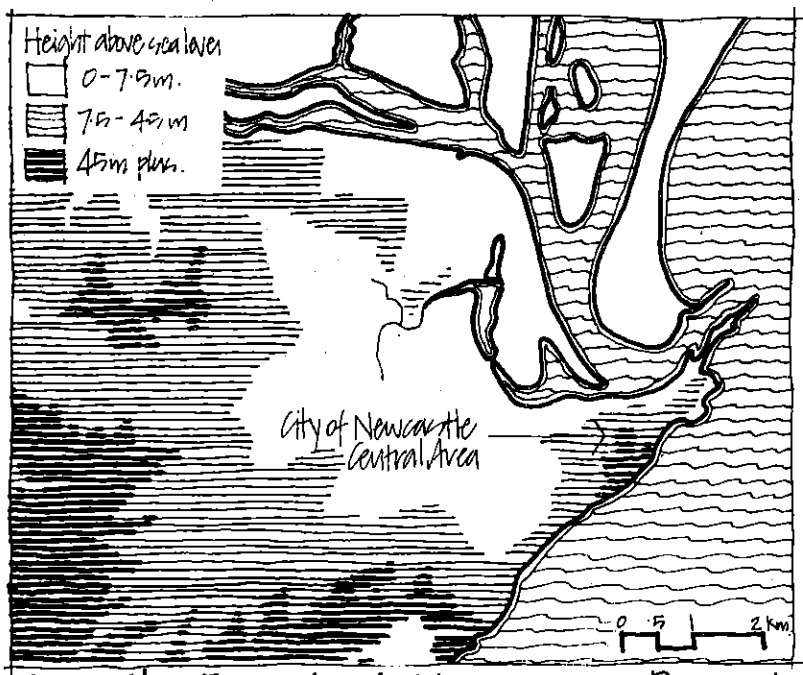
3.1 NEWCASTLE INNER CITY AREAS

URBAN SETTING

The Newcastle Inner Areas under study are located on a peninsula of generally high land on the southern bank of the Hunter River. The steepest and highest land known as "The Hill" overlooks the present central business district (CBD) of the City and is considered to be one of the better residential addresses in Newcastle. The site for the City generally however is low lying particularly to the north of the river where areas were created from sediment deposited by the river giving rise to expansive marshy and mangrove areas. Today many of these have been drained and filled for urban or industrial purposes.

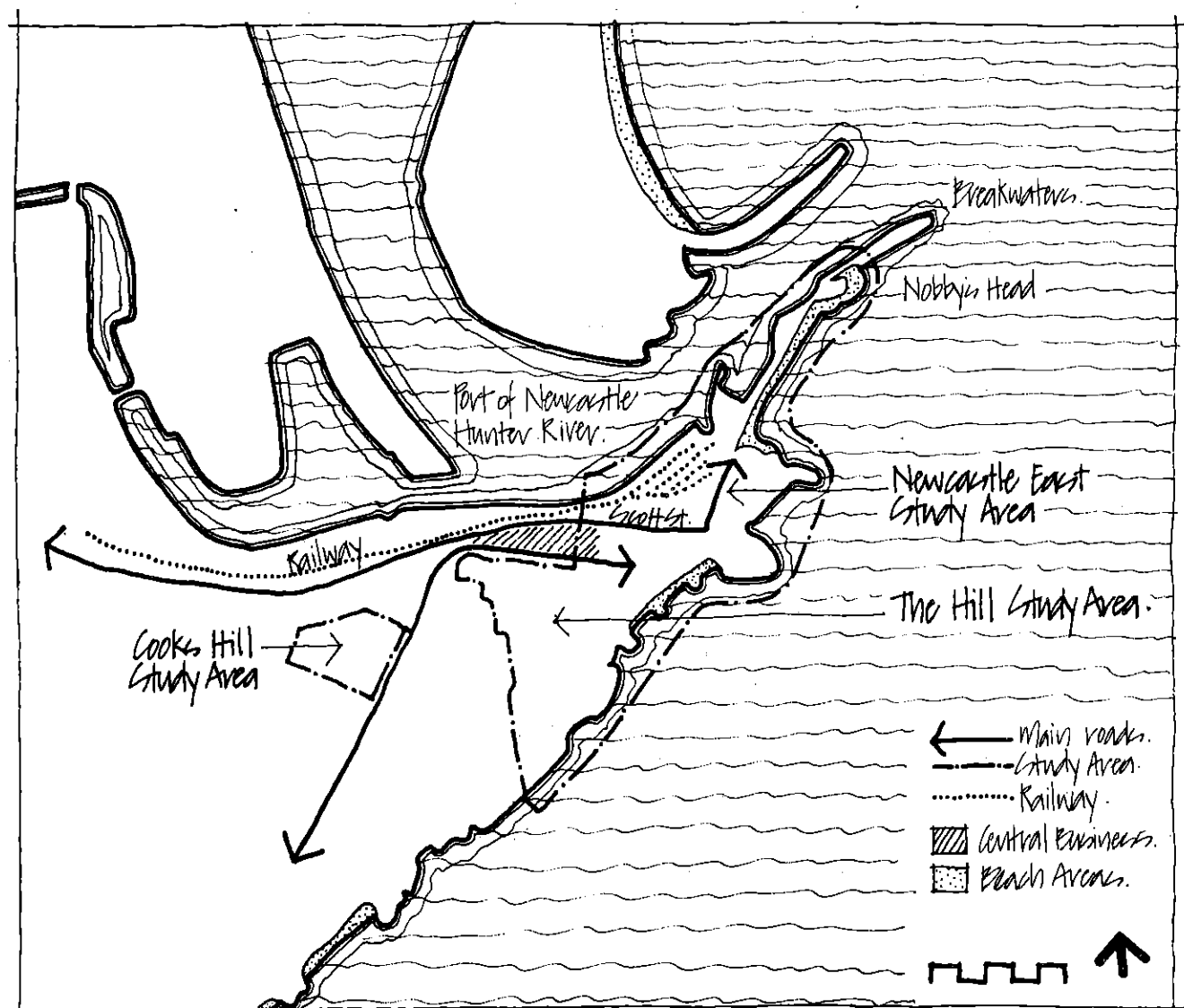
Areas of "The Hill", and Newcastle East rise above the surrounding land and industry, and command the prominent headland overlooking of the Port of Newcastle. High elevation, proximity to the central business district and a principally northern orientation of development are significant influences on the townscape character of the Inner Areas. (Diagrams 1 and 2).

Cook's Hill shares with these areas an immediacy to the CBD with the attendant advantages of proximity and access and disadvantages of pressures for redevelopment and city car parking pressures.



Newcastle. Topography of City

Diagram 1.



Urban Setting.

Diagram 2

NATURAL FEATURES, LANDFORM AND MAJOR OPEN SPACES

The Central Area of Newcastle is situated on a raised peninsula with a number of cliff forms along the ocean edge. Land adjacent to the river is generally low lying and in part reclaimed along the river edge but rises steeply to the south beyond Hunter St to "The Hill" area. The highest point is the Obelisk/Reservoir knoll (some 65 m above sea level). Broad spurs run to the west along Tyrrell St and northwards down to King St. Minor valleys run down Wolfe St and between Bolton and Watt Sts.

A saddle around Telford/Zaara Streets separates "The Hill" area from the major landforms of Newcastle East - Flagstaff Hill (Fort Scratchley) and Nobby's Head.

To the south of the Obelisk, the major ridgeline continues across to and along The Terrace to the Reservoir site above Cliff St. Land to the east comprises King Edward Park which is broken by a major valley bisecting the site.

The eastern city edge is characterised by coastal landscape with ocean beaches (Newcastle Beach and Nobby's), a series of spectacular cliffs and projecting tidal rock formations or platforms at sea level.

It is important to recognise the significance of the major land forms and to realise that much of today's harbour landscape is man-made or man-influenced.

The rocky knoll on which Nobby's Lighthouse stands was first noted by Cook in 1770 on the voyage of the Endeavour. It was approximately twice its present day height and was separated from the mainland by a shallow passage of water, sometimes navigable. Initially called Coal Island, in 1801 the height was subsequently reduced to aid sailing vessels entering the harbour. Macquarie's

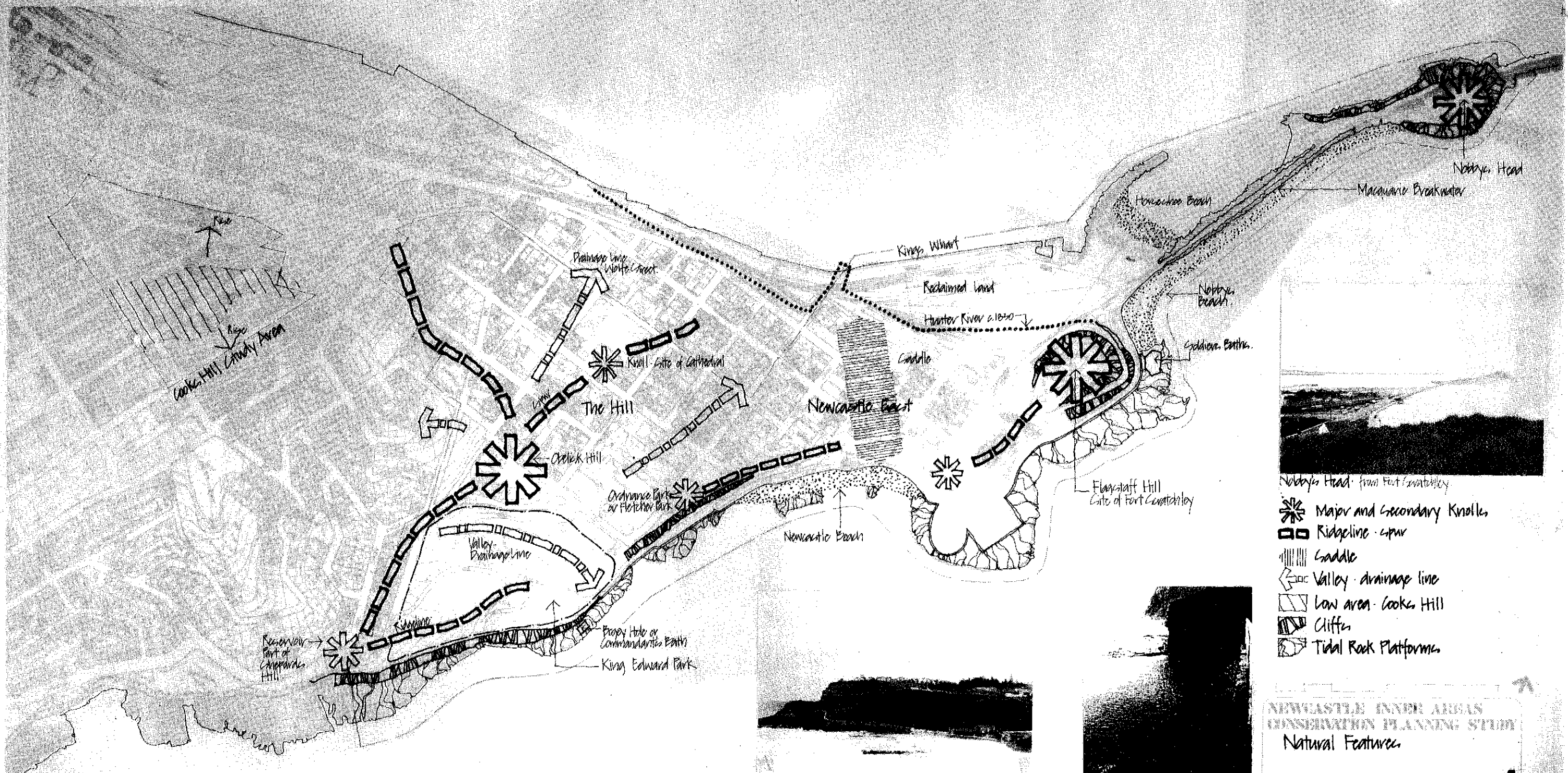
Breakwater linking the Island to the mainland was commenced with convict labour in 1818 and completed by 1846, the stone being quarried from Flagstaff Hill. The Breakwater today forms Nobby's Beach.

Flagstaff Hill is a major landform closely linked to the process of original settlement. When the Hunter River was discovered by Shortland in 1797 in a search for escaped convicts, he camped below Flagstaff Hill near land later occupied by the Zaara St Power Station (now removed). Shortland discovered the rich coal seam visible in the hill and the first export of coal ensued two years later in 1799. Flagstaff Hill was the site of a signal station in 1822 and an early gun emplacement.

The major areas of open space are King Edward Park located to the south of "The Hill" and the coastal recreation areas. King Edward Park covers the eastern or northern side of the hill known as "Sheep Pasturage Hill" or later "Shepherd's Hill" and was developed in the late Victorian Period. The coastal zone was recognised as early as the 1850's as a place of recreation for sea bathing and promenading and a number of major heritage items remain today. Newcastle Beach being within four minutes walk of the Central City area, is an excellent open space asset.

In contrast with "The Hill" and Newcastle East, the Cook's Hill area is relatively low lying (7.5 - 9.0 m above sea level) with a central broad depression along Dawson St. There are no distinctive landforms or major open spaces in Cook's Hill.

Natural features, landforms, beaches and open spaces are shown on Map 1.



Cooks Hill Study Area

Reservoir part of Sheppards Hill

Princes Lane Wolfe Street

Knoll Site of Cathedral

The Hill

Arleik Hill

Ordnance Park or Fletcher Park

Valley Drainage Line

Puppy Hole or Commandants Bath

King Edward Park

Kings Wharf

Reclaimed Land

Hunter River a.1850

Caddo

Newcastle Beach

Newcastle Beach

Honeymoon Beach

Nobbys Beach

Caddo's Baths

Flagstaff Hill Site of Fort Covercliff

Nobbys Head

Macquarie Breakwater



Nobbys Head from Fort Covercliff

- Major and Secondary Knolls
- Ridgeline - spur
- Gaddle
- Valley - drainage line
- Low area - Cooks Hill
- Cliffs
- Tidal Rock Platforms



Cliffs and Beach Area: Shows coastal environment including of The Terrace in background



"Puppy Hole"

NEWCASTLE INNER AREAS CONSERVATION PLANNING STUDY

Natural Features

Map 1

VIEWS AND LANDMARKS

Special combinations of views and landmarks can provide a particular city image or a perceptual framework for residents and visitors, and also assist with orientation, perception of city form and visual drama.

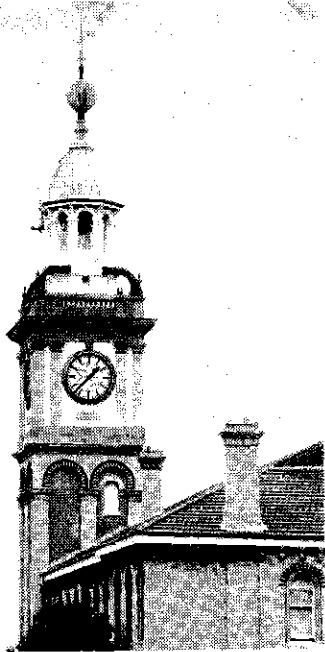
With the Newcastle Inner Areas, an important relationship exists between geographic elevation, the location of maritime related landmark objects on points of high land and the orientation of the grid road network which tends to channel street level views northwards over the harbour and steelworks, providing a constant reminder of the primacy of manufacturing and heavy industry.

Views

Views from public areas over the harbour and ocean are an important part of the urban character of "The Hill" and Newcastle East. Fine panoramic views are available from Fort Scratchley and the Obelisk, with more limited outlook from the grounds of Christ Church Cathedral marred by the carpark structure in the immediate foreground. Fine scenic views are available along the coastal cliff zone. A number of excellent channelled street views or vistas to Stockton and the Steel Works are available, generally framed by buildings or street vegetation where this exists. The best of these are along Perkin and Wolfe Sts and along Watt St with the influence of the Customs House and T & G Building landmark towers. Views up Bolton St are focussed and terminated by the Victorian Court House building and views from Hunter St across to Telford House are similarly of townscape interest.

Within the Cooks Hill area, localised street views of note focus on the spire of St. Andrew's Church or are closed vistas along tree lined streets (eg. Council St).

Landmarks



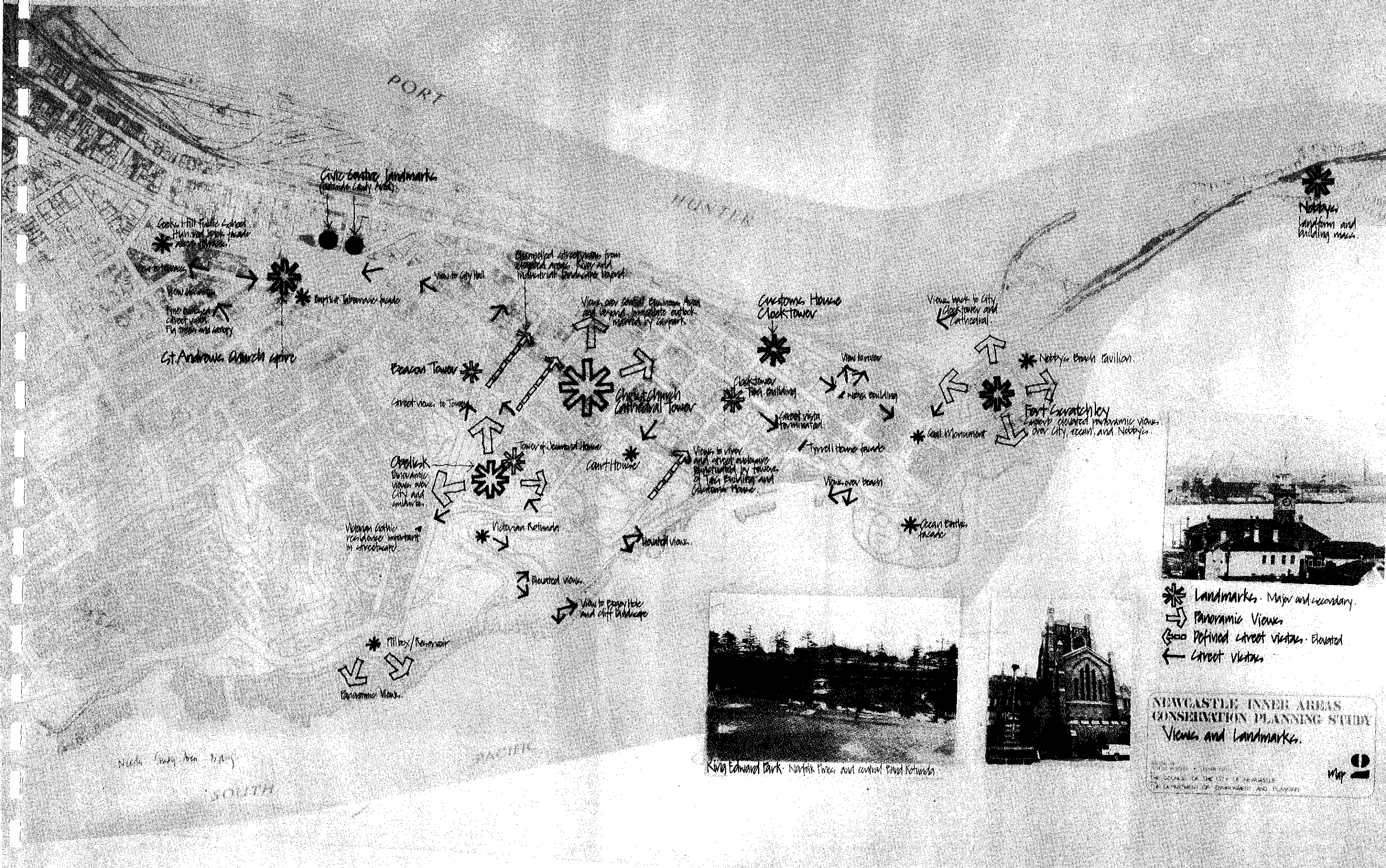
Customs House - Fine clocktower.

Many of Newcastle's historic landmarks remain relatively free from encroachment by modern development although their impact has been reduced over time by the construction of a number of buildings on important axes or 3-4 storey structures high on "The Hill". The major city wide landmarks are undeniably the massive Christ Church Cathedral tower (spire not completed) dominating the skyline of "The Hill" particularly as seen from across the harbour, the fine Classical clock tower of the Custom's House, the slightly less prominent T & G Art Deco clock tower, the combined land and building form of Fort Scratchley and the land form and lighthouse (1858) of Nobby's Head. Secondary but no less important landmarks include the castellated Beacon Tower in Tyrrell St (c.1877) located on the site of the leading light tower (1865) and rebuilt when obscured from the light of approaching ships by the building of a Wesleyan parsonage, the Obelisk above Ordnance St, erected in 1850 as a guide for shipping, and the high Classical Italianate tower of Jesmond House in Barker St.

The high brick and stone tower and spire of St. Andrews Church in Cooks Hill is observable in the city fabric from elevated viewpoints, views across Civic Park from the Town Hall area and from within Cooks Hill.

Although external to the Study Areas, the modern civic complex comprises a major city landmark visible from within the Study Areas.

Key views and major and secondary landmarks are shown on Map 2.



- * Landmarks - Major and secondary.
- ⇄ Panoramic Views
- ⇋ Refined street vistas - Elevated
- Street vistas




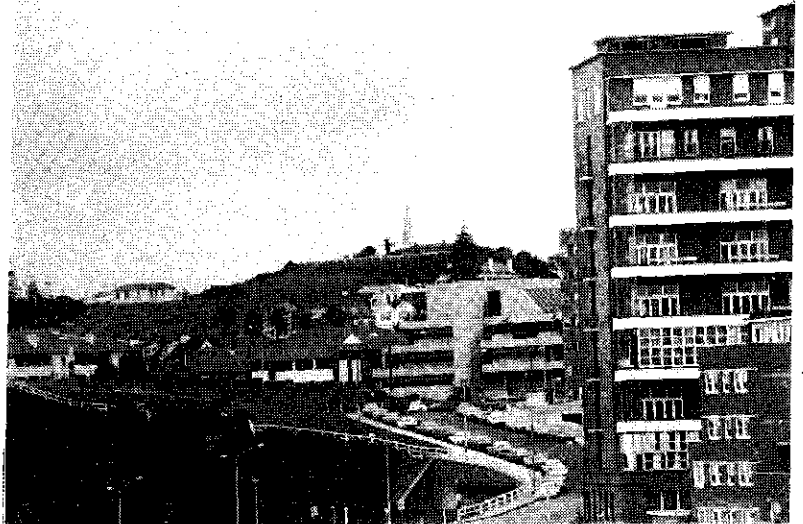
King Edward Park - Norfolk Place and central Broad Street



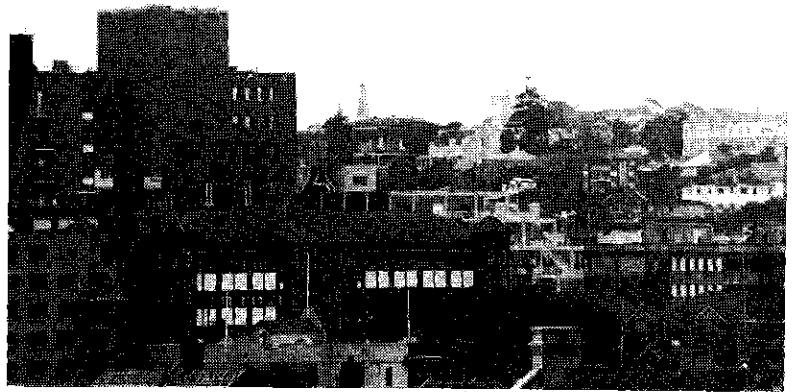
**NEWCASTLE INNER AREAS
CONSERVATION PLANNING STUDY
Views and Landmarks.**

PREPARED BY THE CITY OF NEWCASTLE
IN CONSULTATION WITH THE DEPARTMENT OF ENVIRONMENT AND PLANNING

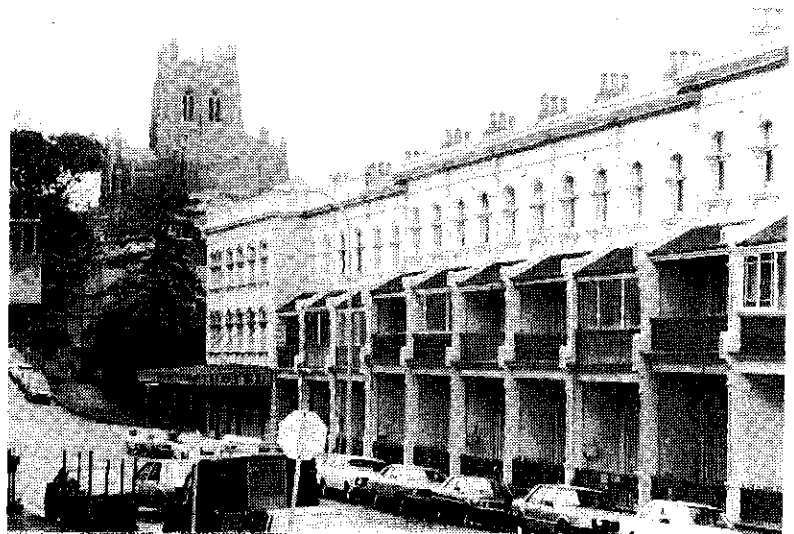




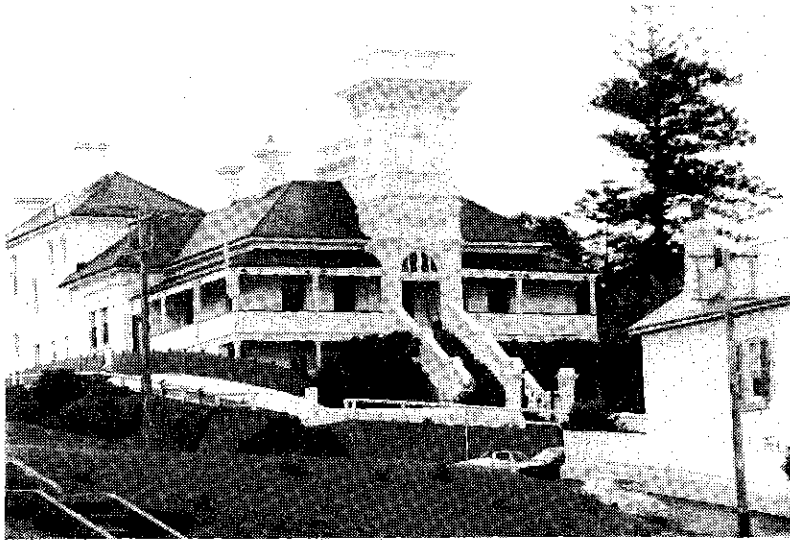
Landmark. The Obelisk. Hospital building in foreground.



Urban Landmarks. Progressive loss of dominance.
The Obelisk and Jefferies House.



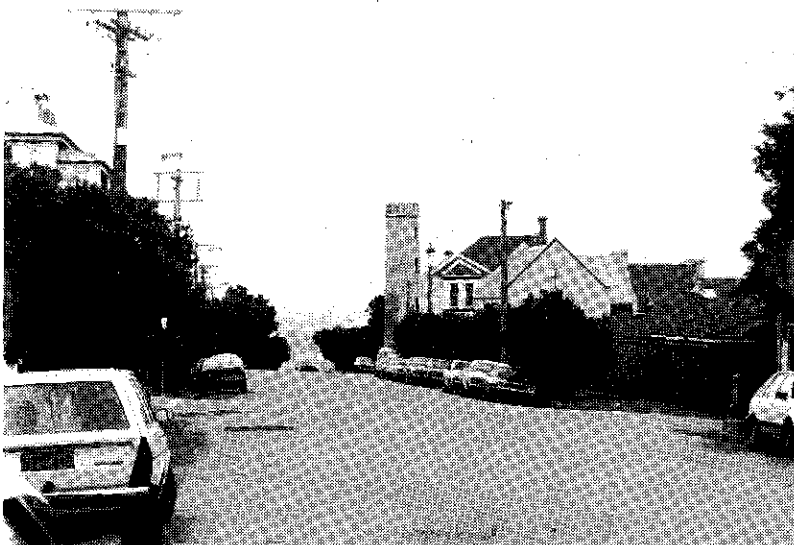
Buchanan Terrace. Church St. Cathedral Tower behind.



Jesmond House - c.1870. Landmark tower.



Landmark - View down Laman St. St. Andrew's Spire and fig trees.

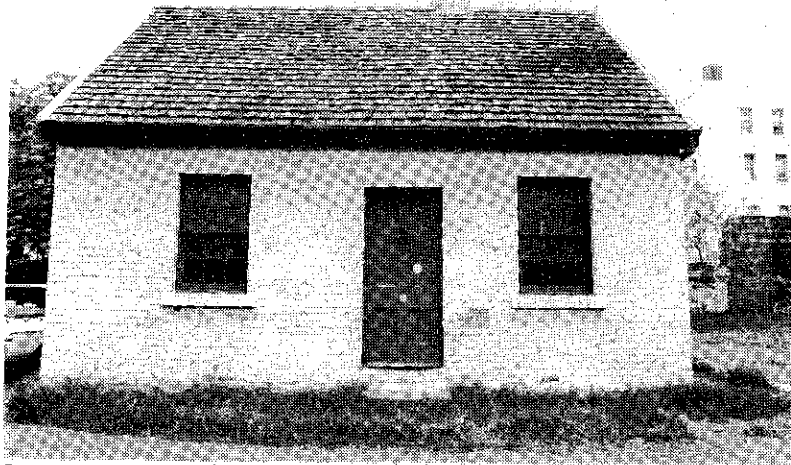


Beacon Tower - Landmark - View along Tyrrell Street.

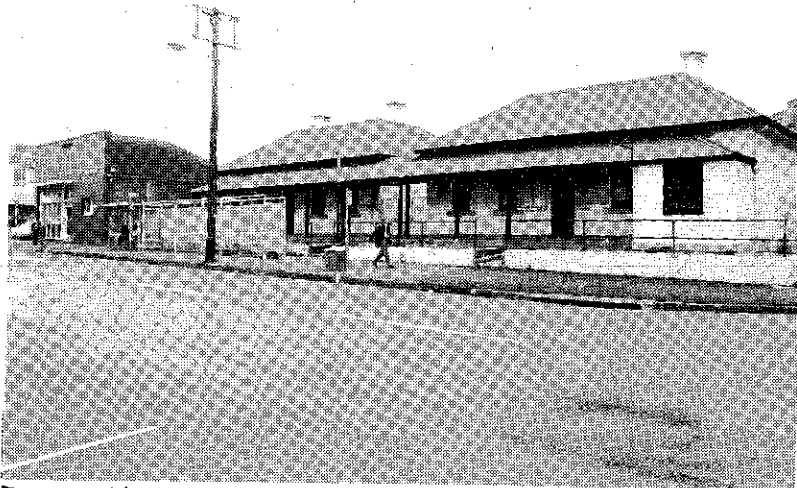
ARCHITECTURAL CHARACTER, KEY BUILDINGS AND BUILDING GROUPS

The considerable architectural heritage of the Inner Areas of Newcastle is a legacy of three principal development phases of the City. Nothing of the initial penal settlement remains and relatively little has survived from the period up till the 1860's when the fast growing local and overseas market for coal led to increased growth. The pre 1860 heritage is one of simple, small scale, symmetrical Georgian or Colonial styled buildings and those within the Study Areas include Toll or Rose Cottage located off Bolton St, military/hospital buildings remaining within the Hospital area off Watt St (former Gate House 1841; Barracks c.1841; former Commandant's residence 1841) and the more generous late Colonial residence "Claremont" built for William Croasdill of the Australian Agricultural Co. (c.1840's) at 42 Newcomen St (note cast iron balcony is a later addition).

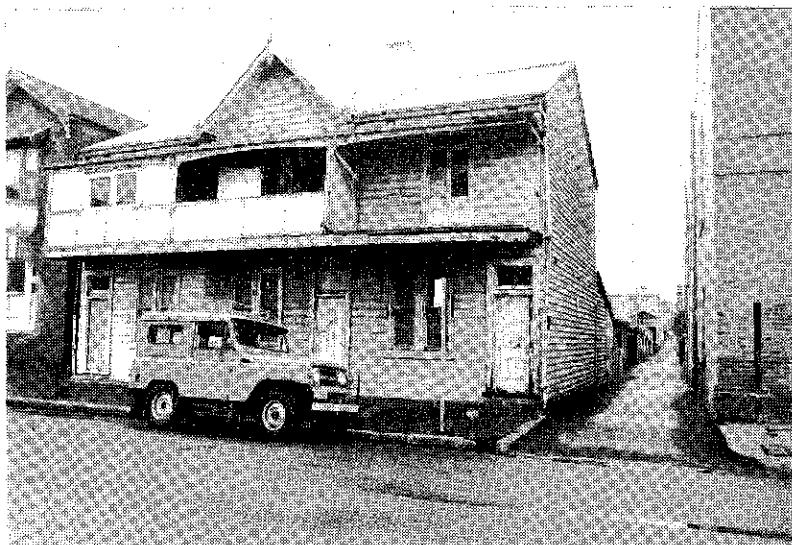
Coal mining effectively created 19th Century Newcastle and the "coal boom" years were to spread from the gold rush period of the late 1850's until the depression of the early 1890's. The prosperous 1870's and 80's saw the construction of many of the fine public commercial and residential buildings which represent the City's Victorian architectural heritage. Elaborate Victorian Gothic, Italianate and Boom Styles are represented together with more humble timber or brick terraces and cottages, mainly found in Cooks Hill and Newcastle East (eg. Alfred St) and elsewhere in working class inner suburbs of Newcastle. Indeed building expansion in the 1880's saw the number of dwellings in the City rise by some 4000 with most constructed in timber.



Rose or Toll Cottage. Georgian style. Isolated architectural value.



Former Newcastle East Police Station. Georgian style.



Timber Terrace. Good example of Victorian timber style. Poor condition.

The most impressive and exclusive residences of this period were located on high land overlooking the harbour, central area or ocean, close to the business heart and relatively free from industrial pollution. For instance the Sydney Mail on 2 March 1878 remarked that

"The immediate suburbs of Newcastle are not inviting and none of the houses very imposing. Perhaps the nicest residences are situated in what is known as The Terrace, which is on a hill overlooking the ocean."

The higher social status of "The Hill" and The Terrace has remained unchanged and major examples of Victorian residential design can be seen along Church St (eg. No. 57 "Woodlands" c.1878 - Italianate; No. 49 "Marlborough House" c.1872/5 - Italianate; No. 80 "Lance Villa" 1890 - Boom Period; No. 88 "Minumbah" - Gothic), in Barker Street (No. 10 "Jesmond" c.1880 - Italianate), the Terrace itself and elsewhere.

The Victorian Gothic form was inspired by the romantic and picturesque and featured mainly asymmetrical plans with high steep gables, Tudoresque chimneys, castellated parapets, elaborately carved barge boards, decorative label moulds over windows and timber finials (eg. No. 2 The Terrace and Station Master's house Scott St). The Italianate style was based on classical notions of grandeur and a typical form is a central or side tower, an arcaded facade and a variety of architectural enrichments including complex window forms from single arches to triple light windows with elaborate mouldings. Other details could include cast cement or stucco ornament for balustrades, urns, masks, mouldings and string courses and cast iron work for balustrades, fences and cresting. In the later so called Boom Period, affluence engendered a form of lavish stylistic licence and features from both main styles could be combined

with more exotic touches such as a Mansard roof, a Flemish gable or Rococo shell decoration, Moorish arches, elaborate window pilasters, parapets of cement balusters and so on.

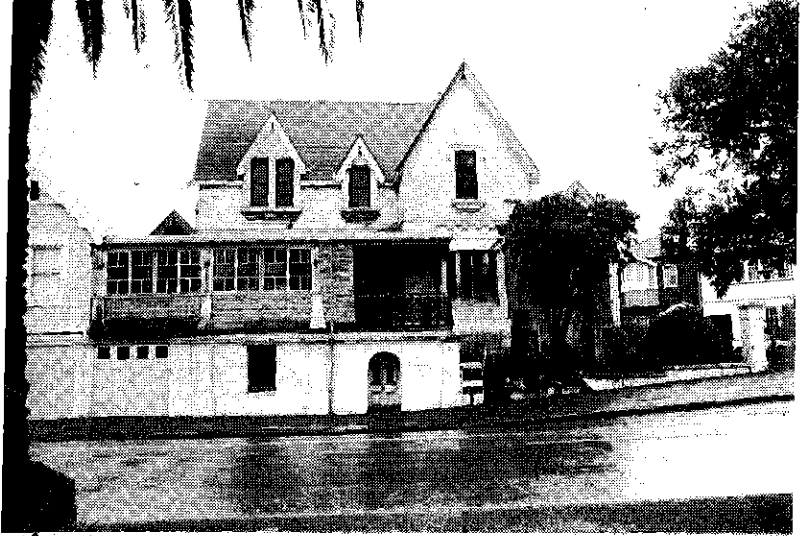
Such a description applies to a number of residences in the Study Areas including "Normanton" No. 37 Dawson St and No. 9 and 11 Bruce St in Cooks Hill, and terrace housing of Church and Watt Sts.

Perhaps the most significant terrace housing groups from the period are 66-78 Church St, 50-62 Watt St and the similar group in Church St, the Tyrrell St terraces at Wolfe St.

A number of key public buildings were erected on prominent sites in this period and substantially influence the urban character of Newcastle today. Two which remain are the fine Classical Italianate Custom's House with its tall clock tower (1876-7) and the Court House (1890) both by the Government Architect James Barnet. The Anglican Church engaged architect John Horbury Hunt to design two churches on The Hill - the Christ Church Pro-Cathedral (1883-6) (today's Grammar School) and the Cathedral itself (1883-1902).

The Victorian period of economic prosperity also produced some important commercial buildings and those remaining in the Study Area today include - the recently renovated Piccardi Centre - King St (1884 - Ireland Bond Store); a four storey restrained Classical building, and the Earp Gillam Warehouse 1888, today in a near derelict condition, overlooking the railyards area.

The Australia wide depression and drought of 1893/4 severely affected Newcastle and effectively ended the City's Victorian building boom. Much land in Newcastle was subdivided during the 1880's and remained vacant until the economy recovered, accounting in part for the varied architectural character of the areas.



N^o 2 The Terrace · Victorian Gothic · Key corner location.



Former Station Masters House · Vacant · Poor Condition.



"Minumbah" · Church St. Fine Victorian Gothic residence. c. 1890



Church St. Terrace Group. late Victorian building group.



Chimney Pots. Townscape details. Church St.



Fine Victorian terraces. Watt Street.

The third principal development phase of the City was based on the use of coal for steelworks. The establishment of Broken Hill Proprietary Co. (B.H.P.) works at Waratah and the opening of the first State Dockyard were largely responsible for the major building boom just prior to World War I. The steelworks became the major employer in Newcastle and rapid population growth particularly between 1911 and 1921 of around 17,000 people (equivalent to 1/3 of the 1911 population) gave rise to extensive suburban cottage building and city infill despite wartime material shortages.

Within the Inner City Areas, the architectural legacy of this period is represented by residential terrace infill or redevelopment (eg. 28-38 Dawson St, 2-6 Parrell Place, Stevenson Place) some individual larger dwellings (eg. Tyrrell St and Barker St), and a number of major public and recreation buildings.

The architectural style is referred to as "Federation" (or Edwardian) and generally encompasses diverse trends such as Queen Anne from which it was largely derived, Picturesque, Art Nouveau, Shingle Style and Arts and Crafts, all prevalent in England or the United States at the turn of the Century.

The "Queen Anne" style originated in England in the 1870's and residences were distinctive with picturesque outline, decorative detail and colour, red bricks for walls, orange marseilles rooftiles, terra cotta cresting to the roof, turned timber decoration painted white for verandah and porch supports and often half timbering with rough cast in the gables. Windows often had stained or coloured glass. The style was simplified and absorbed into much speculative building for "garden city" suburbs across Australia. In Newcastle in 1904 the architect Frederick Menkens built four identical two storey Federation Period timber houses off Church St called "The Boltons", which feature excellent elaborate timber detailing, half timbering and rough cast work, setting the standard for a local timber Federation style.

Public architecture after the turn of the century was also based on English precedent and examples include the Newcastle East Public School (1908-12), Tyrrell House (1920-1) and the Cooks Hill Schoolhouse (1902).



*Segenhoe Apartments
Arch: Emil Sodersten 1937.
Unsympathetic facsimile tile roofing.*

The 1920's and 30's saw further development of the coastal recreation zone for public bathing and tourism and the architectural heritage is represented by the Ocean baths (c.1922 - early Art Deco influences), Nobby's Beach Pavilion (1934 - Classical or Academic Revival with elements of Spanish Mission) and the Early Moderne yellow brick Newcastle Beach Pavilions (under demolition). Other major City buildings from this period include the Newcastle Club by Robin Dods 1921-4 (Academic Revival with American Colonial influences), the Great Northern Hotel in Scott St (c.1938) and the apartment block "Segenhoe" (c.1937) by Emil Sodersten, both fine examples of the 1930's skyscraper or "Jazz" Period Art Deco style.

The most notable contemporary buildings within the area are striking by the use of modern materials in an expressive, technological manner and include the New Med 1 on Hunter St and the Suters residence 87 Wolfe St.

In summary, the architectural character of the Inner Areas is a composite image and like that of other major Australian cities is based on the contribution of major individual buildings and building groups of varied stylistic influences and building periods. In the case of Newcastle much of the Victorian residential and public building heritage remains and is the dominant architectural theme.

Key buildings and building groups are plotted on the Townscape Analysis Maps.

Newcastle, as the second city of NSW, has seen many prominent architects contribute to the built heritage of the city including local architects such as

Castleden, Yeomans, Henderson, Scorer, Pender, Scobie, Government Architects such as James Barnet, Mortimer Lewis, and W T Vernon and visiting architects of the calibre of Horbury Hunt and Walter Burley Griffin. The work of Frederick Menkens however is worthy of separate mention given his unique contribution to the heritage of the City.

Architect Frederick Menkens

Frederick Menkens practiced architecture in Newcastle from 1882 to 1910, was one of Newcastle's foremost architects, a significant figure at the turn of the Century, and left behind an important architectural heritage for the City to enjoy.

Menkens was born in Germany in 1855 and left Europe due to political unrest. Newcastle was experiencing a major economic boom associated with the prospering coal export industry and by 1889 Menkens had established himself as the City's leading architect.

Apparently a dedicated man, and a bachelor for the majority of his life, Menkens lodged at the Great Northern Hotel, was fond of liquor and a dedicated gambler in addition to his qualities as an architect. His obituary in the Newcastle Morning Herald in 1910 referred to him as:

"a notable figure in the daily life of Newcastle for many years, and has left a substantial mark on the City."

Menkens' European training and cultural background is clearly evident in his works which display a measure of the German Romantic Style and in particular, his use and fine detailing of brickwork is highly regarded.

He worked for commercial and pastoral entrepreneurs of the day such as Wood, Dangar and Cohen, completing impressive late Victorian residences, warehouses and a number of major ecclesiastical works.

The most significant remaining buildings designed by Menkens and within the Study Areas include:

- . St. Andrew's Presbyterian Church 1889
(together with the Manse - now demolished)
Cook's Hill.
- . Baptist Tabernacle - completed 1889 Cook's Hill.
- . Earp, Gillam and Co. Bond Store 1888
- . Lance Villa - Church St 1890
- . Cohen Warehouse - Bolton St 1901
- . The Boltons - off Church St 1904
- . Warehouse - Burkes (Wool Exchange) King St
- . Hall Villa (Shalamah) Barker St
- . Keightley Villa - The Terrace
- . House No. 22 The Terrace

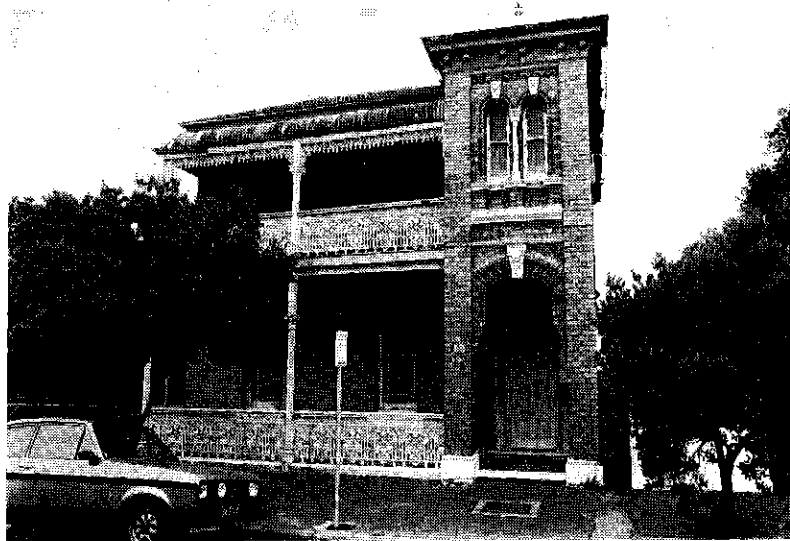
Other major works in Newcastle include:

- . The Longworth Institute; formerly Woods Chambers 1892 Scott St - with its magnificent and fanciful Baroque facade where he had his office.
- . Additions to the School of Arts 1885 (first major work)
- . Fred Ash Warehouse

Generally Menkens work can be considered in two stylistic phases - an early "Decorative Period" including the Wood's Chambers, and a "Commercial - Transitional Period", following his 12 months in prison (in a building dispute with a contractor and subsequent charges of slander, Menkens refused to pay the 40 shillings fine and went to Maitland Gaol 1895/6).

The second phase was based on the need for new commercial buildings following the worst of the depression years. The decorative whimsy of the Victorian years was disappearing particularly in the commercial realm of warehousing. The simplified plain brick wall became the expression and Menken often used contrasting yellow and red bricks as decorative elements.

It is generally held that by 1907 the best of Menken's work had been achieved and he took on F G Castledon as a partner to carry on the work of the firm. The next year Menkens took a world trip, mainly to see his aged mother in Germany and returned to retire and build a house, "The Chateau d'If", in Avoca St Randwick. He died on 10 March 1910 aged fifty four.



Lance Villa · Arch. Menkens 1890.



Earp Gilliam Bondstore · Arch. Menkens 1888 · Neglected state.

3.2 NEWCASTLE EAST - TOWNSCAPE ANALYSIS

LOCATION

Newcastle East is situated immediately east of the central area of Newcastle, and encompasses all land east of Watt St including Nobby's Head.

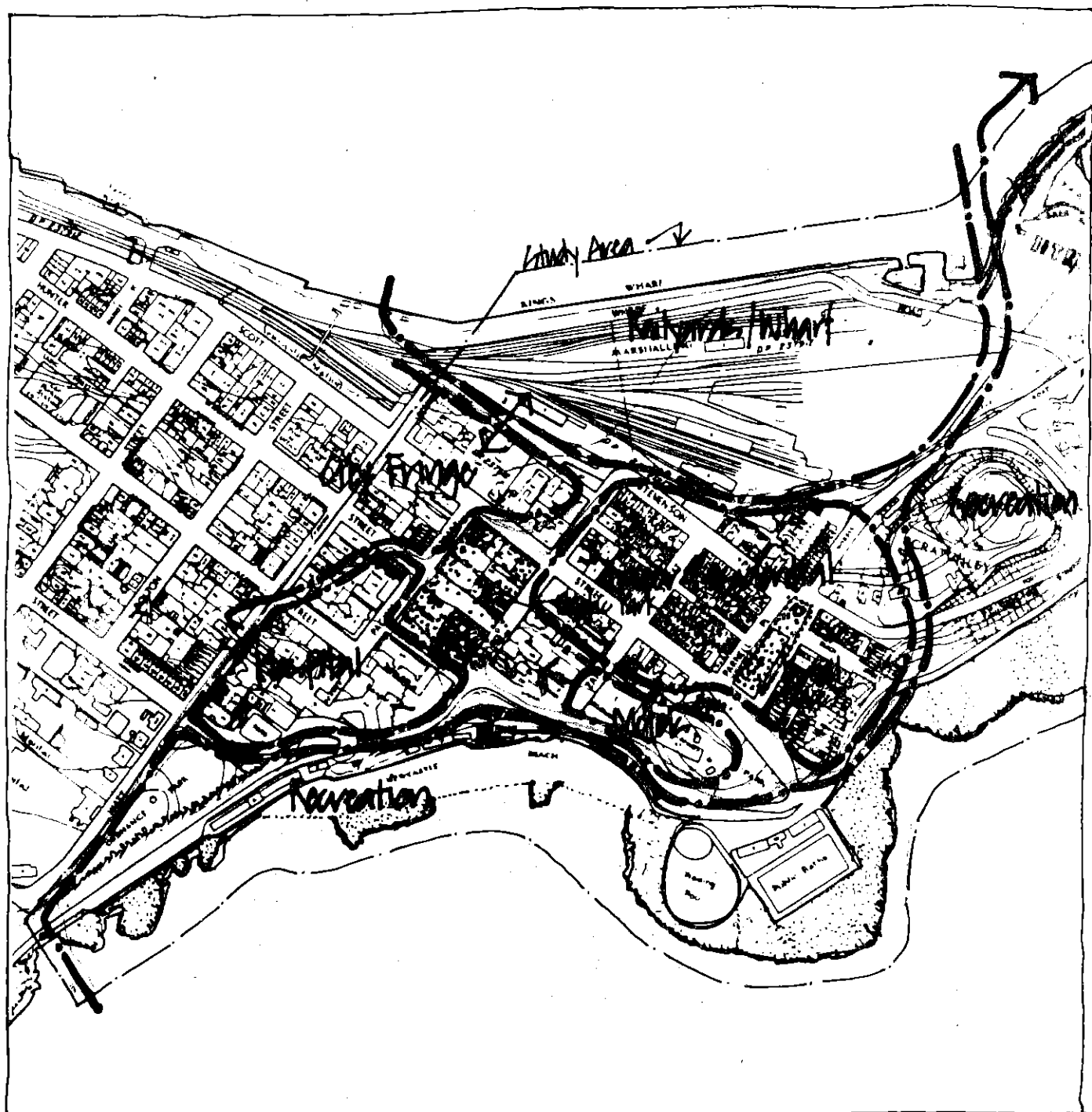
DESCRIPTION AND CHARACTER

Today's Role

Newcastle East provides a number of city functions, including residential, hospital, recreation, tourist accommodation, central business fringe and railyards/waterfront uses. (Refer Diagram 3).

The residential area is a distinctive, centrally located precinct of largely late Victorian terrace housing which has experienced some environmental neglect in past years and today shows signs of individual owner and public authority renewal. The Newcastle Royal Hospital occupies a large area to the south-east, is intensively developed and a major generator of traffic and activity.

Recreational resources include Newcastle Beach and Nobby's Beach, both heavily used in the warmer seasons. Fort Scratchley is a major city tourist attraction and Pacific Park is currently being developed for passive recreation and as a pedestrian and open space link between the City and beach areas. Tourist accommodation is in the form of three major hotel/motels, the Travelodge and Telford located on high land above Newcastle Beach and the Novacastrian facing Parnell Place. Some extension of city business uses is centred on Watt and Hunter Sts with offices, small commercial and hotel (Great Northern) uses.



Newcastle East. City Functions/Land Use Pattern.

Diagram 3

A substantial area of land is occupied by the State Rail Authority to the north of the Study Area and includes the marshalling yards, the site of the Old Zaara Street Power Station (now removed) and land and buildings adjacent to the Custom's House, now partially blighted and derelict.

The future use of this land was identified in the winning "Newcastle Foreshore Landscape and Urban Design Competition" as relatively low density residential together with recreational open space.

Brief Background

Newcastle East is intimately associated with the discovery of the Hunter River, the discovery of coal and the founding of the City. Lieutenant John Shortland camped near the site of the Old Zaara Street Power Station in 1797 and found coal at Flagstaff Hill. The first permanent settlement of 1804 consisted of the military establishment, the gaol, coalmine and associated buildings a number of which were located in todays Newcastle East. In 1823, the Government Surveyor Henry Dangar prepared the first City plan and designated all land east of Pacific St for public purposes. The "Plan of Allotments in King's Town 1828" shows this open land with the early Fort on Flagstaff Hill and the Gaol on the site of todays Travelodge. A post 1830 plan also shows the Hospital at the base of King Street and Salt Works at the eastern extremity of Scott St.

Newcastle East was originally known as the "Sand Hills" and the prescence of troublesome sand dunes undoubtly influenced Dangar in his planning decisions. Over the intervening years land in Newcastle East has been progressively alienated for commercial, industrial and residential purposes. Land subdivision first extended beyond Pacific St in 1848 and 48 blocks were sold (area of Parnell, Stevenson, Zaara, Scott and Telford).

Initial development of much of the land was not commenced however until 1874 with the Lambton Coal Mining Company levelling the dunes and stabilising the land surface. By 1876, building had commenced and by the 1880's substantial "villa" residences had been erected.

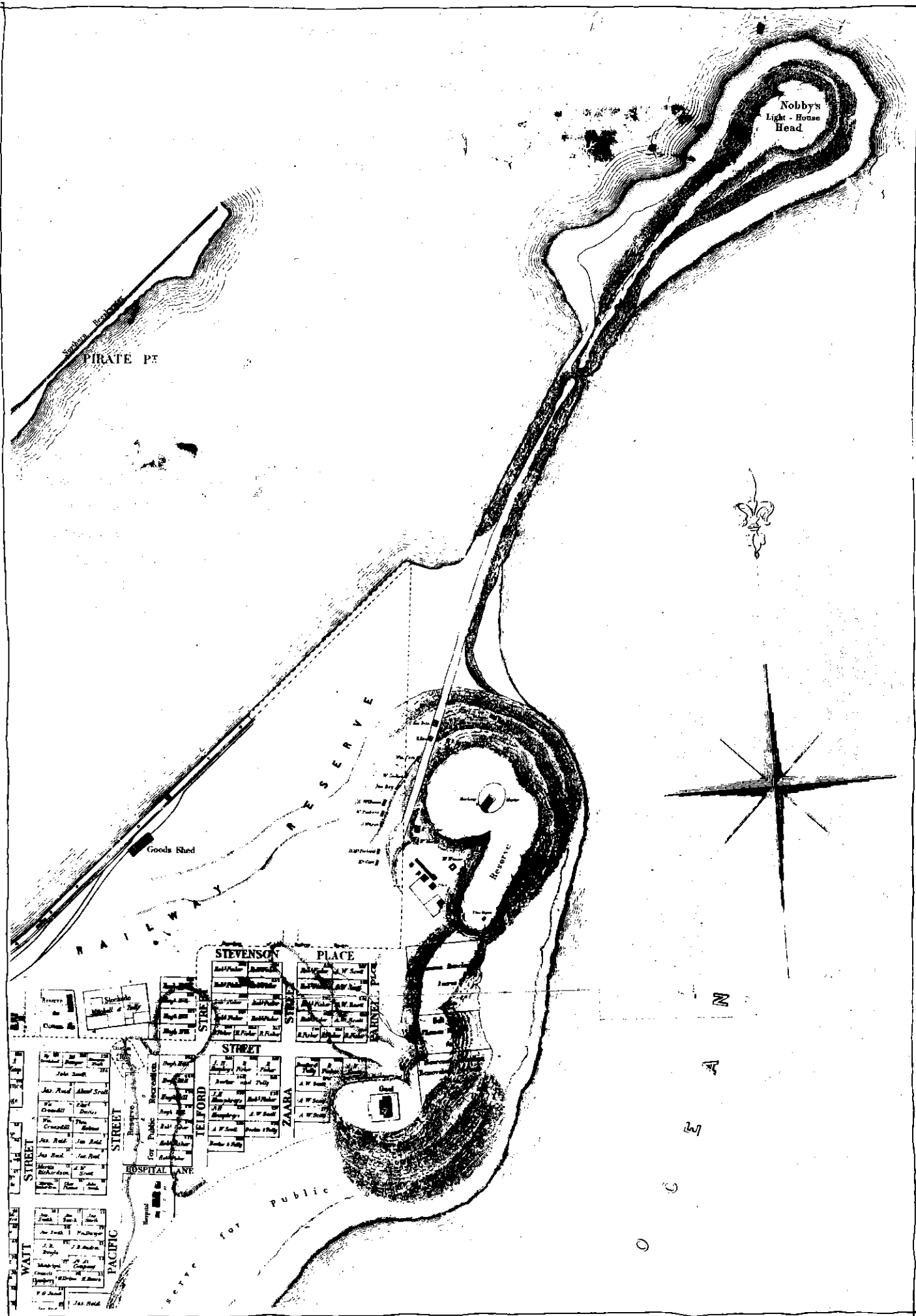
Port and associated rail activity has exerted a considerable influence on the development and character of Newcastle East, although these activities have decreased substantially in recent years. By the 1860's Newcastle was exporting coal to San Francisco and to the steamships of the British Admiralty, quite apart from demand from Sydney. The level of exports substantially influenced port traffic. In addition, the Hunter River rail line brought general cargo, and port safety was improved with the building of breakwaters north and south of the river mouth. The Port handled most of the movements of people and goods up until the completion of the rail link to Sydney across the Hawkesbury River in 1889 and until this time Newcastle prospered with population quadrupling between 1861 and 1881, and almost doubling again in the next decade. Remaining Bond Stores, large marshalling yards, railway buildings and residences of boat and rescue crews are evidence of the essential linkage between the area and commerce.

Landform

Newcastle East is situated on the end of the raised peninsula between the sea and the mouth of the Hunter River. The major dominant landforms are Flagstaff Hill (Fort Scratchley), Nobby's and the steep ocean cliffs mainly below Ordnance Park (Fletcher) and King Edward Parks. Land rises from the flat marshalling yards next to Kings Wharf to the other high points of Ordnance Park and the knoll on which the Travelodge is sited, south of Parnell Place. Rugged cliff areas exist between Ordnance Park, King Edward Park and around the base of Fort Scratchley and together with beachfront and exposed rock platforms, contribute to the changing landscape character.



Plan of Newcastle 1846-1850. Portion of Plan showing Newcastle East. Note Grad, Galt Works, Lookout w.c.s. Reference to fence and road buried.



Plan of the City of Newcastle. 1873. Newcastle East.

Landscape and Open Space

The southern and eastern beach and cliff areas are a major element in the townscape character of Newcastle East and an important recreational resource for the City. The beach areas contrast with the inter-tidal rock platforms, steep cliff faces and the abrupt changes in elevation along beach access roads provide a variety of vantage points for fine coastal scenic views.

Newcastle beach facilities are currently being redeveloped with a new pavilion, linked by a pedestrian underpass to Pacific Park. The building is well sited and provides a relatively unobtrusive backdrop to the beach and promenade areas. The two "Early Moderne" yellow brick pavilions show signs of structural instability and are to be demolished. Of some townscape interest is the stone and tiled arched shelter (c.1916) along the pedestrian concourse and the early recessed shelter adjacent to the Ocean Baths.

The streets and open space areas are generally devoid of vegetation. Ground cover is evident on some cliff zones as well as low maritime shrub species in underdeveloped river mouth areas (Horseshoe Beach).

Pacific Park retains a line of fig trees and a few Norfolk Island Pines survive in Parnell Place. Photographs from the 1950's show the line of Norfolk Pines along Watt St bordering Ordnance Park. Today they have disappeared and some of the pines in King Edward Park show signs of deterioration. Minor footpath native shrub planting which has occurred in some residential streets (eg. Stevenson Place) is owner instigated and hence inconsistent in character.

Apart from the beach and rock platform areas the principal open spaces are Pacific Park, Parnell Place and Ordnance Park (Fletcher Park). Pacific



Fletcher Park. c.1940's.

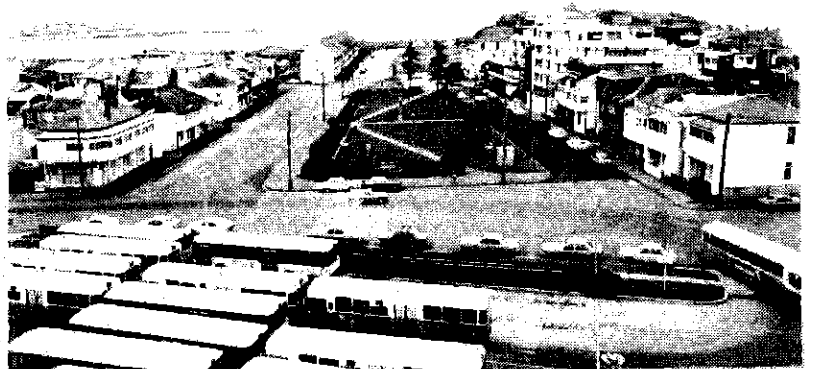


*Pacific Park - View from Hunter St.
to Tyrrell House facade.*

Park is currently being developed as a link between the city and beach. The site was created by the closure of the eastern end of Hunter St, the closure of part of Telford St and the removal of a number of buildings including the "Wombah Flats" designed by Menkens in 1905. The scheme provides for a major pedestrian concourse on the Hunter St/Tyrrell House axis, protective earth mounding and planting and a landscaped water feature. The early Georgian style Police Station buildings facing Scott St are to be retained.

Parnell Place is located at the eastern end of Scott St. The central open space is bounded by roads and the internal layout simply reflects pedestrian desire lines with paths bisecting areas of irrigated grass. Vegetation is low perimeter planting with the exception of the three Norfolk Island Pines to the north east corner. The Coal Monument and the column from the Old Courthouse are located within the space.

Ordnance Park (or Fletcher Park) is located immediately south of the hospital area on high land, is relatively undeveloped with open grassed areas, paths and unprotected sitting areas. The central feature is the Fletcher Monument erected in 1897 by public subscription to commemorate James Fletcher, "the miner's friend".



Parnell Place - Bus Depot in foreground.

VIEWS AND LANDMARKS

Panoramic views are available from Fort Scratchley over Nobby's, the City and ocean beaches. A number of interesting street level views focus on individual buildings of architectural merit such as views across Pacific Park to Tyrrell House or on the Port activity such as views down Watt St which include the towers of the Customs House and T & G Building. Views along Stevenson Place focus on the Coal Monument, those along Bond St to the NBC building, and at selected elevated points views are available over the marshalling yards to the river.

Principal landmarks are clearly the walls and buildings of Fort Scratchley high on Flagstaff Hill, the form and buildings of Nobbys Head, the Customs House and T & G building towers, major notable buildings such as the Beach and Ocean Bath Pavilions and secondary points of reference and interest such as the Coal Monument.

The Light House on Nobby's Head was completed in 1858 and is a relatively small, simple sandstone tower with a twelve sided glass and metal lantern capped with a ventilating finial. The Nobby's Lighthouse replaced a coal fired beacon, (used to to guide mariners), on Beacon Hill (Fort Scratchley).

The original light-keepers quarters on Nobby's Head were removed in 1935 with conversion to automatic operation. Today unsympathetic sundry red brick buildings detract from the lighthouse site and diminish the heritage and aesthetic value of Nobby's Head.



View up Bolton St. Terminated by Court House.
Former Olympic Hall 1880 on left.

URBAN AND ARCHITECTURAL CHARACTER

The built character of Newcastle East varies from small scale residential to intensive urban and can be analysed with respect to the broad land use areas previously identified ie. inner residential, hospital, recreation, tourist accommodation or motel, central business fringe and railyards/water-front areas.

Residential Area

The inner residential area is clearly identifiable, being surrounded by larger scale urban development of non-residential uses or by open space/marshalling yards. The fabric is small scale urban terrace housing set out on a regular grid pattern with a clear hierarchy of roads, particularly evident in the blocks west of Parnell Place. Stevenson Place, Scott and Zaara Sts are the principal wider roads with Alfred St internalised and substantially narrower. Each block has a narrow rear access service laneway initially required for night soil collection. Larger, more substantial residences, semi-detached or terrace houses are located on external streets with more humble artisan terrace housing accommodation to Alfred St.



Rear lot alley. Newcastle East.

The residential zone continues to the east of Parnell Place and to some extent crosses Scott St to include a few remaining early buildings and the new infill Housing Commission townhouses. A number of corner stores operate and the "Carleton" on the corner of Scott and Zaara Sts is a key building in the streetscape although it shows signs of neglect.

Generally the architectural character is small scale, narrow frontage, largely two storey duplex or terrace housing of diverse stylistic influences but mostly late Victorian and Federation.



Building Detail - Stevenson Place



Terrace Housing - Typical form.
Photo. 1956. Ronald Mendelsohn. From:
J.C. Docherty 'Newcastle - the making of
an Australian City.'

A number of impressive residences were erected in Stevenson Place overlooking the harbour and remain today in various states of repair and stages of neglect. Architectural styles are mixed including some fine late Victorian dwellings (29 and 33 Stevenson Place), transitional Victorian or Edwardian terraces (Pembroke Terrace c.1900) and Federation types (1-7 Stevenson Place, 41-47 Stevenson Place and 2-6 Parnell Place). The simpler brick single storey pair of cottages (No. 2 and 4 Stevenson Place) with the charming names of Elseelee and Risolette, the Cohen Bond Store and the Earp Gillam Bond Store, together with remaining stone kerb and guttering, contribute to the townscape appeal of the street and the area as a whole.

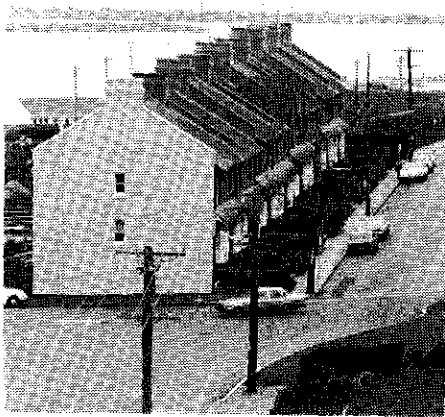
In contrast to Stevenson Place which is relatively open due to vacant sites on the north, Alfred St is a narrow, defined, more intimate streetscape with near continuous rows of simple two storey brick or timber Victorian terraces with upperstorey balconies. The exception is the Georgian style single storey cottage No. 14 Alfred St.

Much of the character evident today is due to progressive individual owner adaptations of dwellings, especially balcony enclosures and front additions, generally of an unsympathetic nature and often of poor quality. There is evidence of physical deterioration and building dereliction together with obvious renovation/restoration works. It appears that the area provides for low cost rental accommodation and recent property trends have seen real estate values rise dramatically.

The streetscape is one of a near continuous building line on the footpath and as such the nature and quality of front fences becomes important. A few original cast iron fences and gate posts remain, but more commonly eye level brick fences have been erected.

The housing area across Parnell Place contains similar housing stock and again its heritage value suffers from low quality, disparate front facade enclosures and additions as well as recent incompatible new development. The row of Victorian terraces high on the cliffs south of Fort Scratchley are perhaps the most notable building group. Unsympathetic infill housing has also occurred in Stevenson Place, behind "Boatman's Row" and along Scott St in the form of three storey brick flats.

Situated on Nobby's Road below Fort Scratchley is Boatmans Row, a terrace of housing believed to have been constructed in 1892 for the men of the life boats. The terrace is a long, typically English row of 2/3 storey dwellings and is important in its relationship to Parnell Place and with the maritime heritage of Newcastle.



Boatmans Row.
Parnell Place and Coal Monument

Hospital Zone

The Newcastle Royal Hospital occupies significant areas of land separating "The Hill" from Newcastle Beach. An agglomeration of buildings of various periods, it is an intensively developed, built-up area of two to four and up to ten storey buildings, generally concentrated on high land above Newcastle Beach dominating and overshadowing the beach landscape.

The view from "The Hill" down King St is closed by the various buildings which make up the hospital complex the more notable being the 1914 north wing, in the Federation Style off Pacific St and the 1950's high "Moderne" horizontal slab Y-block by Stephenson and Turner Architects. The New Clinical Sciences Building New Med 1 contributes its contemporary "hi-tech" image to the diverse set of buildings which comprise the precinct.



Victorian Terraces. High on cliffs above Ocean Baths.



Parnell Place. View east. Scale of housing area lost by Travelodge.



The Column. Parnell Place. In sympathetic renovations of adjacent housing stock evident.

Recreation Zone

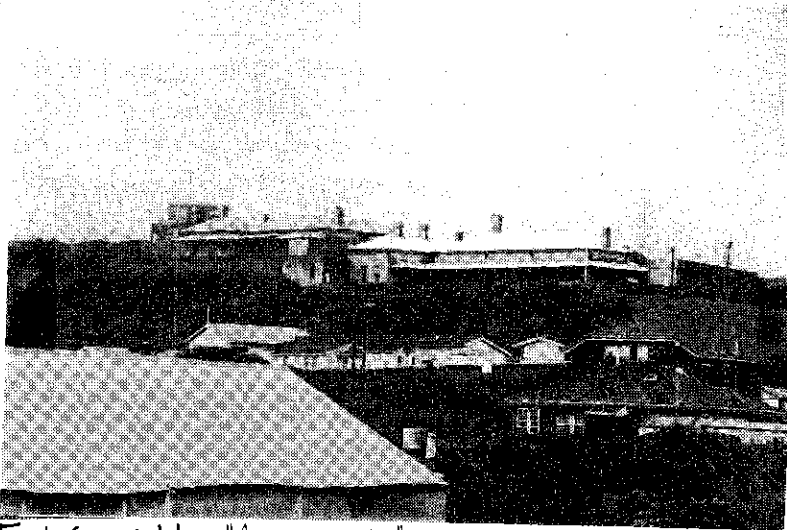
This encompasses beach areas, promenades, rock platforms, swimming baths and the Fort Scratchley Museum. The surf beaches and public bathing facilities have been and remain an essential part of the Newcastle East character. The beach and bath pavilions are familiar architectural forms of the past and are considered important heritage items. Nobby's Beach Surf Pavilion was designed by the local architect, F A Scorer, built in 1934 in the Classical Revival/Spanish Mission Style with red tiled roof, white painted rendered walls and colonaded verandah.



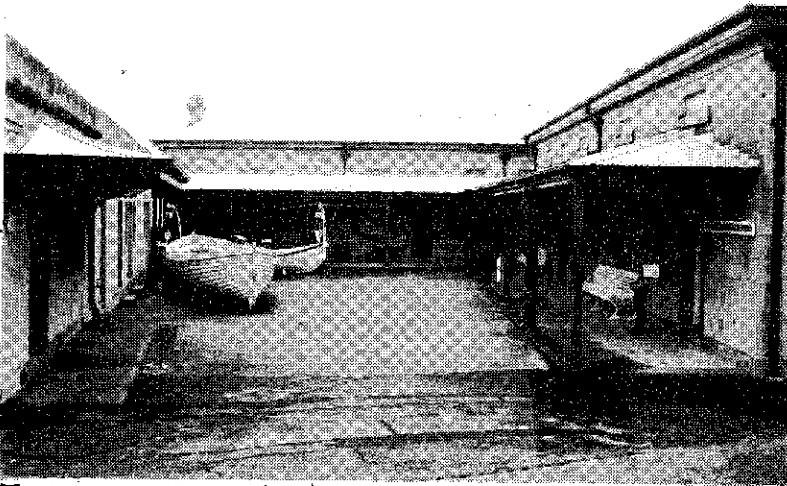
*Ocean Baths.
In need of restoration work.*

The Ocean Baths, modelled on English precedent, were constructed in 1922 in the heyday of enclosed swimming and feature a high, Art Deco facade now in need of repair. The adjacent wading pool known as the "canoe pool" was designed for children and features a large map of the world on the pool bottom. In addition to these facilities, ocean baths now called the "Soldiers Baths" were formed in 1883 by a half oval sea wall on the tidal rock platform. The baths were built to protect residents from attacks by "voracious fish", Marine Drive was constructed to provide access and bathing sheds erected. Today the baths are not readily evident but they may be recovered.

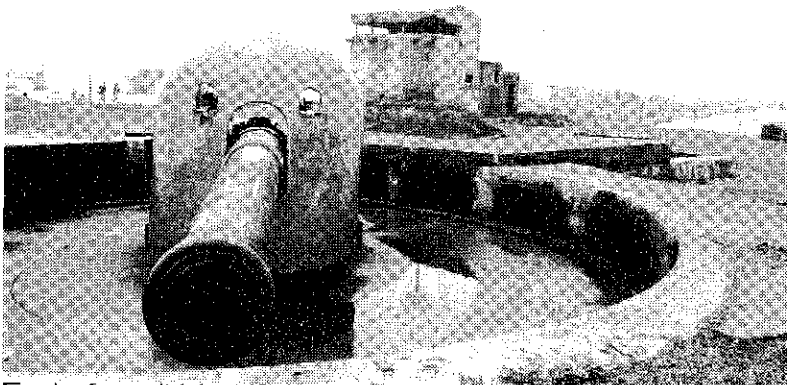
The remaining major site in this zone is Fort Scratchley commanding an acropolis-like site on the peninsula of Signal Hill above the city. Signal Hill was the site of Newcastle's first coalmine, the primary resource of the fledgeling settlement, the site of the first navigational aids and the first and continuing site of garrison and battery including "Fiddlesticks" and Fort Scratchley. In terms of military history Fort Scratchley was a significant part of the anti-Russian defences of the Colony and survives as a concentrated example of changing military history. The existing fortifications began in 1880 and the barracks completed



Fort Scratchley. "Acropolis-like" cutting above city.



Fort Scratchley. Building courtyard.



Fort Scratchley. Guns and Pill Box.

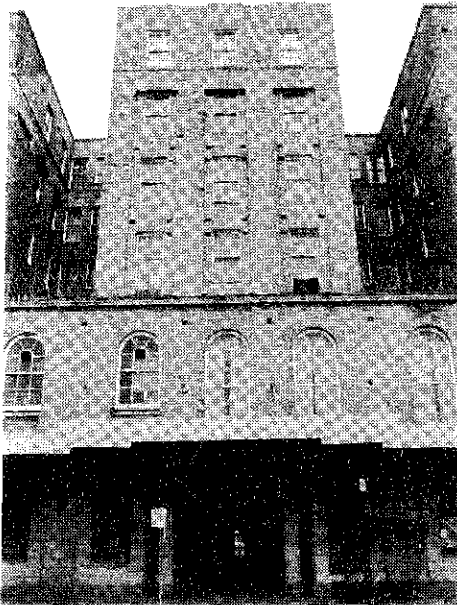
in 1886. Additions were made over time and the Fort saw action in 1942 against a Japanese submarine. The site and buildings today are a maritime and military museum, and constitute a key historic site and their conservation and enhancement are essential.

Hotel/Motel Group

Two major motels occupy geographic and visually prominent sites in the east and together with the hospital buildings, form the high building wall above Newcastle Beach. The buildings have radically altered the urban profile of the peninsular, overlook the residential areas and do not contribute to the visual quality of the area. In particular large brightly painted advertising should not be permitted on the top of seven storey buildings. The third motel, the Novacastrian, fits more sympathetically into the urban pattern and overlooks Parnell Place.

Central Business Fringe Area

The eastern edge of the central business district extends into the area along Hunter, Scott and Watt Sts. The area is partially blighted and is experiencing some redevelopment. The principle areas of townscape interest and heritage concern focus on land north of Scott St. The setting of the elegant Classical Customs House (James Barnett 1876-7) is compromised by service station uses, vacant sites and deteriorating historic buildings. The Railway Pay Office (c.1890) in Bond St is in poor condition, the former Station Master's House, a fine Gothic villa is vacant and in semi-derelict condition and the additions to the facade of the former Sailor's Home (c.1882) in Bond St conceal its historic and architectural value. Vacant sites within the block, together with the Earp Gilliam Bond Store (1888), await more favourable economic times for development.



Great Northern Hotel

The Art Deco styled T & G Building (1922/32 by Architects Spain and Cosh), with its layered clock tower and the former Sun Building in Hunter St contribute significantly to the townscape appeal of the area and have recently been freshly painted to highlight their architectural detail. The Manufacturer's House, National Bank and Commercial Chambers buildings are notable while the Great Northern Hotel (1938) is considered to be a good example of the fashionable inner city hotel of the 'early moderne' or 'jazz style' era with its Art Deco foyer largely intact.

Railyards/Waterfront Area

The railyards today are underutilised and clearly detract from the environmental and historic quality of Newcastle East. This large expanse of flat land accommodates rail storage, rolling stock and considerable numbers of commuter car parking. Parked cars stretch along Wharf Road.

The river edge consists of large stone boulders and dumped fill material and is generally unattractive for public use. Tug wharves are located along the length of Kings Wharf establishing the maritime character, while the Pilot Station stone quay, generally hidden from view, is of heritage interest. Excellent views of the city skyline are available from Wharf Road.

Other Townscape Details

Few early street and beach promenade details remain. The occasional lamp standard from the 1930's, good concrete bollards north of the Ocean Baths and stone kerb and guttering are important details which should be retained and/or used as models for future works.



Customs House. Arch. James Barnet (c.1876)
Elegant Victorian Classical public building.
Appropriate civic character.
Decorative brick arches and carved stone capitals.
Hint of Venetian architecture. Impressive landmark clock tower.

Partially blighted site detracts from historic and environmental character of City area.
Major heritage items under threat include Station Master's House, Bay Office and Bond Store. Poor additions to former sailors' Home.

Wharf area. Road lined with cars. Large tug boat mooring gives maritime character.
Low quality river edge.

E7
Stone Boat Harbour 1860s/70s.
Contained within Pilot Station
Marshalling Yards. Underutilised large flat area. Rolling stack car park service sheds. Subject to "Foreclosure Competition".

Nobbys Beach Pavilion. 1934. Arch. F.A. Scorer.
Important location and local landmark building.
Academic Revival/Spanish Mission influences with arched colonnade, small pane windows, rendered and painted brickwork.

Nobbys Lighthouse. (off ramp) E1

E12
Stevenson Place.
Excellent Victorian/Fed. streetscape. Later terrace with upper balconies.
Parramore Terrace and N°29 Key buildings.

Fort Scratchley. Acropolis like aspect. High on Flagstaff Hill. Key historic site and building group. Detracting low grade perimeter buildings.

E2 Soldiers Pool.

E30
Great Northern Hotel. 1928.
Excellent example of luxury inter-war City hotel. Art Deco influences and interesting period interior. Replaced earlier Victorian hotel.

Tacy Buildings and Tower. 1922/23.
Layered Art Deco corner tower. Recent colour scheme not original (was white) but provides high interest in streetscape. Twin building facade similar.

NewMed. Modern "Hi-Tech" infill. Appropriate form within approximation of Hospital building.

Council Chambers. 1964.
Fine view down Watt St. Minutiae by towers.

Mad's Moderne Pub.
Form fits part of building wall. Urban landscape collision with ocean zone.

Fletcher Memorial. Open space. Exposed. Views over ocean/beach.

Beach recreation zone. Undergoing redevelopment. Early "Madame Tavi" to be removed. New pavilion well sited and linked to Pacific Park by underpass. Few remnant townscape features or details from Victorian/Edwardian days.

Earl Gilliam Bond Store 1888

Colony Bond E14

Bootham Row 1850. Terraces. Key building

New Infill Housing Commission

Key facade 1921.
Vacant site

North Wind 1914

Newcastle Beach

Ocean Baths. 1922. English influences/Art Deco flat front facade. Needs restoration and removal of detracting front awnings. Key building in beach recreation zone. Unique public bathing facilities in conjunction with Carolee Pool.

Inner Residential Core. Important relatively intact subdivision and residential area. Rear lanes and close knit fabric with excellent examples of late Victorian villas and terraces, more humble brick and timber tenements (Alfred St.) and Federation housing infill. Consistent streetscape worthy of conservation. Some unsympathetic building modifications and evidence of neglect. Corner shops remain and relationship to Farnell Place and The Carillon important.

Residential area overlooking ocean and facing Farnell Place. Less intact than other area but similar architectural character. Intrusion from contemporary low quality residential and by motel. Prominent Victorian terrace on cliff top.

- Listed Buildings - Home (see Inventory)
- Contributing Elements
- ▨ Detracting Elements
- ⊞ Key Building Groups or Areas
- ✳ Landmarks
- ← Important Views

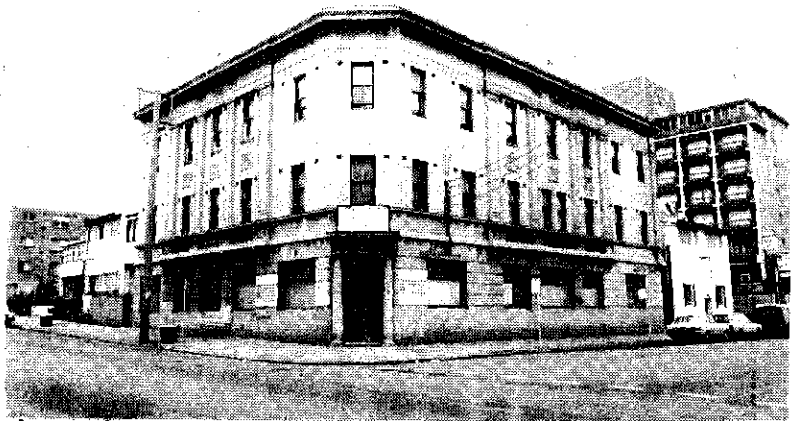
NEWCASTLE INNER AREAS CONSERVATION PLANNING STUDY
Newcastle East
Townscape Analysis

AREAS OF CONCERN



*Poor Building Condition.
Victorian detailing evident.*

- . The major area of concern relates to poor or low quality residential building modifications, the alteration of period detail and the gradual erosion of historic character by mis-informed individual actions or by neglect.
- . The poor and deteriorating condition of major heritage items adjacent to the Customs House along Scott and Bond Sts.
- . The adverse environmental and visual impact of the existing transport facilities adjacent to Parnell Place.
- . Given the recreational and historic importance of beach front areas and the current redevelopment of facilities, there is a need for a quality urban design and implementation scheme which recognises the major elements and presents them along an upgraded pedestrian promenade system. It is noted the Council is responding to the task with works on the Ocean Baths Building and the Canoe Pool.
- . Dominant "wirescape", evident in some areas, particularly along the Nobbys peninsula, and the inappropriate nature of development on Nobbys.
- . The accumulated affect of individual shrub street planting in pavements.



The Cavlestan - Scott St. Key building on corner site. Neglected

3.3 "THE HILL"

LOCATION

Immediately south of the Central Business District of Newcastle "The Hill" comprises a large area of elevated land bounded to the north by King St, to the west generally by McCormack St and the Terrace and the east by Watt St.

DESCRIPTION AND CHARACTER

Present Day Role

The area contains a variety of land uses with the main elements being residential, government services, ecclesiastical, educational and open space. The Christ Church Cathedral is centrally located, central business uses extend along King St, while the Grammar School and Newcastle East Primary School are also located within the area. Government uses dominate the south eastern sector (psychiatric hospital/police/courthouse) and business office uses, the north east sector. Residential uses are scattered within this context while King Edward Park occupies the southern half of the Study Area.

Brief Background

Dangar's Plan of 1828 extended from the Hunter River to Church St and from Pacific St to Brown St. Plans show land above Church St used for a parsonage and the Commandant's Residence, and coal mining - the Australian Agricultural Co. coal grant. This land was not released for development for some time and "The Hill" remained sparsely developed until the 1870's. The prosperity of the coal trade and the commercial port activity following the building of the railway to the Hunter Valley (Maitland 1858, Singleton 1863) which eclipsed Maitland's Port of Morpeth, saw "The Hill" become established as an

in the Victorian era, with many fine mansions and terraces being constructed in the 1870-1890's. A number of warehouses remaining in King St also testify to the city's role as a port. However it is the large ecclesiastical buildings of last quarter of the 19th Century that today dominate the townscape of "The Hill".

Natural Features

Topography is one of the key elements influencing the townscape character of "The Hill". Land rises steeply from the city area particularly from King to Church St and continues to rise to Tyrrell St. Land falls to the east and west of the broad ridge which connects Obelisk Hill and the Cathedral site. To the south, land falls away to ocean cliffs and the major valley in King Edward Park.

The dominant landform of "The Hill" has provided the setting for major buildings, attracted the residences of the wealthy and necessitated in some cases, the staggered development which gives rise to much visual and streetscape interest. The landform permits excellent long views to the north over the harbour and the majority of major residences were located to take advantage the aspect and views.

Landscape and Open Spaces

The principal landscape influences are the remaining street trees, so evident in an otherwise sparsely planted street system. The character of planted streets varies considerably with the range of trees planted. The western end of Tyrrell St is relatively protected from adverse weather and this has permitted the establishment and growth of large fig trees planted in the pavement which today form a street canopy and avenue. Brown and Perkin Sts have a distinctive vegetated character (Brush Box) which combined with street grades and early housing stock provides a streetscape of high interest.

Norfolk Pines are planted extensively in King Edward Park and dominate the landscape character of the southern portion of the Study Area. The evident deterioration in the condition of the Pines is typical of areas with Norfolk Pines along the eastern seaboard of Australia. The row of date palms planted along The Terrace is also a distinctive landscape element of the Park.

The major open spaces have already been mentioned. In addition to these the Church Walk area provides a pedestrian link from Church St down to King St and is a pleasant secondary park area with a terraced walk, some sitting areas, and exotic planting.

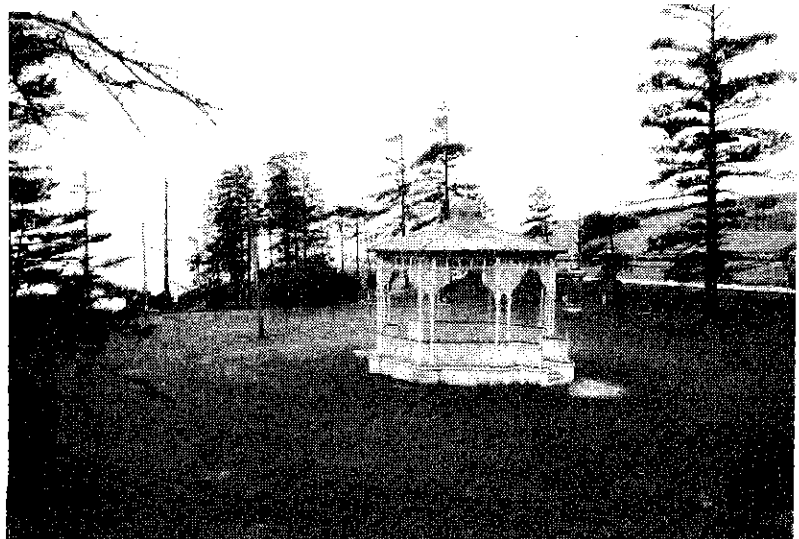
The grounds of Christ Church Cathedral constitute a potentially valuable open space resource for the City, although they have suffered some unfortunate design and siting actions, including the unsympathetic removal and relocation of monuments from the cemetery, the inappropriate water and rock "features", and the carpark with exposed chain wire fencing to the rear of the Newcastle Club. It is believed that a landscape master plan has been proposed by professional consultants for this important site and implementation is recommended.

The Reserve road bisects the Obelisk open space and the King Edward Park. The former area contains a reservoir and tennis courts as well as the landmark monument.

King Edward Park, originally known simply as the Reserve, is a fine example of a Victorian open space developed for promenade activity and floral display. It is a coastal park of some 38 acres and its public use dates from 1856 when it was first proclaimed a recreation reserve. The land was originally part of the coal grant made to the Australian Agricultural Company in 1827. The reservation of the land has been attributed to the efforts of Newcastle's first Chamber of Commerce.

and "The Upper Reserve" as it became known was popular for recreation activities such as bowls, lawn tennis, leisurely walks or promenading and swimming at the Bogey Hole. The Reserve also served as a sportsground in the 1890's. In 1890 Alfred Sharp prepared a landscape plan for the Park which provided for a bridge, latrines etc. In 1894 an additional 49 acres were added and in 1898 the rotunda erected by a local carpenter Thomas Hardyman. In 1907 Joseph Wood presented to the City a set of ornamental gates to the Park and these were located at the main entrance near Watt St, but are no longer existent. The Reserve was renamed King Edward Park in 1910 following the death of King Edward VII.

Today the Park features the impressive central Band Rotunda built in 1898 with elaborate cast iron work. The character of the Park is largely determined by the broken landform and central valley which contains the Rotunda and the enclosing Norfolk Pines. The stone drinking fountain (1879) is of interest and was originally located in Scott St. The Park also encompasses the fortifications of Shepherds Hill which date from 1890 and were largely rebuilt in World War II including the Pill Boxes of Park Battery.



Band Rotunda - 1898 - King Edward Park - Fine cast iron work

LANDMARKS AND VIEWS

The principal landmark features are the massive brick tower of the Cathedral, the castellated form of Beacon Tower, the Obelisk, and the tower of Jesmond House in Barker St, designed by Menkens. Street level views tend to focus on these elements and the Cathedral Tower is often present above the lines of terrace housing of "The Hill". As previously described, fine channelled street views to the north over the industrial base of the City are gained from "The Hill" and the steep slopes of the land add a certain drama. Panoramic views are gained from the Obelisk and ocean views from high points of Watt St, King Edward Park and from the lookout at Shepherd's Hill (above the Terrace).



Streetscape - The Hill - Fine Victorian terraces - Cathedral Tower.



Street View - Elevated view down Parkin St.

URBAN AND ARCHITECTURAL CHARACTER

By comparison with Newcastle East and Cook's Hill, the urban character of "The Hill" is more open and expansive due to elevation, long views over the harbour and along streets, and the somewhat less intensive nature of development. There exists a greater proportion of major buildings and substantial residences often set in a landscape setting when compared with these other areas of Study. Land uses are somewhat mixed with a general commercial emphasis along King St, a legal precinct to the east focussed on the Court House, ecclesiastical/educational/club uses located centrally and residential development elsewhere. The prevailing character is of Victorian achievement, with a number of significant early 20th Century buildings interspersed.

Residential Character

A number of exceptional late Victorian mansions, villas, and terrace rows remain relatively intact and together with residential buildings of lesser architectural merit, provide a high level of consistency and streetscape interest.

The grand villas of the Victorian and early Federation Periods are concentrated to the west along Church St, on higher ground near the Obelisk, and along The Terrace, and include Woodlands (Woods residence 1878), Marlborough Home (c.1870), Minumbah (c.1890), Lance Villa (1890 - Church St), Jesmond House, Shalamah Hospital (former Hall residence - Barker St; Menkens 1906). The Terrace is an outstanding example of a prestige late Victorian Street with large residences situated to overlook King Edward Park. The majority are two storey, stuccoed villas with verandahs and balconies, generally Gothic (eg. No. 2, 30) or Italianate (No. 24, 36) in style. At least four were designed by prominent Newcastle architects of the period (Menkens, Castledon, Henderson).

The majority remain intact although some unsympathetic alterations and redevelopment has occurred. Some original iron fences, cast iron balustrades and columns, and cast cement decorative elements remain. In particular No. 18 "Hazeldean" 1888 (by James Henderson) features balcony lacework, iron corinthian columns, gateway pillars and elaborate attached piers.

The Buchanan Terraces in Church Street (c.1890 also by Henderson) are fine examples of the urban terrace residence and together with the Grand Hotel (c.1891) contribute significantly to the environmental quality of the Court House precinct. The "Church Street group" (Nos. 66-78) is also intact, and together with Lance Villa occupies the full block between Wolfe and Perkin Sts. Other groups of significance include those in Tyrrell St below the Public School, those in upper Perkin St and the two rows in Church St centred on Wolfe St.

The commercial frontage of King St retains three major buildings of heritage interest - the Former Warehouse/Wool Exchange (1906), the Central Methodist Mission (1902) and the Piccardi Centre (former Ireland Bond Store 1884). The three storey terraces at No. 175-181 Kings St and other storefronts adjacent to the Piccardi Centre contribute to the townscape character of King St.

The "Legal Precinct" is focussed on Bolton St and the fine Classical Court House designed by Colonial Architect James Barnet c.1890 is the centrepiece. The Grand Hotel, Buchanan Terraces and the former Newcastle East Public School building (1908-12 by W L Vernon) are significant early buildings in an area of considerable architectural diversity. Immediately south of the Court House is the historically important Military Barracks area (now Psychiatric Centre), containing the original Barracks, Hospital and Gatehouse (somewhat modified). The site is not generally accessible and high brick walls inhibit public awareness of the area.

Dangar's 1828 plan identified the Anglican Church and Burial Ground site on the prominent knoll and spur between Wolfe and Newcomen St above King St and overlooking the Market Place and Wharf area. The first stone of the Church was laid in 1817 on this site, and the building remained in use until 1884 when the Pro-Cathedral (today's Grammar School) was erected pending the building of a new Cathedral. The present massive dark red brick Cathedral with its imposing central tower was dedicated in 1902. Architect J Horbury Hunt won a design competition for the Cathedral in 1869 and although work began on the foundations in 1883 it stopped while the Pro-Cathedral was built to his design. Hunt was subsequently dismissed and the Cathedral was completed to its present stage by Architects Buckeridge and later Castledon.

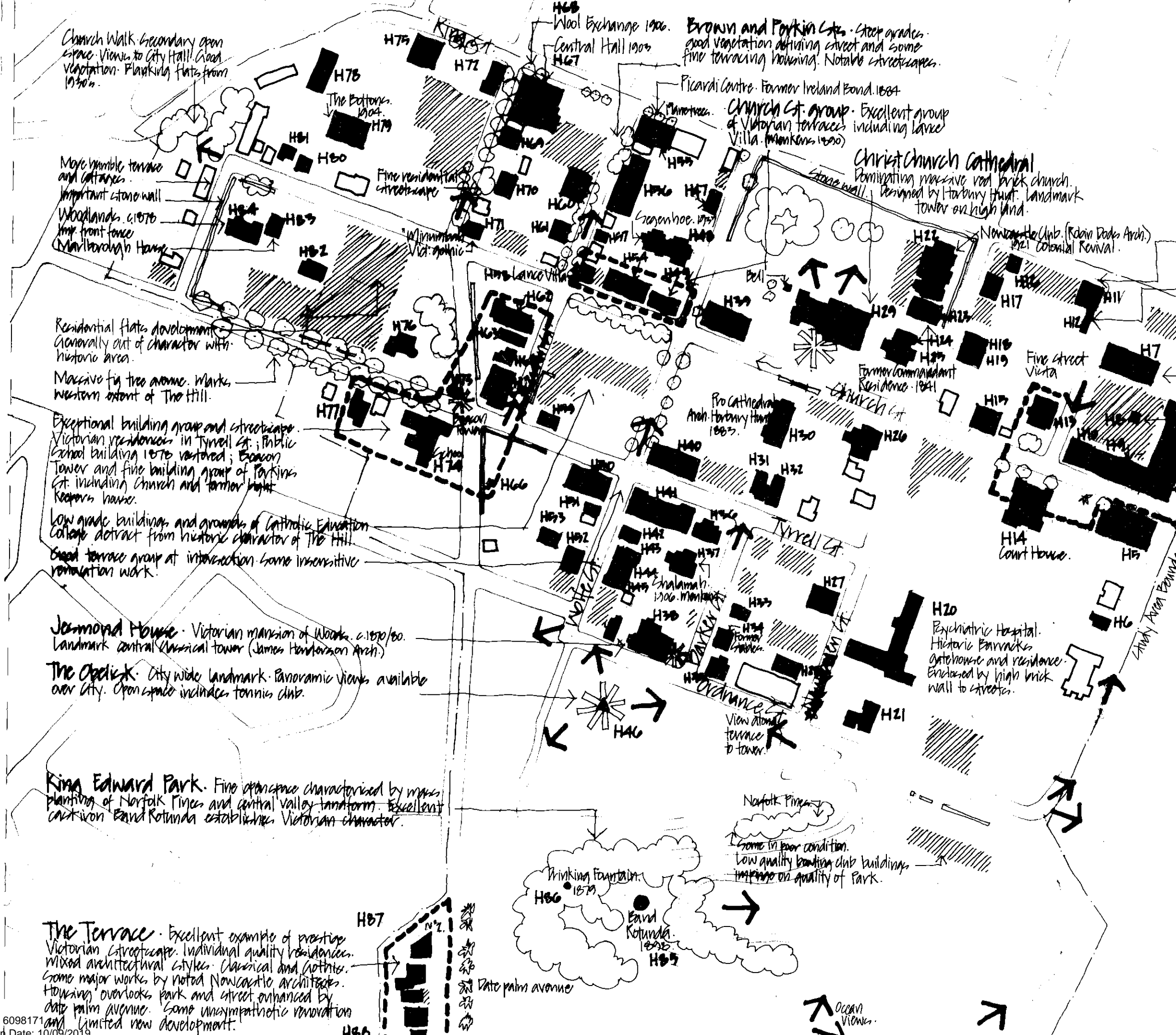
Other significant ecclesiastical or public buildings remaining include the St. Mary's Star of Sea Church (1866) and the adjacent Presbytery (believed to be the former light keepers house c.1870) in Perkin St and the Public School on Tyrrell St (1878) now restored with great care and authenticity.

New Development

New residential apartment and townhouse development is evident to the west of "The Hill". The recent forms (eg. Magnolia Terrace, Woodlands) are generally in sympathy with the prevailing terrace character of the area and given sensitive design and use of materials, are suitable as examples of appropriate infill development. The 1960's four storey flats of Church/Tyrrell St are generally unsympathetic, set back from the street with minimum landscape and incompatible flat roof built form.

OTHER TOWNSCAPE ELEMENTS

- . The Bogey Hole is an important historical item and landscape feature of note situated below the cliffs east of King Edward Park. Major J T Morriset Commander of the Military in Newcastle from 1819-22 had the swimming hole cut into the tidal rock platform for his use and hence the original name of Commandant's Bath. It became a public pool in 1863.
- . Stone walling for retaining walls is particular evident to street and footpath edges given the slope of the land and is an important townscape element of the city. Walls are particularly evident along King, Brown, Church and Newcomen Sts.
- . Superb stone entry pillars and front palisade or cast iron fencing to the street particularly along Church St (Woodlands No. 118, 116).
- . Stone kerb and guttering in city streets and long rows of silhouetted terra cotta chimney pots are characteristic details.



Church Walk. Secondary open space. Views to City Hall. Good vegetation. Planting flats from 1930s.

More humble terrace and cottages. Important stone wall. Woodlands. c.1870. Imp front fence. Marlborough House.

Residential flats development. Generally out of character with historic area. Massive fig tree avenue. Marks western extent of The Hill.

Exceptional building group and streetscape. Victorian residences in Tynnell St.; Public School building 1878 restored; Bacon Tower and fine building group of Parkins St. including Church and former light keepers house.

Low grade buildings and grounds of Catholic Education College detract from historic character of The Hill. Good terrace group at intersection. Some insensitive renovation work.

Jermolov House. Victorian mansion of Works. c.1870/80. Landmark central classical tower (James Henderson Arch).

The Obelisk. City wide landmark. Panoramic views available over city. Open space includes tennis club.

King Edward Park. Fine open space characterized by mass planting of Norfolk Pines and central valley landscape. Excellent cartoon Band Rotunda establishes Victorian character.

The Terrace. Excellent example of prestige Victorian streetscape. Individual quality residences. Mixed architectural styles. Classical and Gothic. Some major works by noted Newcastle architects. Housing overlooks park and street enhanced by date palm avenue. Some unsympathetic renovation and limited new development.

H68 Wool Exchange 1906. Central Hall 1903. H67

Brown and Parkin Cts. Steep grades. good vegetation defining street and some fine terracing housing. Notable streetscapes.

Picardi Centre. Former Ireland Bond. 1884

Church St. group. Excellent group of Victorian terraces including large Villa (Monkens 1890)

Christchurch Cathedral. Dominating massive red brick church. Designed by Harbony Hunt. Landmark tower on high land.

Newcastle Club (Robin Dods Arch.) 1921 Colonial Revival.

Court Chambers 1898. Important corner building. Interesting decorative features.

Cohen's Warehouse Facade. Designed by Monkens in 1901. Massive brick arched facade. Restrained Romanesque influences in arches.

Former Olympic Hall c.1880. In poor condition. Use as a car parking lot. Good classical facade.

Race or Toll Cottage. Early Georgian cottage. Reported to be earliest cottage remaining in Newcastle.

Legal Precinct. Key city group centred on the fine classical Court House designed by James Barnet in 1850. Flanked by near intact Buchanan Terrace and Grand Hotel. Other contributing buildings: Newcastle East School by Vernon 1908 (Edwardian). Some contributing street vegetation. Architectural diversity with modern adjacent court building and Police Station.

H20 Psychiatric Hospital. Historic Barracks gatehouse and residence. Enclosed by high brick wall to streets.

View along terrace to tower.

Norfolk Pines. Some in poor condition. Low quality building club buildings improve on quality of Park.

Drinking Fountain. H86 1879. Band Rotunda. 1898. H85

Date palm avenue

Ocean views.

- Existing Buildings. Items (see Inventory)
- Contributing Elements
- ▨ Detracting Elements
- ⊞ Key Building Groups or Areas
- ✳ Landmarks
- ← Important Views

NEWCASTLE CITY COUNCIL
URBAN DESIGN & PLANNING
The Hill
Townscape Analysis.

AREAS OF CONCERN

- . Inappropriate quality of landscape and immediate surrounds of the Christ Church Cathedral.
- . The visual quality of King Edward Park is impaired by the prominent siting of the modern brick toilet facility, inappropriate signage low grade buildings of the bowling club and the part use of bowling club green as a carpark.
- . Deteriorating condition of some important stone walling (King and Church Sts) and the need for careful, skilled restoration work. Iron fencing in conjunction with some walls appears to be in jeopardy.
- . Poor and deteriorating condition of the former Olympic Hall (Steel's Garage)
- . Inconsistent planting in pavement along King St.
- . Intrusion of 3/4 Storey brick units along Church St. Unsympathetic in terms of scale, form and materials.
- . Existing low grade toilet block infringes on approach to Bogey Hole.
- . Low grade buildings and grounds of the Catholic Education College generally detract from the townscape quality of The Hill.



The Terrace. Fine Victorian streetscape. Some unsympathetic infill

3.4 COOK'S HILL - TOWNSCAPE ANALYSIS

LOCATION

Cook's Hill is situated immediately south west of the central area of Newcastle, generally bounded by the main traffic arteries of Darby and King Sts and adjacent to Civic Park and the Civic Precinct.

DESCRIPTION AND CHARACTER

Today's Role

Cook's Hill is a well established inner Newcastle residential area which over time has experienced varying features associated with changing social and physical patterns including the provision of rental accommodation for lower income and/or transient population groups and more recently, renewed interest from house buying younger socio economic groups.

Brief Background

As part of the Australian Agricultural Company's land grant, Cook's Hill began as a mining village within the workings and railways of early Newcastle. Some subdivision and release of land occurred in the 1850's and development proceeded with Darby Street becoming an extension of the City's main street - Hunter St. The Church school opened in 1856, the Anglican Church in 1860-67, St Andrews Presbyterian Church in 1888 and the Baptist Tabernacle in 1889. In 1875 William Arnott built his home "Leslieville" and his biscuit factory (1817) in what is known today as Union Street.

The physical influence of the railways can still be seen today with Glover Street being the route of the Coal and Copper Co. train road c.1857 and the Burwood Coal Co. railway (known generally as the old coal line). The route passed under Laman St through today's Civic Park on to the wharf area. The track were removed in 1956.

The area however remained largely wind-blown sand dunes with marshes and low brushwood until the late 19th Century when it was developed on a large scale for housing with the major streets named after officials of the Australian Agricultural Co. Housing was required by coal miners who worked the nearby mines which included the successful "Sea-Pit" mine. Today's Nesca Park was the site of the dam used to wash coals from the mines.

The internal street network of Cook's Hill was progressively dedicated to public use by the A.A. Co. land from 1869 to the late 1880's. Private housing followed this dedication. The dates for dedication of parts of Bull St in 1869-74, Queen St 1871, Bruce St 1872, Corlette St 1875-85, Laman St 1877, Dawson St 1877 and Charles St 1888.

Of social interest, the Australian artists William Dobell and John Olsen were born in Cook's Hill at 84 Bull St (in 1889) and 25 Dawson St (1928) respectively.

The derivation of the name "Cook's Hill" is of some interest given the area's flatness. It would appear that the name refers to the relatively higher land at Laman and Auckland Street across from St. Andrew's Church. This land was the site of a house built by Thomas Cook called "Lucerna" (Cook was the son of Samuel Cook and Elizabeth Dangar - sister of Henry Dangar). The house was demolished in 1977 and the site remains vacant. The Conservatorium of Music stands on the site of Cook's ornamental gardens.

Landform

Contrary to the impression conveyed by the name, Cook's Hill is relatively low lying somewhat inland and protected from the ocean environment and winds. Land is generally flat rising marginally from the centre of the Study area to Darby St and dropping down to Civic Park and King St to the north.

VIEWS AND LANDSCAPE

The geographic situation of Cook's Hill has facilitated the growth of some street landscape in the otherwise generally bare street environs of Newcastle, particularly Newcastle East.

The planting of fig trees (*Ficus Macrophylla*) in the early 1900's was undertaken in a number of streets and today establishes a distinctive street environment. The massive trunks and root systems of mature trees rise powerfully from the bitumen pavement and high, wide branching limbs with dense dark foliage often meet forming a complete street canopy. The result is a heavily shaded, defined street and footpath space. Some planting of Brush Box together with the Figs has occurred and is relatively compatible (eg. in Bruce St).

The most effective results of this planting can be seen in Council St (Between Bruce and Dawson Sts), in Bruce Street, and parts of Bull and Laman St.

Elsewhere small native shrub species have been planted in the footpath space, with limited success (Corlette, Dawson Sts and elsewhere). The most successful is in Dawson St where banksia species have prospered to 6-8 m in height. The shrubs provide colour and variety although the streetscape effect is far less dramatic than elsewhere, and combined with the wide carriageway gives Dawson St a more suburban than urban quality.

A number of important views can be identified as part of the townscape character. These are views along Laman St east to St. Andrews Church Spire, the Tabernacle and massive fig trees adjacent to Civic Park; views westward along Laman St with the change in direction highlighting the corner building (Laman and Corlette) and the two storey terrace row across from the public school; good street vistas closed with early buildings and sometimes framed by street trees eg. along Corlette and Bruce Sts and west on Council St.

URBAN AND ARCHITECTURAL CHARACTER

The essential character of Cook's Hill is that of a closely knit inner city urban environment of small scale one and two storey dwellings of mixed stylistic influence but primarily from the late Victorian Period. The majority of these are relatively simple cottages and terraces. Corner shops are evident and a number of larger key buildings provide a certain identity and definition of the study area boundary in addition to acting as local and city landmarks. Infill has occurred over time particularly in the 1920's with housing of the Federation Period, and flats and townhousing development continues today. Streets are not characterised by low rows of near identical terraces but rather by a diverse tight mix of one and two storey, timber and brick, Victorian and Federation individual houses or semi detached pairs. Houses may be constructed with only 150mm between side walls while the largest consistent terrace comprises only seven units (Queen St). Typically dwellings are built to the front boundary, directly on to the footpath or with small entry setbacks. With two storey houses, an upper level balcony more often than not cantilevers over the footpath some 1.5 - 2 m. Generally, the prevalent form is the two storey narrow frontage small terrace, (four dwellings) semi-detached matching pair or individual house.

Residential Character

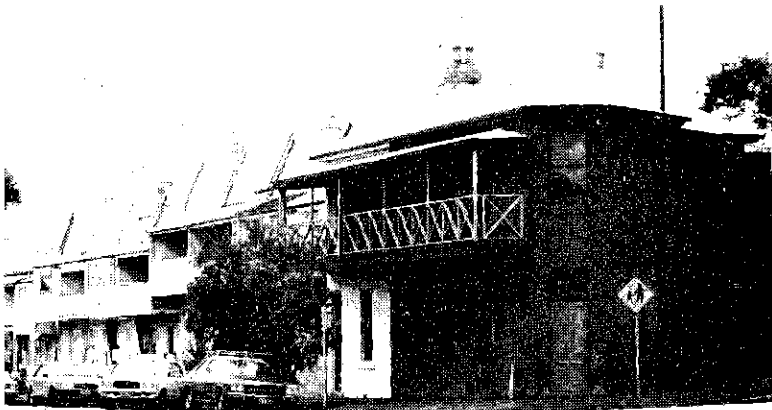
There are a remarkable number of late nineteenth century timber dwellings remaining, often with cast iron and original details. The majority have front facade weatherboards manufactured to resemble stonework. The more prestigious or impressive terraces or individual dwellings feature decorated pediments and parapets, Italianate triple light arched windows with hood moulds and attached or upper level balconies with fine cast iron work. The best of these are in Bruce St (No. 9, 11 and



Council Street. Cooks Hill. Intimate street quality. Massive fig trees.



Bruce St. Federation cottages and fig trees.



Cooks Hill. Key building and terrace - Laman / Corlette Streets.



"Normanton"

13) - virtually intact examples of the Victorian Italianate or Boom Style, 9 and 11 being a duplex with No. 13 featuring an unusual two storey projecting bay. Front iron palisade fence and gates and bullnose plinths remain and large fig trees planted in the pavement contribute to the street character. No. 7 Bruce St is a good example of the simpler Victorian single storey timber style with end gable to the street good cast iron balustrade work and other period details. No. 37 Dawson St - "Normanton" is an excellent example of the free standing late Victorian Villa with elaborate facade decoration, cast iron upper balustrade, panelling and friezes, tile verandah floor and path to street and original rendered brick fence and iron gates.

The Strathearn Terrace, No. 100 Bull St is worthy of specific mention. Built in 1889 it comprises four two storey dwellings with a central arched open passageway for rear lot access, triple arched ground floor windows, upper projection balcony typical of Cook's Hill and decorated pediment. Less elaborate examples of this terrace form can be seen in Council St, between Darby and Dawson Sts.

The best examples remaining from the Federation period are the Dawson St Terrace (Nos. 28-38) (c.1910) with asbestos tile roof terra cotta finials, coloured glass window panes and decorative timberwork and shingles on verandahs, individual cottages in Dawson St (eg No. 14, 16, 18 well maintained timber early C20th), and the row of semi detached cottages in Bruce St.

Other notable residential buildings, groups and/or terrace rows are:

- 39-45 Union St - four terrace houses with elaborate joinery around windows and extensive use of brick decoration to the facade. The terrace suffers from neglect especially upper level balconies.

- . Terrace group Laman St - opposite the Public School. Somewhat neglected and disparate at present. Important in views down Laman St.
- . Terrace row Corlette St. Victorian Gothic influences, front, flat gable to street with decorated barge boards together with the corner (Laman/Corlette Sts) residence a key building in the streetscape.
- . 61 Laman St - Von Bertouch Galleries. Mid Victorian two storey terrace with central lane. Renovated with upper level balcony removed.
- . Terrace Group Laman St (north side adjacent to laneway). Four terraces relatively intact, excellent decorative features, elaborate attached columns and cast iron work.
- . Building group - No. 29-33 and 30-36 Council St. Fine group of two storey Victorian dwellings and terrace pairs. Strong landscape presence of fig trees and stone kerb and guttering contribute to the street character.

Major Buildings/Commercial Buildings

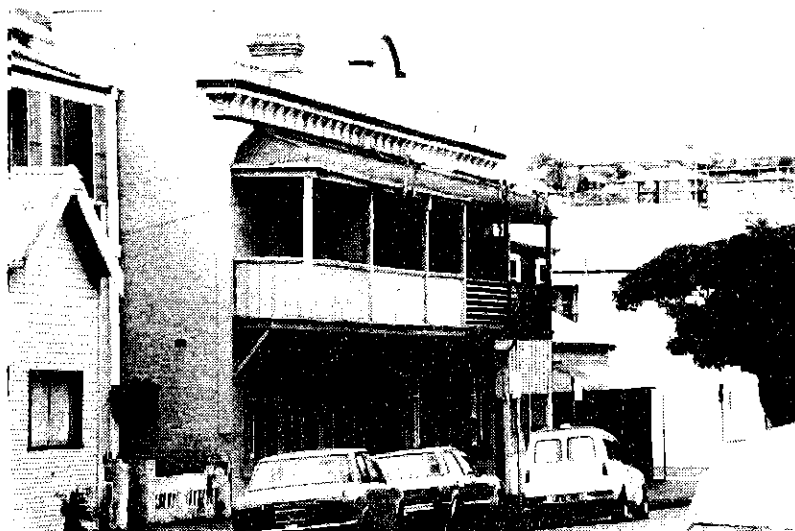
Three major heritage items contribute significantly to the character of Cook's Hill and act as local landmarks and points of visual interest when moving through the area. They are St. Andrews Presbyterian Church designed by Menkens and regarded as his finest ecclesiastical work (completed in 1889), a small, well proportioned Gothic Revival structure built of yellow bricks with sandstone ornamentation and a fine tall spire. The spire rises some 35 m above street level and can be seen from the Civic Park area as well as from selected areas within Cook's Hill. The view along Laman St with the spire framed by fig trees and terrace housing is particularly interesting.



Laman St. Terraces. Good group of Victorian terraces.
Some were sympathetic renovation.



Corlette St. Street view with School House above terraces.



"Strathearn" Terrace. 1889. Quality terrace form. Upper level balcony typical. Loss of cast iron.

The adjacent Classical Revival (Corinthian order) Baptist Tabernacle in Laman St was also designed by Menkens in 1889 and features an impressive richly ornamented facade. Together with the massive fig trees to the east, these two buildings provide an impressive entry into Cook's Hill from the City.

The third item is the Cook's Hill Schoolhouse also in Laman St, designed as two separate buildings, the first in 1899 (cnr Union St) and the more impressive main building in 1902. These two and three storey Federation style school buildings maintain a strong presence in the street and the symmetrical high brick gable forms of the 1902 building can be seen above cottage roofs within the Study Area.

Nineteenth Century life supported neighbourhood corner shops and hotels within close walking distance. A number remain although only one store still trades (cnr Corlette and Bull Sts). William Dobell was born here and it is unfortunate that recent "modernisation" has somewhat jeopardised the contribution of such buildings to the historic streetscape (broad cantilevered awning, large shopfront opening and tiles). The two storey former shop on the corner of Council and Bruce Sts is more typical with a corner 45° splayed facade with entry door.

The nucleus of a small shopping centre existed in Bull St and in part remains today, associated with the two Hotels. Victorian shops remain together with two Federation shopfronts (c.1920), one a former butcher shop and now a pottery studio with glazed front brick and pressed metal street awning and the adjacent two storey shop and residence.

The two hotels grouped at Bruce St are significant social elements within the area although they do not contribute significantly to the architectural heritage of the area. The Oriental Hotel (1910) retains a simple upper storey facade while the

the Cricketer's Arms (c.1930) has been developed in a mock tudor fashion.

The Brighton Buildings on Union St should be recorded as commercial buildings of local interest. They occupy a prominent street corner site and retain most of the original shopfronts and upper level pediment. It would appear that the original external paint and/or cement render has been removed exposing the range of different bricks used in its construction. Given sensitive restoration this building could contribute much to the character of the area.

Darby St developed as an extension of Hunter St and today is typified by commercial strip development with the streetscape dominated by hung awnings, neon signs and advertising. Infill and redevelopment has occurred over time on an adhoc basis and few early shopfronts remain intact or recognisable. Those buildings remaining of some heritage interest and capable of sympathetic renovation/restoration are Nos. 86, 102 (Bistro), 104-110, 120 (with early shopfront) and 146 (Restaurant). The Hotel Delaney is the largest building in the street and contributes to the townscape character although false timber shutters and the hung awnings do not enhance its heritage value.

Redevelopment has occurred recently for office and other uses. These are two storey buildings set back some 9 m from the street frontage, a requirement on redevelopment for road widening proposals. This has disrupted the otherwise continuous facade line.

New Development

Contemporary residential infill development has occurred mainly in Bull and Bruce Sts, and a project has just been completed in Dawson St.

Infill generally has taken the form of either two storey townhouses which generally fit the pattern of urban scale and two storey flats or units which tend to be less successful due to increased setbacks, or incompatible building form. Fortunately the area has not been subject to larger scale redevelopment.

The development of the former box factory site off Dawson St represents an interesting attempt to relate new development with the surrounding early housing fabric. Generally the form and massing of development is successful (ie. two storey, high pitch roof line, gable ends to street, upper balconies) although the use of exposed face brickwork for external walls is not compatible with the Victorian preference for rendered and painted surfaces.

The adjacent development of three previously badly delapidated terraces, whilst not authentic in all details, is a good example of "enlightened renovation" and contributes to the character of Dawson St.



Cooks Hill School House - Key local building

OTHER TOWNSCAPE ELEMENTS

Stone slab kerbing and gutters remain in many streets and contribute to the historic quality of the area (eg. Laman, Council Sts). Together with the street trees and early remaining front fences the represent important streetscape elements that should be retained.

In addition to cast iron balconies and building facade decoration, front fences are a crucial visual element in the streetscene. A number of fine Victorian fences remain (iron palisade, bullnosed plinth) together with some original Federation fences (picket, metal and brick). However most have been removed and replaced with less acceptable varieties.

Terra cotta roof top chimney pots become a recurring element in street views.

A single "bell type" Victorian cast iron letter receiver remains in Corlette St (manufactured by Triggs, Marr and Taylor - Sydney).

The former Burwood Coal rail easement remains and today is called Glover Street serving as a rear access and carparking laneway. It was the rail route for coal to the Wharf area and passed under Laman St and over Hunter St.

Cooks Hill School House.
Main building of heritage significance built 1902. Based on English precedent. Red brick. High gable ends. Important local landmark.

Corner dwelling important to street character. Upper balcony good painting scheme. Listed in conjunction with adjacent Victorian terrace. Gothic influences. Some poor facade modifications.

Conservatorium of Music
Former Salvation Army Citadel c.1920. Five storey building on corner overlooking Civic Park. Adjacent detracting uses vacant site and exposed car park.

St. Andrews Presbyterian Church
Arch. Monkens. 1883. Excellent yellow brick church and spire. Contributing facade. Key landmark in Cooks Hill.

Baptist Tabernacle. Arch. Monkens. 1889. Fine Classical building. Corinthian orders. Unique streetscape contribution in conjunction with St. Andrews and street fig trees.

Typical terrace housing group. Upper balconies, diverse styles, some unsympathetic renovation.

Unsuccessful street planting. Stone kerb typical.

Brighton Buildings.

View to corner building

St. Andrew's 1883. Characteristic terrace form.

Victorian bell-type letter receiver

Intimate street character provided by buildings to the footpath and large fig trees in pavement. Unsympathetic modifications to corner store (birthplace of William Dobell). Oriental Hotel c.1910

Large scale fig trees, corner shops, and Federation duplex housing determine character

Council Street. Full enclosure of street by massive fig trees in pavement. Stone kerb and gutters. Victorian terrace housing. Quality streetscape.

Dawson Street. Mixed architectural quality. Exceptional late Victorian Villa "Normanton" N°37. Elaborate detailing. Period decoration. Facade. At least good Federation/Edwardian terrace 25-35. Shrub planting in footpaths.

Darby Street. Commercial strip development along major city road. Streetscape dominated by advertising, signs, awnings etc. Some new development set back due to road widening proposals. Some individual shops/residences capable of restoration/repair. Others largely modified.

Four storey central terrace. Intervening top storey classical windows.

Civic Park.

Laman St

Sympathetic additions. 2 storey free standing terrace style. (Not included as inventory due to imminent demolition) sample early terrace form. Some modifications.

Box Factory housing

infill

"Receptor" terrace

Cropped trees

Flat

View to tower

View to tower

View to tower

View to tower

View to tower

View to tower

View to tower

View to tower

View to tower

View to tower

View to tower

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St. Andrews Church. One of Monkens best works. Landmark spire. Adjacent Morse demolished. Photo: Newcastle Public Library Collection.

- Listed Buildings/Items (see Inventory)
- Contributing Elements
- ▨ Detracting Elements
- ⊞ Key Building Groups or Areas
- ✳ Landmarks
- ← Important Views

NEWCASTLE INNER AREAS
CONSERVATION PLANNING STUDY
Cooks Hill
Townscape Analysis.

AREAS OF CONCERN

- . A major area of heritage concern relates to insensitive or inappropriate renovation, extension or alteration of the historic building stock. Many cottages and terraces show the results of unsympathetic, individual owner/builder work to the front street facade. This may take the form of removal of original plasterwork to expose soft or low quality brickwork with accompanying wall surface damage, removal of original decorative features (eg. cast iron, cast cement ornamentation, timber windows, front fences), enclosure of upper balconies with low grade varying materials, rough plasterwork, the addition of false louvre shutters, mock Georgian lamps, etc. This has been accompanied by a range of poor quality front fence solutions which vary along the street and within terrace groups to include open concrete block, brickwork, cyclone wire, eye level metal decking, and timber.
- . Poor and deteriorating condition of some early housing stock, particularly evident in balcony disrepair.
- . Increased community concern for security measures influencing overall streetscape quality. Metal window grilles, aluminium front security doors and high footpath fences and walls in some areas have led to a progressive decline of historic street character.
- . In some streets, visually dominant overhead "wirescape" with timber electricity poles and tall T.V. antennae.
- . Insensitive flood lighting on pavement columns in front of the main facade of the Baptist Tabernacle.

- . High level of on street commuter carparking.
- . Progressive impact of redevelopment on the Darby Street shopping zone as this is affected by road re-alignment proposals.
- . The future use and scale of development of a number of underutilised sites in Laman Street.

suters busteed + lester firth
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SECTION 4

SECTION FOUR: COMMUNITY ATTITUDES

4.1 INTRODUCTION

The study brief required the study team to liaise with the relevant resident groups and to draw together their perceptions on heritage matters.

As such the identified community view and values reflect those held by the resident groups and are not necessarily the views of the study team.

The planning study area includes three active resident groups:

- . the Cooks Hill Group
- . the Hill Residents Group
- . the Newcastle East Residents Group

Whilst the groups may not represent the majority of residents they nevertheless reflect the attitudes of the concerned members of the community. On conservation matters the three groups are the interested community sector and tend to present the community view. However where private or sectional interests are involved it is not uncommon for strong opposing views to be expressed.

The formation of each of the groups was initiated by unsympathetic development and perceived threats to historic areas. Accordingly conservation of the social and historical character of each of the various areas was at the forefront of each of the charters. In the late 1960's and early 1970's several factors combined to produce these powerful resident groups. The factors were:

1. An influx of articulate residents into the areas.
2. An awakening of the social identity of long term residents of the areas.

3. The threat of destruction of the areas (both visually and socially) by new development.
4. Self interest and exclusion.
5. The universal interest in heritage, and in particular architectural heritage.
6. A belief that the City was interested in development at any cost.

Whilst conservation has been a concern, an aim of equal importance of the groups has been the retention of the traditional social fabric. The vigorous reaction against Union Towers by the Cooks Hill Residents was aimed at its impact on both the social and visual fabric of the area. The increased density, site generated traffic, parking problems, the scale of the building, the non-family nature of the occupants were all matters of concern.

Despite waning membership, the three groups have gained a degree of respectability and influence. In contrast to past practices the Newcastle City Council is now inclined to seek the opinions of the groups on issues affecting each of the areas.

During the formative stages some were of the opinion that the self interest pressure groups would be counter productive and represent a hindrance to the logical and orderly development of the city and inner city areas.

However the resident groups believe that on major environmental issues of the past decade they have reflected in their concerns a level of respect for the uniqueness of the city and provided a counter-balance to the demands of development economics. A recent example was the Hill Group's fight for the retention of the Council's Height Code in the face of a demand for relaxation of controls to permit the redevelopment of the Darks Ice Work site.

4.2 COOKS HILL GROUP

In the early 1970's a multi-storey brick and concrete flat building, known as Union Towers, was constructed on the corner of Union and Parry Street. This building, combined with the threat of comprehensive redevelopment of the Cooks Hill area created unease. The residents reacted with protest actions and as a consequence all subsequent medium and high density developments have been thoroughly scrutinised. Since the scrutiny by the residents began there has been no approvals for any buildings above two storeys in the Cooks Hill area. The groups concern for scale and social mix has been instrumental in maintaining the basic character of Cooks Hill. In spite of the desirability of location, developers have been induced to maintain low to medium density schemes. It is unfortunate however that, whilst the human scale has been maintained, much of the aesthetic quality of the new development has been out of character in terms of form, siting etc. There is also a distinct lack of mix of housing forms and types.

In terms of conservation, some of the expressed aims of the Cooks Hill Group are:

1. Conservation of streetscapes. New buildings required to conform to the existing scale of the area. In larger developments buildings should not overshadow existing buildings.
2. Modification of the Flat Code to ensure that infill buildings, in older areas, are sympathetic in form and site coverage to adjacent buildings. Development on such sites should not be governed by numerical formulae but on individual merit.
3. Importance placed upon the scale of new developments.

4. Encouragement for the restoration of existing houses, rather than demolition to make way for new buildings.
5. Social mix is essential to the survival of the 'Cooks Hill' community. The social mix is threatened by rising land costs of the existing stock and the subsequent pressure on the lower income groups. Accordingly the group stresses the need to keep the "older house" and to encourage its repair.
6. Present tree pattern and character of the streets to be maintained.
7. Subsidised housing for older persons to be made available.

The Cooks Hill Group is mindful of the "Cooks Hill" character which is seen more in terms of people and the social fabric, rather than in terms of buildings. Accordingly they are concerned by increased densities, escalating land values, traffic and parking problems and the integration of newcomers into community activities. They have also sought guidance on restoration methods suitable for the area. The Cooks Hill Group expect the Conservation Planning Study to recognise and reflect such concerns in the Conservation Guidelines.

4.3 HILL RESIDENTS GROUP

The Hill group has less in common with the other two groups. The area of the Hill contains many of the region's historic monuments and accordingly the Group sees its role in a much wider context. In part this reflects the topographical nature of the Hill, accentuated by the Cathedral tower and the obelisk, which ensures that the area is visually prominent and distinctive within the Newcastle urban context. It also reflects the significance of the Cathedral, King Edward Park, the Terrace, the Hill School etc. which are all regional assets and demand appropriate concern. In addition the social fabric is much more diverse, ranging from working class to professional groups and commercial entrepreneurs and from poverty to wealth.

This mix provides a conflict of interest within the Hill area, with the consequence that many of the issues are not universally agreed. The City Bowling Club carpark issue provides an example where the Hill Group took an unequivocal stand maintaining that there were no arguments which could justify turning a bowling green into a carpark. However within the area there were residents who believed (equally vehemently) that the Bowling Club should have the right to use the green for carparking.

In terms of the Conservation Planning Study the Hill Group has much to contribute and many actions have been related to the retention of heritage items such as:

- . Cohen Warehouse
- . St. Marys Town House Development
- . King Edward Park
- . Woodlands
- . Sponsorship of the Heritage Walks Brochure.

Through its monthly publication "News and Views" the group has contributed to public awareness of

conservation issues. This awareness extends from buildings to landscapes and from footpaths to parking lots. The group has taken on the role of a vigilante group watchful and alert to changes which, in their opinion, would detract from the quality of the Hill.

The Hill Group see themselves as perceptive to the environmental and historical significance of the area and actions are directed to the retention of these qualities. Accordingly changes are rejected if it is believed such change would lessen the character of the area. The group believes in and seeks a proper balance between development and retention of environmental standards (with respect to the visual and social aspects).

4.4 NEWCASTLE EAST RESIDENTS GROUP (NERG)

Probably the oldest of the three groups, NERG has been involved in many skirmishes related to environmental issues. Initially the group was extremely active in demanding a role for residents in evolving the planning principles for the Newcastle East Area on the basis that planning should involve an input by the residents. Through the use of Green Bans the group was able to delay work in the East End until an "agreed plan" was prepared. As a consequence there is a measure of dereliction and decay in the area but the residents strongly defend their role and claim that the decline is not their responsibility.

As with the Cooks Hill Group NERG has been vitally concerned with social issues and in particular a determination to seek the retention of the social fabric of "The Sandhills". Conservation meant retention of the character of "The Sandhills", existing family groups, corner shops and traffic free residential streets. The families of seamen, wharf labourers and other low income groups should not be forced out by increased land values and over development. It is also meant that architectural niceties, while they might be important, were not the prime concern of the group.

As in Cooks Hill, articulation of the social and environmental problems was engendered by the "newcomers" and on occasions this led to clashes between the newcomers and the original residents.

Car parking has always been a major problem which has tended to stifle the recycling of site bound old buildings. The residents have not reacted sympathetically to proposals to convert warehouses to town houses without adequate off street parking.

An indication of the group's attitude towards social needs is reflected in their approval of the Housing Commission Development on the corner of Scott and Telford Street and their opposition to the recycling of the John Bull Warehouse for middle-class apartments. The latter development also involved issues of carparking.

With respect to the Conservation Planning Study, the Newcastle East Residents' Group has indicated that the following aspects should be included:

1. Controls over alterations and additions. It is considered that gross incompatibilities of style should be totally prohibited - eg. Spanish arches, mock Tudor etc. Houses which form part of a terrace or duplex should be subject to stricter controls than single houses. It is also felt that Newcastle City Council should provide guidelines and encouragement rather than enforce strict controls. It is believed that it is desirable for property owners to discuss all proposals for alterations to the exterior of their building with the Planning Department of Council.
2. Demolition. It is believed that there should be controls on demolition - an owner should demonstrate that the demolition has merit and will not detract from the overall character of the area.
3. Recycling of Warehouses etc. Developers should be encouraged to retain the character of the building they are converting.
4. Views and Vantage Points. Retention of existing views and vantage points.
5. Detracting Elements. Existing multistorey motel and unit developments (more than three storeys) are seen as detracting elements, as is the U.T.A. bus terminal, suburban-style brick residences and the warehouse corner at Scott and Telford Streets.

4.5 EXPECTATIONS OF RESIDENTS OF THE STUDY

The collective expectations of the various groups may be summarised as follows:

- . The Conservation guidelines would not detract from the existing environmental quality of the areas.
- . The social structures would be respected and strengthened.
- . Practical advice would be forthcoming on how to maintain, restore and recycle building stock.
- . Any proposed changes in the area would be subject to consultation with residents.
- . Problems of traffic flows and parking would be resolved without detriment to the significance of the areas and amenity for the residents.
- . Landscaping would be part of the guidelines.
- . There would be controls over demolition, alterations and additions within the areas.
- . Advice would be provided with respect to detracting elements.

4.6 SUMMARY

The actions of the resident groups has stimulated an awareness of the environmental and social qualities of the inner city areas by the community at large. Novocastrians are now generally more conscious of the historic quality and character of Newcastle East, The Hill and Cooks Hill than of other suburbs.

This general awareness parallels an increase in public interest throughout Australia in local environmental, social and economic issues. The idea of development at any cost has been questioned.

As a result a new balance has been struck in the development approach between the developer, who is primarily concerned with the economics, and the residents who stress the environmental issues. The actions of the latter, together with other conservation bodies, has resulted in the retention of many heritage items which would have otherwise been the "victims of progress". The support provided by resident groups and conservation bodies has assisted Councils to protect environmentally sensitive areas.

On the debit side the resident attitudes can be seen as somewhat reactionary in that change, which in the past has provided the stimulus for creative growth, is inhibited. There is always a need for the creative renewal of cities and an acceptance of new ideas. In acting as an arbiter of what is good or bad for an area, resident groups can stifle new concepts and deflect emerging needs.

Councils often consider that inner city residents are reluctant to accept that the advantages of city living are sometimes balanced against disadvantages, such as parking and traffic congestion. On occasions there are double standards when faults

are highlighted with proposed development projects while poor quality individual home alterations carried out by residents or lack of maintenance are rarely mentioned.

The changes in attitudes and values have helped to provide the basis for an effective dialogue between the participants in the inner city. It is now possible for resident, developer and planner to discuss the various issues and work together to establish a sound basis for future change.

The expectations of the resident groups must be seen within the terms of reference of the Study which is primarily focussed on the built heritage of the Inner Areas and measures to identify, conserve and enhance the historic character and future.

The existing social environment has not been studied in any depth and the social implications of conservation actions should be considered by decision makers as a part of public involvement process that is scheduled to follow the publication of this study.

suters busteed + lester firth
urban, regional and environmental planning consultants

SECTION 5

SECTION FIVE: HERITAGE OBJECTIVES AND GUIDELINES

Introduction

The studies outlined in the previous sections provide an overview of the present day conditions and townscape character of the Newcastle Inner Areas under study. The analytical material, together with an appreciation of possible future demands, local community attitudes, as well as opportunities and constraints helps to establish a base against which objectives and policies for the conservation of the study areas' historic and environmental character can be formulated.

The identification of a clear set of conservation objectives is an important step towards the resolution of conservation issues and the development of future planning policy.

The following headings with supporting policies, represent the basis of a balanced approach toward conservation.

1. City Character
2. Urban Conservation
3. New Development
4. Land Use
5. Movement Patterns & Parking
6. Economic Activity & Tourism
7. Community Awareness

The heritage objectives and guidelines are applicable to the three Study areas. Where appropriate they have been subsequently amplified and applied in the more detailed Development Control Plan for Newcastle East (see Section 6).

5.1 City Character

Conservation Objective "To conserve and enhance the historic, visual and environmental elements and qualities that contribute to the distinctive character of Newcastle Inner City Areas."

The environmental character of these areas is significantly influenced by elements, as well as buildings. To develop a comprehensive heritage approach, policies relating to open space, landscape, streets and avenues, views, landmarks and townscape details such as fencing, street furniture and advertising need to be addressed.

Policy 5.1.1 "Conserve and enhance the coastal and harbour foreshores as major regional recreational elements".

The existing condition of certain portions of the foreshores leaves much to be desired in terms of positive contribution to city character.

The implementation of design recommendations stemming from the Newcastle Harbour Foreshores Competition will do much to improve this environment and together with the progressive upgrading of the Newcastle Beach zone, the foreshores may realise much of their inherent recreational potential.

Particular design quality and emphasis should be directed to the Camp Shortland and Nobby's area, and the city link to Newcastle Beach. The recovery of the Soldier's Baths south of Nobby's Beach should be undertaken.

A detailed urban design study for the Newcastle Beach Foreshores should be considered to coordinate and guide upgrading and redevelopment by public and private agencies to complement the now committed



"Boney Hole" Enhance recreational elements.

Harbour Foreshores work. Detailed comments and guidelines are provided in Section 6.0 - "Draft Development Control Plan" for Newcastle East.

Policy 5.1.2 "Enhance the spatial identity and setting of major public spaces, buildings and sites".

Certain major key buildings and places are essential to the historic and environmental character of Newcastle. Sensitive improvements to their immediate surrounds would do much to enhance city character. Such improvements could include the removal of service station uses adjacent to the Customs House and the creation of a front plaza area down to the waterfront, urban landscaping and screening work to the setting and entrance of Christ Church Cathedral, the relocation of low grade buildings or uses impinging on sites or areas such as Fort Scratchley and King Edward Park and landscape upgrading around the St. Andrew's Church site in Cook's Hill.

The appropriate identification and recognition of the site of Shortland's Camp should be part of the Harbour Foreshores upgrading proposals.

Policy 5.1.3 "Retain and enhance the major townscape elements and views related to the visual sequences within the city".

This policy is concerned with the siting of new works around key buildings or landmarks, the retention of existing important views and vistas and remedial landscape. Key views and landmarks were described and recorded in Section 3.

Generally new development which relates to the scale of the existing built fabric will be in line with this policy. Selective street landscaping will enhance view sequences and vistas to key buildings.

This policy also supports the removal of detracting visual elements as these affect townscape character. Consideration should be given to the removal of the unsympathetic accumulation of buildings on Nobby's Head.

Policy 5.1.4 "Retain and improve the streetscape character and quality in heritage areas".

Streets are important elements in the city fabric providing necessary functional or physical links and significantly influencing the visual and environmental character of the city or parts of the city.

Areas of special character are often based on mature street planting and measures may be required to ensure that present day environmental qualities are maintained. Existing vegetation which contributes significantly to the street character should be retained and enhanced.

Generally the streets of inner Newcastle are devoid of vegetation and the notable exceptions within the Study areas are parts of Cook's Hill, and Tyrrell, Perkin, Brown and Wolfe Streets. Avenues or groups of large fig trees in bitumen pavement are most characteristic, although some brush box and rows of Norfolk Island Pines exist.

In principle existing planting should be extended and any gaps infilled with the same predominant species.

In areas devoid of street vegetation, planting should be consistent (i.e. not individual decisions by owners/occupiers) and be related to an overall Master Landscape Plan for the inner City area.

In some instances the front yards of individual early buildings are or may be landscaped to contribute to the historic and environmental character of the area. Guidelines for plant



Front Zones: Important to street character. Retain historic elements including plant material.

material may be found in the Australian Council of National Trusts Technical Bulletin 4.1 "Planting c.1850-1900". In these front areas concrete surfaces should be kept to a minimum and stone surfaces, brick or tile paving, grass and planted areas retained or implemented.

Detailed street planting programmes will need to be prepared for areas devoid of vegetation. Footpath widening may be appropriate in some areas to accommodate new landscape or to control traffic. New planting will need to recognise constraints such as urban services, and in particular overhead electric wiring.

Electricity poles should be kept to a minimum and located so as to minimise disruption of the visual continuity of terraces and historic facades. Poles should be located at the end of terrace groups and the number of connections to buildings minimised. Undergrounding of electrical services could be considered in some key streetscapes.

Selective residential street closures may also be appropriate to improve environmental amenity and to enhance heritage areas. These could include Zaara Street and Alfred Street in Newcastle East together with Laman and Corlette Streets in Cooks Hill.



Stone Kerb and guttering should be retained.

Policy 5.1.5 "Retain individual townscape elements such as early fencing types, stone paving, cast iron work, Victorian street furniture such as seats, lamps, drinking fountains, letter receivers, relics, memorials, etc., as important elements of the city wide character".

Where possible early examples of streetscape details should be retained. Much stone kerb and guttering remains in the Study Areas today and care should be taken to ensure that gutters are not unnecessarily covered with bitumen or replaced by concrete.

In some cases early kerb and guttering has been damaged by tree root activity and may require resetting or replacement.



Early Lamp Standard - Church Walk

Policy 5.1.6 "Periodic repair, upgrading or replacement of streetscape elements by Government Departments or Council should seek to retain early examples of townscape details. New work should have due regard to, and be compatible with, early types where appropriate."

Victorian iron palisade or picket fences often with elaborate stone gate posts or columns and stone or cement plinths are essential townscape elements and should be retained and maintained.

The retention of and utilisation of early seats, benches and lamp standards is particularly appropriate in the King Edward Park and seaside promenade areas.



Elaborate Front Fencing - Woodlands

Policy 5.1.7 "Encourage the repair or replacement of original fencing types within the city generally and provide residents with guidelines for new fences based on early examples".

Decorative cast iron and iron palisade fences of varying levels of sophistication, are of substantial townscape importance. Some picket fencing and metal and brick Federation types also remain. The retention of such fences, in addition to the reintroduction of those previously removed should be encouraged.

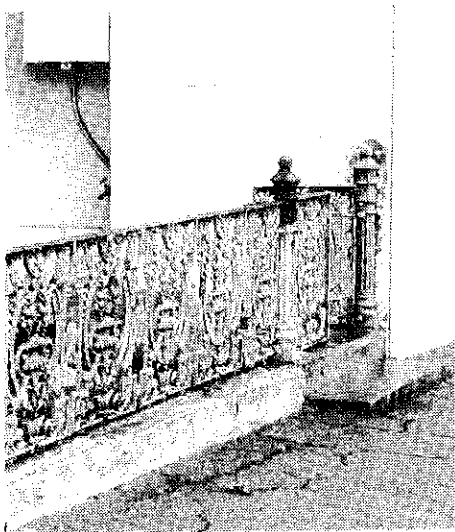
Concrete block, new cyclone mesh with steel posts, horizontal timber boarded asbestos sheets, wrought iron, railway sleepers, or brick, front fence types are not recommended in conjunction with listed or contributing buildings. On the front property boundary fences that approach or exceed eye level are inappropriate in historic streetscapes.



Original Fencing



Front Fences Early front fence types are important to townscape and historic character. Cast iron and picket fences should be retained and restored. Iron gate posts, stone or cement posts, bullnose plinths and iron palisade fencing with spearheads are elements to be retained.

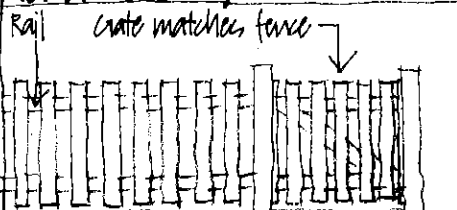


Should be retained - restored.

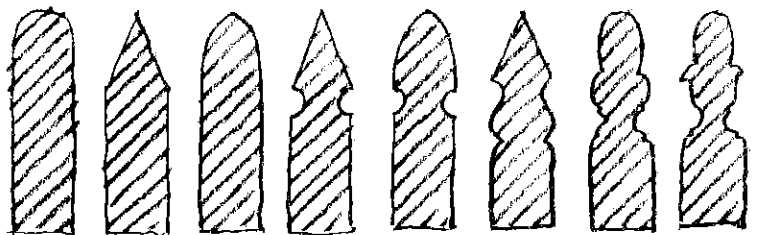
Picket Fencing



Form of fencing not recommended. Distracts from historic streetscape. Unsympathetic materials and solid nature.



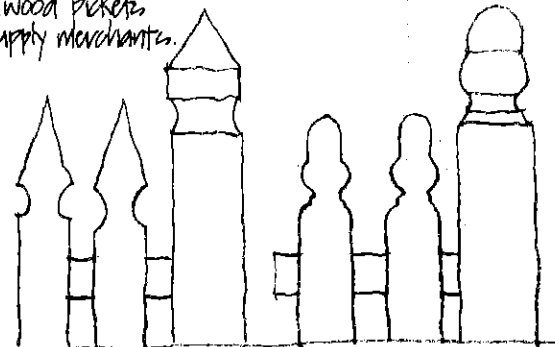
Elevation. Spaced timber picket fence. More elaborate pickets, for elaborate houses. Simpler houses - semi-circular, painted, flush.



Examples of hardwood pickets c. 1905 builder's supply merchants.



Picket fence example from "The Bottoms".



Front fences should be open or light in character to ensure that the building facades are not obscured and that the continuity of building facades is not impaired. A maximum fence height of 1200mm should be considered except in the case of taller Victorian cast iron types designed to match adjacent fences. New fence heights and form should relate to adjoining fences of appropriate form.

Where privacy to the street is required this may be achieved by the use of shutters to windows and by hedge or screen planting behind the fence.

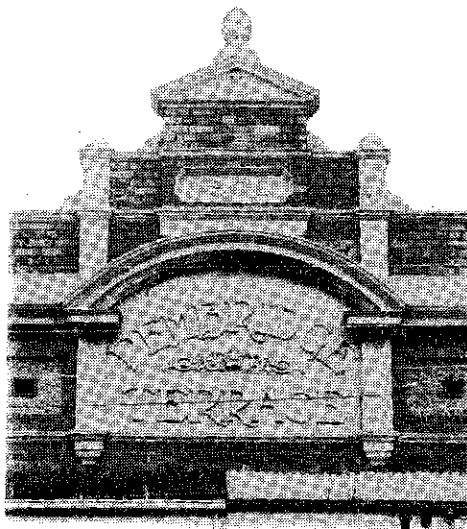
Preferred materials for new front fences are cast iron replica galvanised mild steel/aluminium spear head types, and timber vertical palings or pickets. Timber fences should be stained or painted white, or a neutral colour such as ochre/cream. Posts may be painted a darker shade or contrasting colour (late C19th tradition). Gates and front garden dividing fences should be of the same material as the fence.

Where examples of early public or private front gardens remain, their retention should be encouraged as part of the setting for early buildings.

Policy 5.1.8 "To encourage the sensitive location and appropriate design of signs and symbols".

Generally any existing significant signs and advertising elements including street, directional and place name signs from the Victorian or Edwardian periods should be retained.

Although the issue of appropriate new signage is not as critical in the areas under study compared with the Central Business District of Newcastle, a number of examples give rise to concern. For example the large scale advertising for hotel/motels on the skyline above the beach zone is



Lettering on Buildings - Early examples should be retained.



Unique Product Display - Pacific St.

dominant and out of scale with the close knit character of Newcastle East. Advertising and signs should be considered in relation to the building to which they are attached or associated. There is a need to preserve and enhance the character of significant buildings and hence the scale and character of signs should be in keeping with the scale and character of the building. Signs should also seek to express the proprietor's identity and identify his products, goods, or services. Within an overall framework, creative and innovative design and display of signs should be encouraged but not to the detriment of the visual quality of the environment.

The removal of low grade screens or hoardings which obscure older building facades should be encouraged, as should the retention of building facade details and early lettering on buildings.

Policy 5.1.9 "To upgrade the visual quality of the Inner Areas by encouraging the adoption of appropriate colour schemes for significant public and private buildings".

Such action would do much to improve the historic character of the city by focusing attention on early buildings. For Victorian buildings, a rich colour palette is appropriate and schemes which emphasise the contrast of wall surfaces with quoining (dressed stones at the corner of a building or around openings) and highlight external window and door joinery are appropriate. Strong contrasting colour schemes were generally popular by the 1870's and architectural details of public buildings were often highlighted, in a stone colour with walls of dark red or brown.

In principle new work should have regard to the original colour scheme of the building in question. Research may include stripping existing layers of paint, examining old photographs or sketches for tonal contrast or colours as well as old documents or specifications for written details.

Recent work on the Public School Building, Tyrrell Street, provides an excellent example of public building restoration and colour selection.

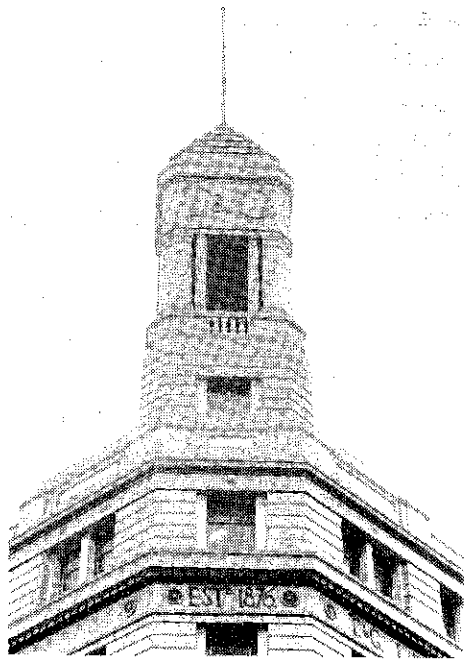
The T & G Office Building and the "Sun" Building in Hunter Street have undergone recent renovation with flamboyant colour schemes based on pastel "post-modern" layering and articulation of architectural detail and they contribute significantly to the visual vitality of that area of the city. It is of some interest, however, to reflect on the fact that the T & G corporate image was based on the repetition of the art deco influenced building form which was painted white in major cities.

Policy 5.1.10 "To encourage the retention and re-instatement of early verandah and balcony forms on buildings generally and in particular for major buildings."

Along with most cities in Australia the street character of Newcastle was dramatically altered during the 1920's with the introduction of hung or cantilevered awnings which replaced verandah posts and original verandah/balconies.

Buildings on prominent corner sites which have been affected include the Grand Hotel in Bolton Street and the Brighton Chambers in Cook's Hill. The restoration of the original verandahs should be encouraged.

The upper level cantilevered balcony is characteristic of the terrace housing form prevalent in the Study Areas. It is particularly important to support and encourage the retention and restoration of these elements and to prevent further demolition and unsympathetic modification. In restoration work, cast panels for balustrades can be obtained from foundries or in the case of cantilevered balconies, commercially available cast aluminium panels may be preferred given their



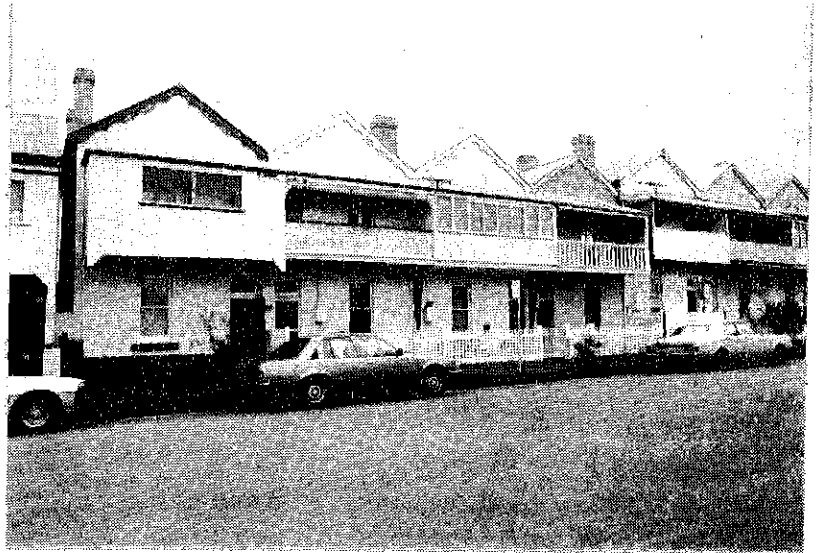
T & G Building



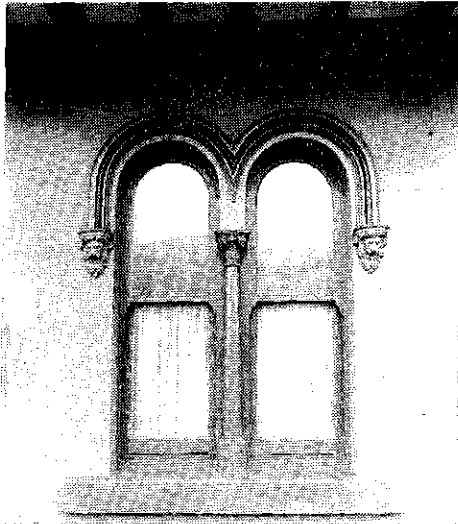
Cantilevered Balconies - Stevenson St
Should be retained / reinstated. Note brackets + joint details.



Repetition of facade widths and gable end. Essential characteristics for any adjacent infill development.



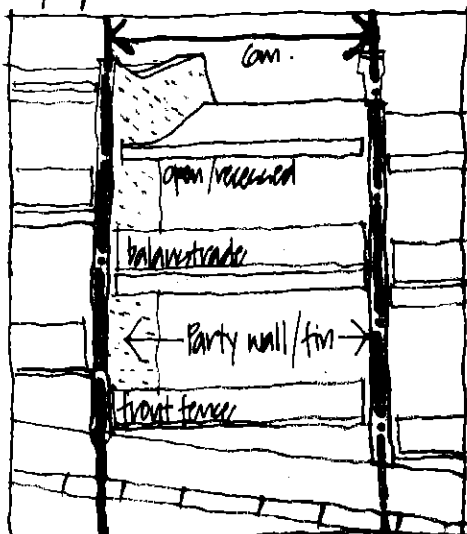
Corlette Ct. Cooks Hill. Terrace group. Characteristic upper balconies. Restoration of enclosed verandahs to open form would enhance streetscape. Uniformity of paint colour and fence types would be advantageous. (eg. consistent picket fence).



Victorian window detail. Narrow arched double hung type with arched label mould, lion heads, and central column. Should be retained and highlighted in colour schemes.



Zaara Ct. Newcastle East. Terrace group and corner house. Central terrace sympathetically restored. Dark external walls and architectural details highlighted. Historic character of the street would be improved by opening balcony on right, reinstating iron work, and consistent colour scheme for group.

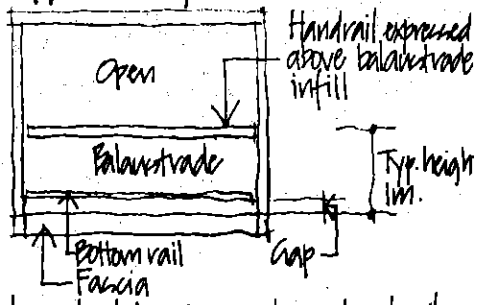


Strong vertical facade elements. Should be dominant visual elements in any adjacent new development.



Perkin Ct. The Hill. Quality Victorian terrace. Brick front fence incompatible. Balconies should be re-opened and restoration encouraged.

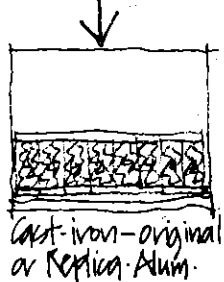
Upper storey balconies.



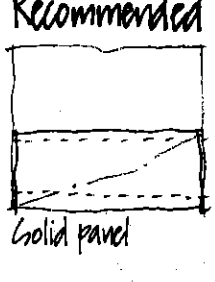
Important to express elements clearly. Handrail, panel, gap between rail + fascia.

Recommended

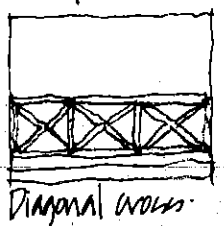
Not Recommended



Cast-iron - original or Replica Alum.



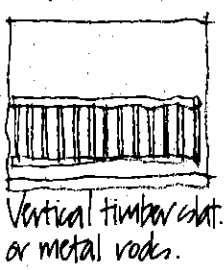
Solid panel



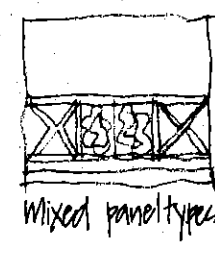
Diagonal cross.



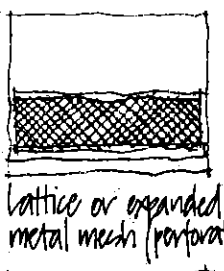
Boarding.



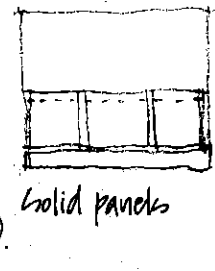
Vertical timber slat or metal rods.



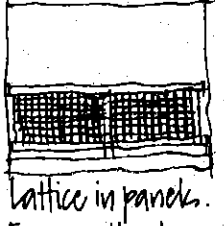
Mixed panel types.



Lattice or expanded metal mesh (perforated).



Solid panels



Lattice in panels.

Essentially the panel should be of a single material, and be perforated or open rather than solid.

relative lightness and resistance to corrosion. The replacement/restoration of cantilevered balconies in poor repair is a job which requires certain carpentry skills. A separate technical note on constructional aspects and detailing of cantilevered balconies may be considered by Council for distribution to builders.

In any major public or private building works the rebuilding of original verandahs, entry canopies, balconies etc., together with the removal of unsympathetic structures or enclosures is desirable. In the Victorian Period, verandah roofs were often treated with alternating bands of paint and such decorative details should also be incorporated. Where necessary and practicable the kerb line should be moved further into the carriageway to avoid vehicle damage to verandah post supports.

Consideration could be given to the establishment of a fund to provide financial incentives for owners to re-establish early facades and for the use of early colour schemes. Funding could be at local or State levels or a combination of both.

5.2 Urban Conservation

Conservation Objectives "To protect and conserve buildings, structures, sites or areas of historic or visual significance as a vital part of the heritage of Newcastle, New South Wales and Australia".

Urban conservation is related to a desire to retain real evidence of past buildings and places of cultural significance for present and future generations.

Individual buildings, structures, sites and areas of historic, architectural, cultural, landscape or visual significance comprise the essential fabric or "building blocks" of the character of special places, towns or cities. The removal of individual elements within an historic environment represents an irreplaceable loss, while unsympathetic additions or physical deterioration of elements gradually erode the quality of an area.

Within the Study Areas a number of important individual buildings have been retained from the Colonial Period, a range of major late 19th Century Victorian public buildings, commercial buildings, an Urban Park, a smaller collection of 20th Century buildings of significance, together with a wide spectrum of residences from each of those periods.

An Inventory of Heritage Items has been prepared based on existing data and research work undertaken during the course of the study. Although the Inventory has some 130 entries, it is not exhaustive and does not list every building or place within the Study Areas which contributes to the City's historic character. This later category is, however, mapped on the preceding Townscape Analysis Maps. The Inventory covers elements considered to be of heritage or environmental significance which should be subject to special design and planning consideration.

Policy 5.2.1 "That any Heritage Items shall not be demolished or substantially altered without approval (of the consent authority ie. Newcastle City Council or the Heritage Council where items are subject to a conservation order). Demolition and alterations should generally be discouraged while sensitive internal renovation and upgrading should be encouraged."

In alteration work emphasis should be placed on the retention of intact contributory building facade elements visible from the street.

Policy 5.2.2 "Where an item is unused, under-utilised or threatened, a compatible use should be sought to ensure effective conservation".

Examples of historic buildings which have been "recycled" include:



- The Piccardi Centre - King Street. Successful conversion of a bond store to shops and offices.
- The Cohen Warehouse - Bolton Street. Menkens designed facade retained and incorporated in car parking and office building.
- Telford House. Former Church building now integrated with new residential development.
- Zaara Street Gallery/Cohen Bond. Conversions of bond/storage spaces to craft and studio uses.
- Fort Scratchley has seen a change of activity from military to museum use.

A number of important heritage items remain unused and in some instances threatened, due to the prevailing difficult economic climate, indifference by Authorities, or by incompatible uses. These include the Earp Gillam Bond Store for which there is an approved development application for luxury residential apartments, the former Station Masters House in Scott Street, the Pay Office in Bond Street, and the former Olympic Hall - today a car parking station.

Residential terraces in poor repair exist in Cook's Hill and Newcastle East. In a number of instances balconies are in a precarious state of disrepair.

The retention of these buildings is recommended and appropriate new uses should be sought.

Renovation/restoration of these buildings should be positively encouraged by Council and State Authorities and may require the introduction of a revolving building fund administered by Council and/or National Trust, as well as the grants available from the Heritage Council of N.S.W.

Policy 5.2.3 "The removal of unsympathetic or inappropriate additions to Heritage Items should be encouraged by increased community awareness of the historic and visual importance of such elements".



*Former Sailor's Home - low quality
unsympathetic additions.*

Of particular importance in this regard is the removal of low quality residential verandah/balcony additions so prevalent within Newcastle East and Cook's Hill. Such incremental actions would do much to improve the historic and visual character of the areas and to re-establish the significance of key buildings such as the former Sailor's Home in Bond Street.

Alterations to external facades or fences of Victorian or Edwardian buildings should be undertaken as part of a process of restoration or re-instatement of original features.

Evidence of original form and components may be best gained from existing remnants, early photographs or adjacent buildings from the same period.

Policy 5.2.4 "New additions or modifications to the external appearance of elements should respect the original architectural style, built form and character".

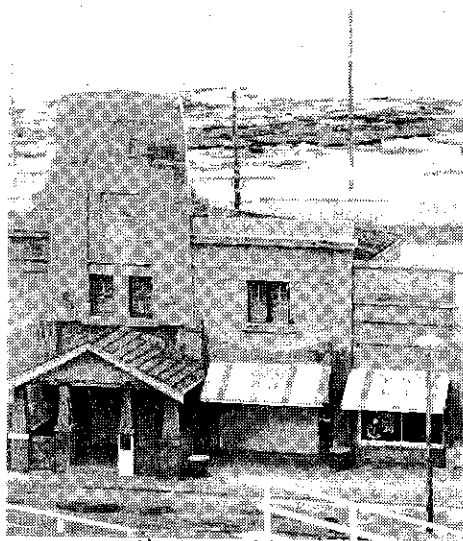
Essentially Policy 5.2.4 is aimed at ensuring a sympathetic blend of old and new. The critical items in this respect are scale, form, materials (including colour) and siting. Supporting policies include:

Policy 5.2.5 "The siting of additions should respect the character of the historic building and seek to minimize the impact of change."

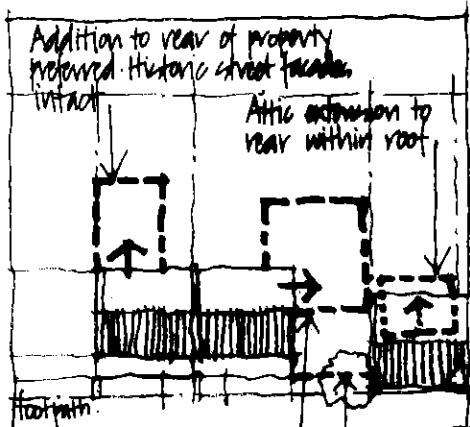
For this reason the principal street facades, and in some instances, the side facades should not be significantly amended. Additions are generally best located to the rear or to one side of the building.

Policy 5.2.6 "The scale and massing of additions should not dominate the old."

Extensions should respect the scale (ie., height and bulk) of the existing heritage element. For example, large two storey additions to the side of or above a single storey Georgian cottage would not be compatible.

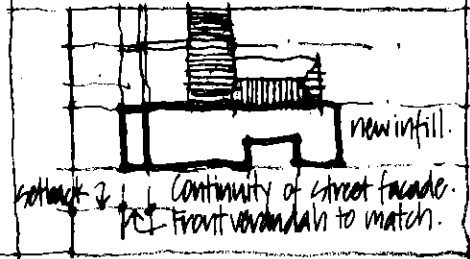


*Unsympathetic Additions
Should be removed.*

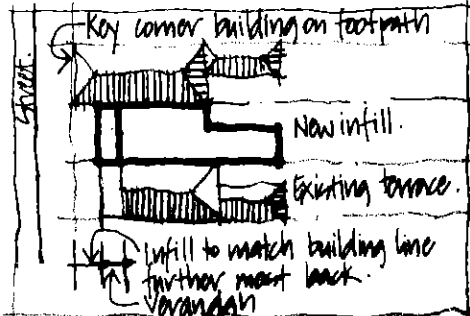


Addition in rear site may be recessed and landscaped or set to existing building line

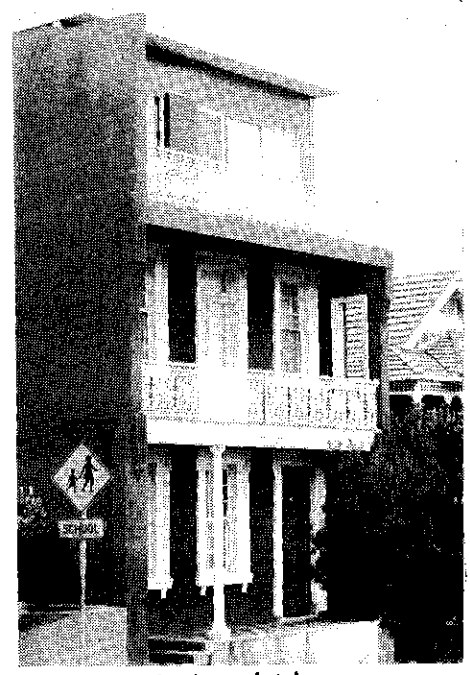
Setting of Additions. Recommended



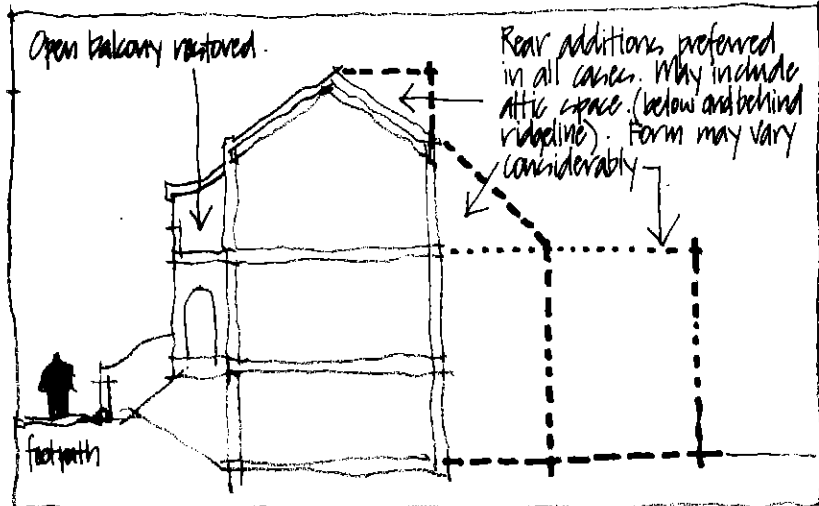
Getback



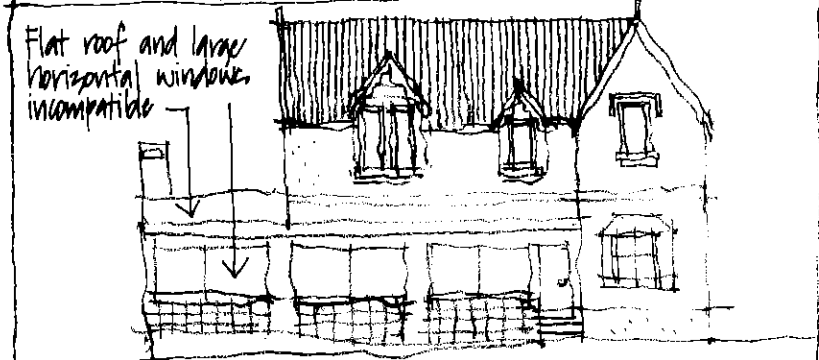
Getback Generally street continuity is preferred to reinforce urban residential qualities.



Unsympathetic Additions. Distortion of original form. Flat roof.



Location of Additions. Recommended to rear of historic facade.



Unsympathetic. Not recommended.



Character of Additions. Victorian Gothic residence.



Unsympathetic Additions. Grott Ct. Low grade balcony enclosures. Attic extensions to front facade.

Policy 5.2.7 "Additions should respect the existing building form."

The most important aspects of form are roof type and pitch, verandah, the spacing of supports and window proportions. The roof form and pitch should closely resemble, if not match, the existing. Mid-Victorian Gothic, Late Victorian and Federation (Queen Anne) residences often feature steeply pitched roofs, while Georgian cottages tended to be less steep. The modern or "International Style" favoured flat or concealed roof areas behind horizontal parapets. A repetition of eaves and projections may help tie the new works to the old. The size, proportion and position of existing openings (windows and doors) should be reflected in the new works. The extension of an existing verandah can integrate new and old works and verandah post spacing should, where possible, match existing.

To approximate or match sill, head, fascia and wall/roof junction heights and lines is also a simple means of relating old and new.

The "Pavilion" approach has also been used successfully. This involves repeating the mass and form of an existing building to the side or rear.

Policy 5.2.8 "Materials and detailing used in additions should match, as closely as possible, those used in the listed building."

Often it is not possible or desirable to duplicate the existing materials due to cost constraints, lack of availability or the desire to clearly express the original structure.

The principle should be to use materials which match or approximate the building elements of the earlier work in size, style and type of finish.

For the few remaining Georgian period buildings in Newcastle, materials are likely to be brick, or timber boarding while finishes are often whitewashed stucco or light cement render.

Timber and brick were used extensively in the Victorian period, with brick sometimes rendered and painted, while roofs were predominately galvanised iron. In the Federation period red brick and orange terracotta tiles (known as Marseilles tiles, first imported from France c1890's) were most popular although the use of timber as external cladding continued (eg. "The Bolttons"). It is still possible to obtain these materials and their use is recommended.



The Bolttons - Timber cladding and elaborate timber detailing.

Colours for additions should be harmonious with existing buildings to help integrate new and old work. A good example of this is the self effacing small extension to the Baptist Tabernacle in Cook's Hill.

While the final selection of appropriate materials will be closely tied to the particular building under review the following guide provides a broad framework of acceptable materials.

ROOF

Georgian	Corrugated iron (painted/unpainted), timber shingles.
Victorian	Corrugated iron (painted/unpainted), slate (or acceptable facsimile).
Federation/ Edwardian	Corrugated iron (predominately painted red); Marseilles tiles; some use of shingles (on window hoods).

Plastic roof tiles are not recommended.

Verandah Corrugated iron, straight, bullnose or concave. In the Victorian period the striping of verandah and balcony awnings was often undertaken. Stripes were mostly the width of a single sheet of iron (say 85cm) and colours most commonly used were red and white (or off white), greens and browns for dark stripes and cream for light stripes.

WALLS

Georgian Brick smooth faced painted (normally white) or rendered, sandstone, timber boards, concrete blocks, rendered or painted to match stone work.

Victorian Primarily brickwork, most often rendered and painted, some exposed. Timber weatherboard painted, profile or section to match existing as closely as possible.

Federation Red brick exposed. Weatherboards. Some public buildings rendered and painted. Red brick, stucco, rough cast painted combinations, painted timber and boarding on gable ends. Dark painted woodwork (Bungalow Style).

Brick boarding or similar applied imitation finishes should not be permitted.

OTHER

Georgian Windows generally small, in a vertical format, often six or twelve pane, timber stained.

- Victorian Vertical format windows, french doors with shutters, high gothic proportions. With Italianate, curved forms and arches may be appropriate on windows and doors. Often curved galvanised iron verandah.
- Federation Gable forms, deep eaves, wide verandahs with timber detailing painted white. Vertical format windows, casements often with coloured glass panes.

Where known or identifiable the original colour schemes for residential buildings should be pursued. Otherwise the following may be used as the preferred guide.

The early Colonial or Georgian tendency for white or light coloured wall surface began to decline toward the middle of the C19th and exterior wall colours tended to become darker with stone colours through to dark beige in addition to ochre and creams. Dark ochre, red oxide, and stone (beige to brown) were popular with contrasting colours emphasising planes and subdividing wall areas. There was little use of white or light cream for walls. Exterior trim was often buff, red oxide, brown or dark green and occasionally white.

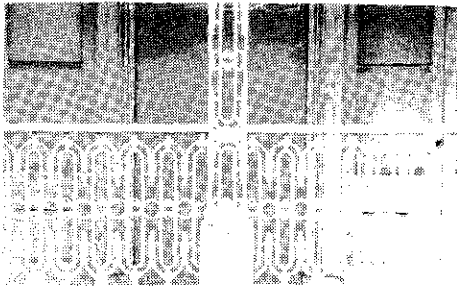
Toward the end of the century and into Federation mid to dark neutral colours, were used with less contrast than previously and included stone, burnt umber and red oxide. Trim was dark green, buff, red oxide and white became popular.

Where terrace duplexes and row house groups are painted, the use of common colours should be encouraged.

As part of any restoration process stripping of original cement rendered surfaces should be

avoided. Care should be taken in the removal of any paint from brick, stone or other surfaces that were originally unpainted (note that sand blasting can cause damp or structural problems and impair quality).

Information about replacement components or building elements as well as suppliers and builders who specialise in early buildings may be obtained from the Heritage Council of NSW, the National Trust of Australia (NSW) or from a range of publications dealing with restoration and renovation.



Policy 5.2.9 "Retain as far as possible original architectural details and fittings to retain the period style and character of early buildings."



Original Detailing - Should be retained.

Important items of architectural detail such as timber or iron verandah posts curved balcony supports, ornamental cast iron, cement render or elaborate timber work on verandahs, windows and roof gables should be retained. As with all building materials they will require continued maintenance and repair. Details such as 12 pane sashes, coloured casement or timber framed leadlight windows, ornamental woodwork, fancy ridge capping or elaborate chimneys all represent elements vital to the character and value of buildings of different periods.

Timber windows and joinery should be repaired or replaced by similar construction. The use of aluminium windows, particularly in front facades, is not recommended.

It is sometimes more expensive to replace original details with modern components given the need for additional repairs to walls or structure (eg., aluminium windows replacing timber, removal of bay windows). Maintenance costs of timber work may also be minimised by regular use of non-peeling acrylic gloss paints.

Where security screen and bars are required, they should be simple in design and compatible with the character of the dwelling. Front doors should be timber framed and security bars should be either straight single bars or cast iron types similar to those used in the Victorian and Federation Periods.

Today there is increasing interest in early dwellings which retain their character. As a result it is not uncommon for unsympathetic modification or replacement of elements to adversely influence the value of a property.

The current use of cast iron decoration on buildings or fences (on other than Victorian buildings) alters the authenticity of the building and is not recommended. Similarly, the application of non-functional "period" elements such as louvre doors for external shutters which do not match window openings should be discouraged.

5.2.10 "Vehicular entrances and garage additions should have minimum impact on the structure and site and on views from the street."

Where possible the vehicular entrance to any site should be from the rear, or from the rear side portion in the case of a corner block.

Generally carparking should not be provided in the front or side gardens. Where access is necessarily from the front of the site the vehicle should be parked in an area or enclosure not directly visible from the street. Appropriate and sympathetic gates/fences and landscaping will be required. Where the vehicle is accommodated on a gap site between two storey terraces, it is preferable that the garage be designed as part of a two storey infill structure that links and relates to the adjacent terraces.

In a great many cases vehicles simply cannot be accommodated on site. Street parking for residents should be maximised (eg. resident priority parking) and appropriately landscaped in all cases to reduce the demand for off-street parking. Where feasible, carriageway narrowing with angle parking may be appropriate.

5.3 New Development

Conservation Objective "To ensure that new development within the Study Areas is compatible with the existing visual, historical, built and landscape character where relevant."

New commercial and residential works in the inner areas will generally take the form of infill development within the established commercial, institutional or residential fabric. Where this is adjacent, or related, to historic buildings or areas, the adoption of harmonious design principles will help conserve the special building or environmental character of the area.

Compatible new development also provides a wider benefit by ensuring that the quality and amenity, as well as the financial values of an historic area are not jeopardised.

The following policies and guidelines have been prepared to help ensure that new development is in sympathy with, and has respect for, the existing city character and urban environment. The policies are based on the principle of architectural good manners and seek to achieve a broad compatibility of character.

The most important aspects of new development are scale, form, materials and siting.

Policy 5.3.1 "The scale and massing of new development should not dominate existing buildings."

Where development is primarily small scale, new buildings should not appear so large that they dominate neighbouring early buildings. In residential areas, two to three storey residential work is generally appropriate. Infill or development adjacent to terraces should match the existing buildings in terms of scale and massing.

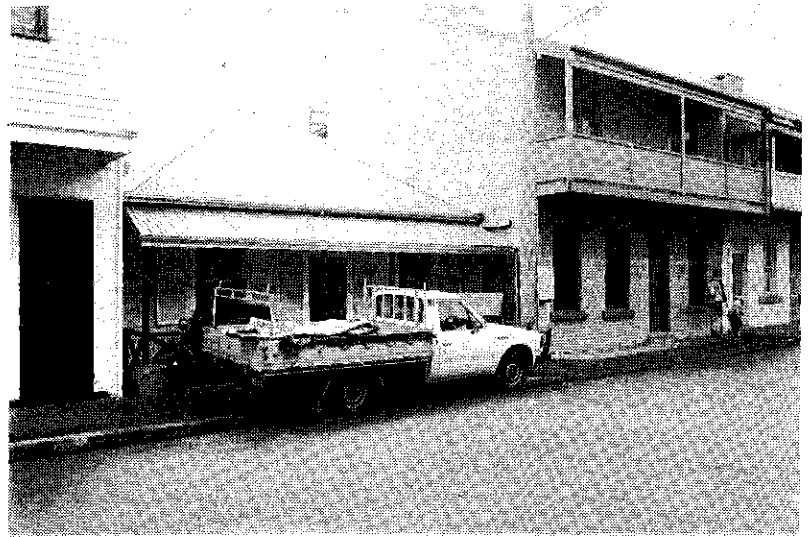
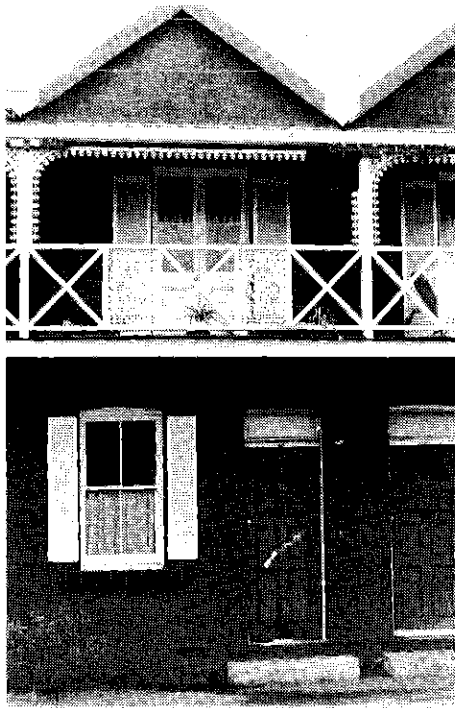
Such a policy will ensure that the existing urban skyline or profile of the Hill and Newcastle East will largely be conserved.

In commercial areas the articulation of large masses into smaller units and/or the stepping back of larger elements from the street front is important. The proportions and facades of adjacent buildings may be used to achieve a compatible scale and to maintain visual interest and continuity.

The height of new commercial development generally may increase with distance back from the historic building line, but at this line, new development should relate closely to the existing height and set back of immediately adjacent historic buildings. Such consideration will minimise the impact of new works on the view from the street.

Policy 5.3.2 "The form of new development shall be in keeping with the built form of adjacent buildings or early types."

Generally Georgian buildings have simple rectangular forms with hipped roof and verandah to the front. Victorian, Gothic or Italianate dwellings are often asymmetrical with high pitched roofs and protruding gables or bay windows and a verandah to one side. Queen Anne buildings display high pitched complex roof forms and verandahs and Bungalow or Classical Revival buildings tend to be more symmetrical with low pitched roof lines and horizontal emphasis with front entry porches and verandahs. In residential areas such overall built form features should be reflected in the new development and in particular the roof form and angle of slope should relate to neighbouring examples. In some particular areas the dominant roof form may be a parapet with verandah roof below and the use of these elements in new infill should be encouraged. Flat roofs are generally not appropriate.

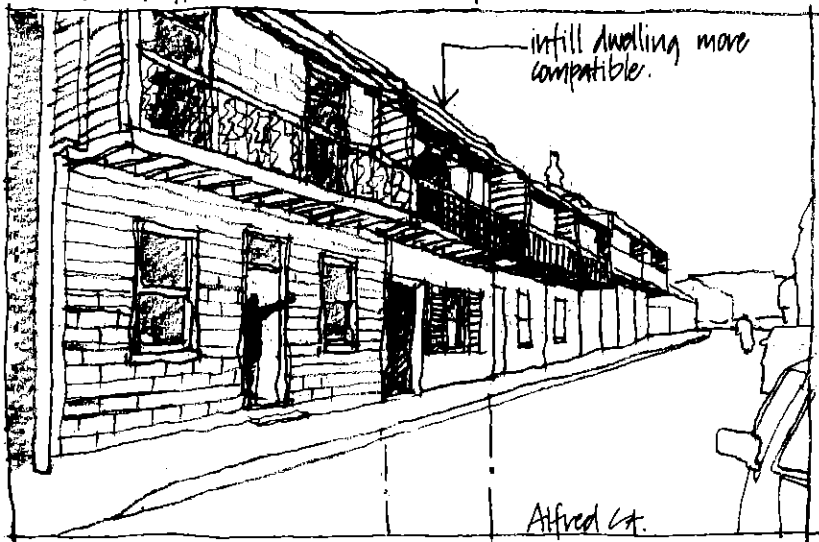
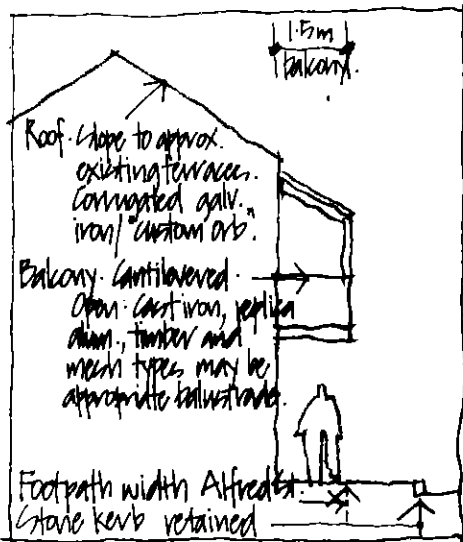


Owner Renovation and Infill. Upgrading of single storey cottage underway. Georgian form is atypical in Newcastle East. 12 pane windows, timber shutters - early details. Adjacent infill is compatible in terms of scale (2 storey), relationship to predominately 2 storey terrace/balcony form and fenestration (windows and openings). Exposed brick not typical!

Detailing. Original detailing should be restored. Detailing for new work should be carefully considered if it is to imitate historic styles. The above example is generally unconvincing due to timber louvres (not shutters) obviously fixed and non-functional; reproduction cast-iron on verandah posts and the mixture of timber brace and feature cast-iron panel for balustrade.



Unsympathetic infill. Second brick facade is out of character with typical terrace form. No upper cantilevered balcony. Concealed roof behind front parapet. Feature brick in otherwise timber facades. Sketch below illustrates appropriate infill form. 2 storey, upper balcony, roof type similar to existing, compatible details.



The existing residential character of the Study Areas is quite mixed and further diversity with the introduction of contemporary building is appropriate. Certain design principles however will aid in integrating new works within the overall visual pattern.

The front facade of a new building may reflect existing roof ridges or parapet lines. Where appropriate, the inclusion of a verandah with post supports at centres close to those of neighbouring buildings can help integrate the new with the existing.

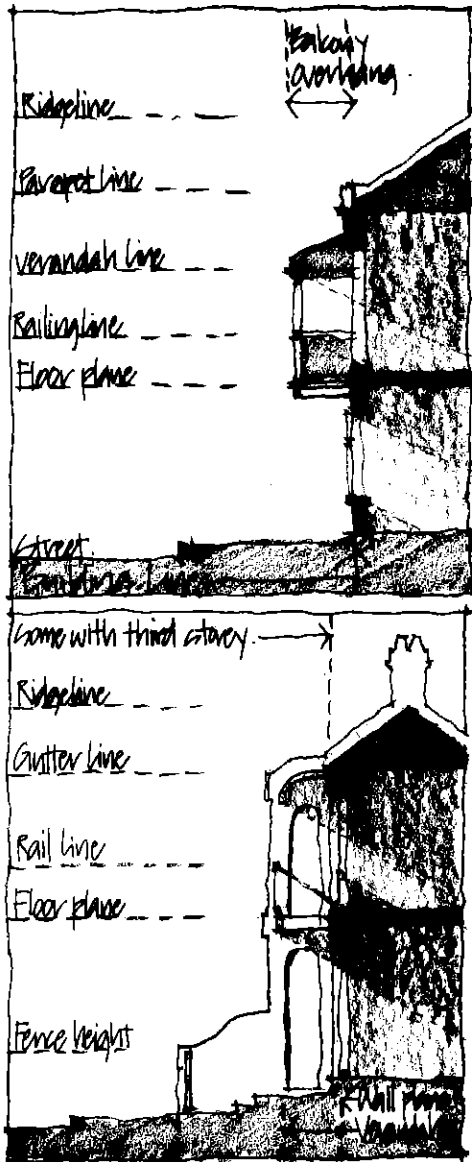
Fenestration should reflect historical examples and, where large areas of glass are planned, should be adequately shielded by verandahs where exposed to public view. Where a new building is immediately adjacent to a listed building, the actual form and detailing (eg., sill heights, fascia boards) should more closely reflect the established pattern.

The recent Housing Commission terraces in Telford Street and the infill housing group on the former Box Factory Site in Cook's Hill are good examples of compatible built form. Such medium to high density, low rise infill development is appropriate as part of the upgrading process of the areas under study.

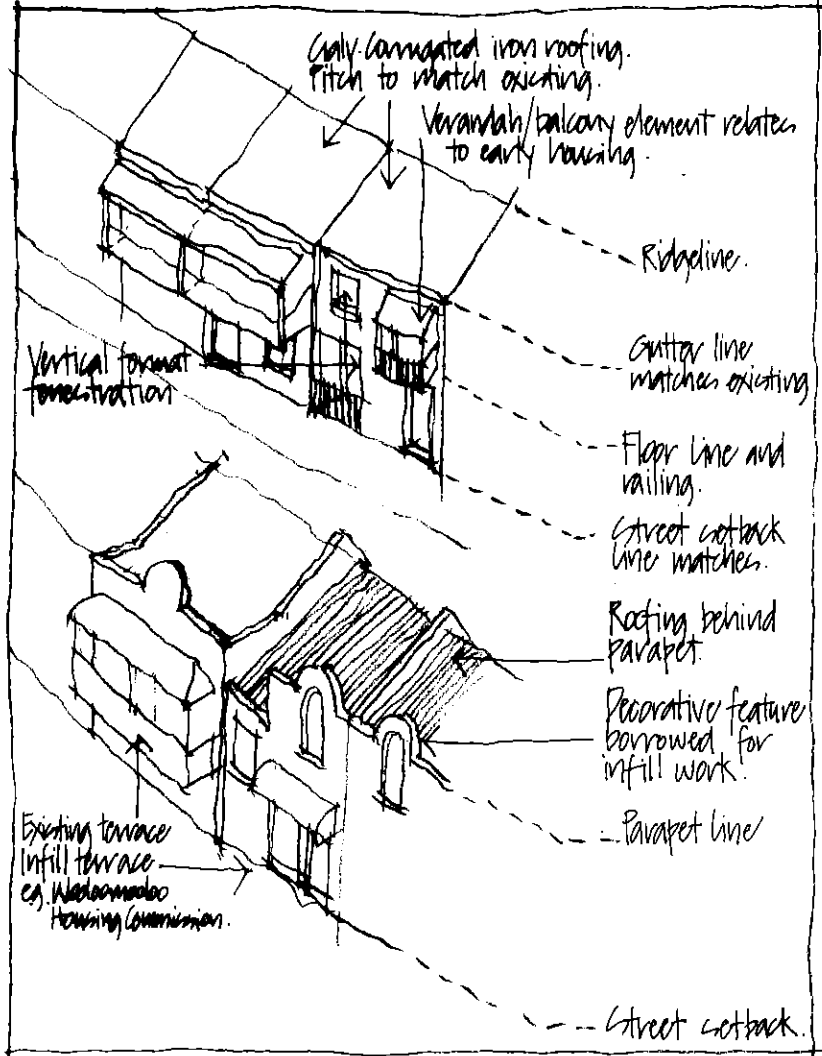
Policy 5.3.3 "Materials for new development should be compatible with existing and/or adjacent historic examples."

With extensions to identified buildings, the use of matching materials is preferred. With new development there is more scope for the successful use of a wider range of compatible materials.

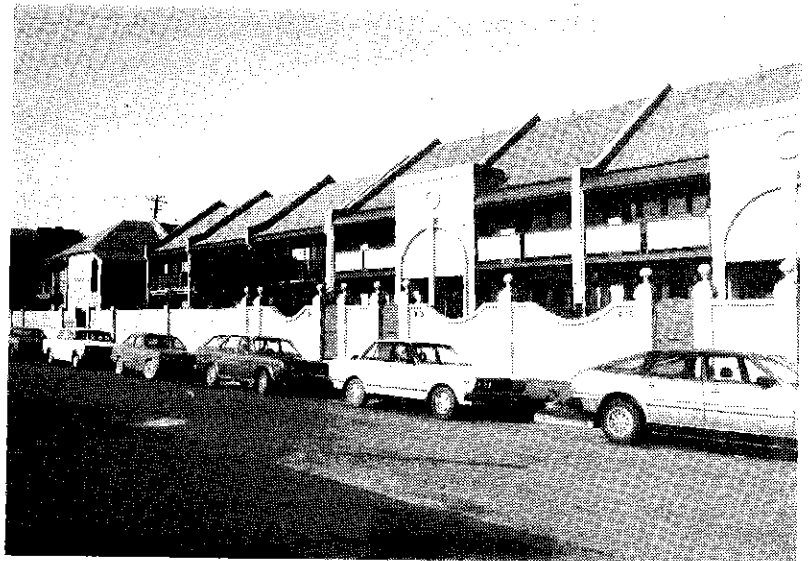
In terms of new development, it is important to note that materials are of less significance than form, siting, scale and colour in ensuring that new work is compatible with, and reinforces, street character.



Control Heights or Planes.



Guidelines for the Design of Infill Housing:
 New housing infill should relate, in terms of scale, siting, form and use of materials. It should reinforce the dominant small scale close knit character of Newcastle East and Cooks Hill. Infill housing may utilize decorative elements for neighbouring early housing and the matching of some of the heights or planes of adjacent dwellings is a good way of integrating old and new.



Infill Housing: Compatible in terms of scale, form and detailing.

The prevailing or dominant wall and roof materials in the area or street are generally preferred. Roof materials visible from the street should be corrugated iron, possibly slate, and for new infill, neutral coloured metal decking would be acceptable. Terra Cotta tiles are acceptable mainly in areas of Federation housing. The preferred materials for front walls are cement render (painted or unpainted), painted weatherboards and in some areas either exposed brickwork or painted brickwork. Fenestration or openings in front facades (windows and doors) should have timber frames and surrounds.

The proportion of openings should reflect earlier practice and be a vertical rectangle form. The use of "salvaged" early panelled doors and French doors for upper level openings is appropriate.

Policy 5.3.4 "New development should respect the siting of adjacent buildings in terms of front and side setback distances.

The aim is to ensure that new works do not visually detract from the setting or prominence of key identified buildings. In residential areas siting and setback provisions should be generally in accordance with existing practice of building on or close to the front and side boundaries, reinforcing the tight urban pattern. Where necessary detailed siting and setback provisions have been identified in the Draft Development Control Plan for Newcastle East.

5.3.5 Other Considerations

Where possible, walls and fences should relate to heights and setbacks of adjacent buildings and fences. Existing fences and setbacks should provide the basis for materials and the design of new fences. It is neither necessary nor necessarily desirable to reproduce the old, but new

work should be sympathetic in character and scale. Fencing will generally be of elements in the vertical rather than horizontal format.

Architectural elements may be borrowed or adapted from neighbouring buildings to provide a visual link. Such elements could include verandah form, balustrade or fence details, window form or shutters, pediment forms or porches, chimney stacks or pots, etc.



Window and Door types and openings.

5.4 Land Use

Conservation Objective "To ensure that land use is compatible with and enhances the essential historic and visual qualities of Newcastle."

The type and location of specific land uses can have a marked impact on heritage items and areas.

Generally, land uses proposed within the Study Areas are compatible with conservation of existing and historic qualities.

The retention and intensification of residential uses enjoys wide support at community and Council level and the loss of heritage items or areas by either incompatible land zoning or future use is not envisaged.

Policy 5.4.1 "Review current industrial and commercial land zonings with respect to the retention of listed buildings or areas of historic or visual importance."

This is currently being investigated in Cook's Hill and it is proposed to rezone the area facing Laman and Gibson Streets from general business to residential.

5.5 Movement Patterns and Car Parking

Conservation Objective "To improve the present levels of environmental amenity and safety for pedestrians and motorists, and to minimise the visual impact of new roadworks in heritage areas."

Policy 5.5.1 "Identify streets for possible partial closure and associated landscape work."

A number of street enclosures have already been identified in previous planning studies. They include the closure of Zaara Street at Scott Street, the pedestrianization of Alfred Street and the closure of part of Laman Street in Cook's Hill, adjacent to Civic Park, to reinforce the existing cultural/civic axis and for use as an outdoor exhibit area.

Policy 5.5.2 "Generally improve and connect the pedestrian system with the Study Areas and in particular provide access from parking and residential areas to community and recreational facilities."

The harbour and beach front zones in particular require detailed attention to upgrade pedestrian facilities and links in conjunction with heritage items.

5.6 Economic Activity and Tourism

Conservation Objective "To diversify visitor appeal and actively promote the historic and natural attributes of Newcastle as a means of ensuring the continued economic contribution of tourism to the city economy."

This has been recognised in part by the City's commitment to the Harbour Foreshores upgrading and by the preparation and release of the "Newcastle Heritage Walks" brochure, an excellent guide to the City's most interesting built and natural heritage.

Policy 5.6.1 "Together with the heritage trail publication develop a consistent historic building and place identification system as a major visitor attraction."

The heritage routes may be signposted and key identified buildings could have an information plaque, while urban spaces and sites of particular interest would be identified.

Similar trails have been developed in many European and American historic towns as well as some Australian towns. Historic building identification is also commonplace overseas. Australian examples include Carcoar in NSW, and the Sydney Cove/Rocks area.

5.7 Community Awareness

Conservation Objective "Encourage increased community awareness of the Study Area's intrinsic historic, visual and environmental qualities and the need for conservation measures."

There is a growing awareness within the community of the need for conservation measures to protect and enhance the historic qualities of Newcastle. This awareness may be based on aesthetic, cultural or financial concerns and is reflected in increased activity by local community interest groups.

While the responsibility for implementing conservation measures such as those detailed in this report rests largely with the City Council, the Department of Environment and Planning and to a lesser extent, other bodies involved with individual buildings, the role of the wider community should not be underestimated. Urban conservation is much more than the retention of key historic buildings such as Christ Church Cathedral, Customs House, and the Baptist Tabernacle. The extensive number of early buildings which contribute to the character of the inner areas highlights the need for community support and understanding of conservation objectives. The cumulative effect of a series of small, apparently unimportant or unrelated actions by residents, developers or Council can lead, over time, to an erosion of the City's historic character. Individual actions might include the removal of a picket or iron fence, the enclosure of a verandah or balcony, the demolition of a building, the use of an inappropriate colour scheme, or the removal of street vegetation.

There is a need to develop greater public awareness of Newcastle's heritage and those forms of development which are sympathetic with the existing character. It will also be important to provide

resources which can be readily accessed by the public for advice and guidance on development/conservation matters.

Policy 5.7.1 "Information broadsheets or pamphlets should be produced summarising the conservation policies and guidelines.

The material should highlight the essential qualities of the Study Areas and the main conservation proposals. Appropriate forms of new development and ways in which existing buildings can be sympathetically modified should also be covered.

Such pamphlets would provide residents and commercial interest alike with a clear indication of the types and forms of preferred new development.

The material would also provide guidance for individuals carrying out minor modifications or regular maintenance. Such broadsheets or pamphlets could also be featured in the local media.

One further way of publishing the conservation intent, aims and policies would be to mount an exhibition incorporating the research findings and policy proposals stemming from this study.

Consideration may also be given to publishing the report for purchase at a price to cover printing costs.

SECTION 6

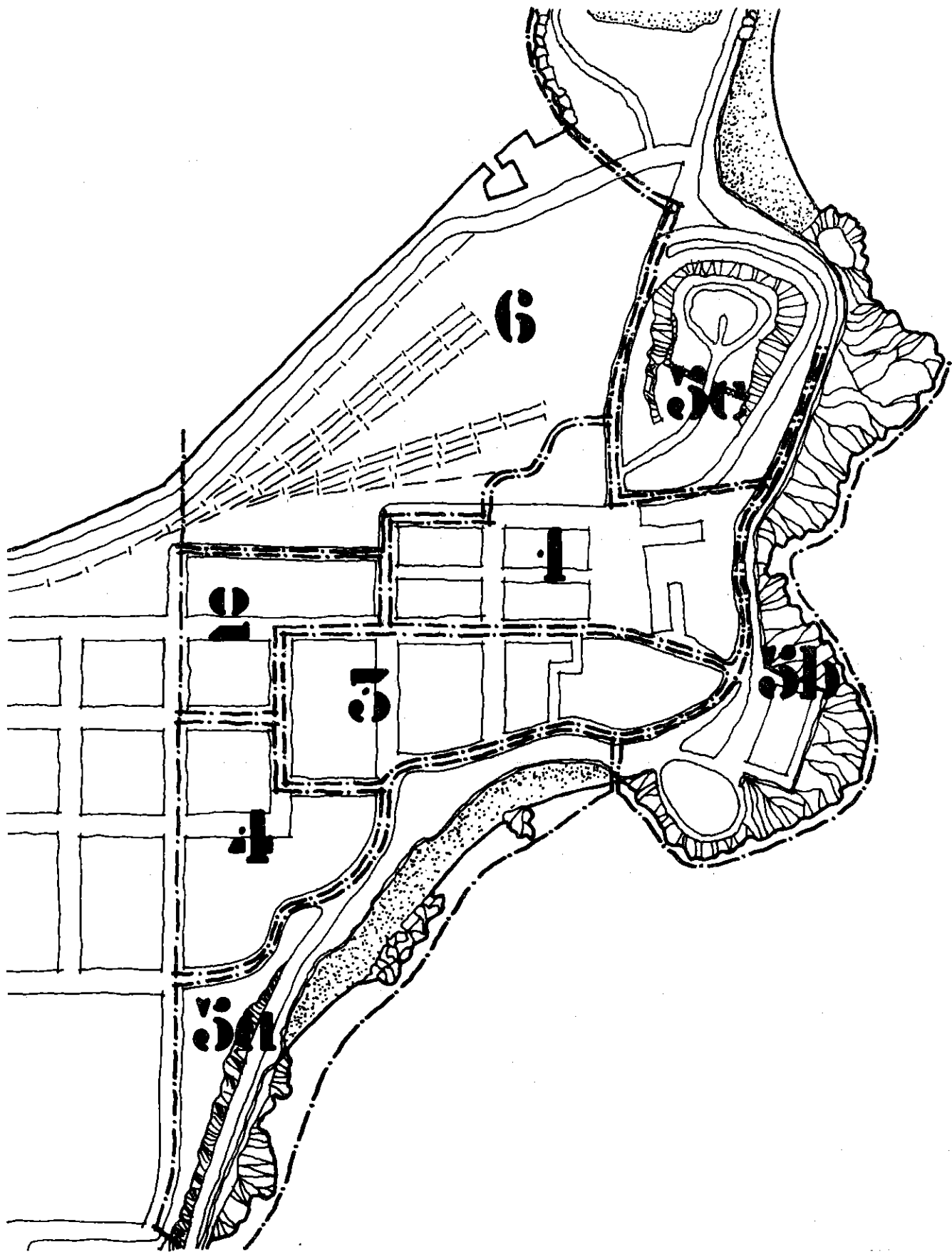
SECTION SIX: DRAFT DEVELOPMENT CONTROL PLAN
GUIDELINES FOR NEWCASTLE EAST

Introduction

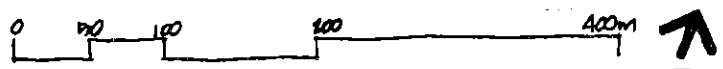
The following section of the report develops in more detail the preceding Heritage Objectives and Guidelines for the Newcastle East Study area. This material has been prepared on a precinctual basis with guideline plans for each of the six identified precincts. The guidelines sheets identify heritage items which should be retained, those which should be retained if possible, areas which may be developed, setbacks of new development street closures and landscaping intentions where these are relevant.

The precincts listed are:

1. Newcastle East Residential Zone
2. Customs House/Central Business Area
3. Mixed Use Zone
4. Hospital Zone
5. Recreation Zone
6. Harbour Foreshores



- 1. Newcastle East Residential Zone
- 2. Customs House - Central Business
- 3. Mixed Use Zone
- 4. Hospital Zone
- 5. Recreation Zone
- 6. Harbour Foreshore.



**NEWCASTLE INNER AREAS
CONSERVATION PLANNING STUDY**
 Draft Development Control Plan Guidelines.
 Newcastle East - Location of Precincts.

Prepared by
SUTERS BUSTEED • LESTER FRITH
for
THE COUNCIL OF THE CITY OF NEWCASTLE
and
THE DEPARTMENT OF ENVIRONMENT AND PLANNING

Map.

6.1 PRECINCT ONE: NEWCASTLE EAST RESIDENTIAL ZONE

Desired Future Character

This inner city area should remain and develop as a distinctive residential precinct of considerable heritage value. Key buildings, building groups and streetscapes should be retained and restoration/sympathetic renovation encouraged. There is scope for sensitive new infill development within parts of the precinct, particularly to the east and northern edges to reinforce the residential land use. Selective street closure and landscaping measures should be undertaken to strengthen the areas special identity.



*Parnell Place Coal Monument.
Previously relocated to this site. Should be
retained at head of Stevenson Place.*

Guidelines

The need for detailed heritage guidelines is crucial in the area bounded by Scott and Telford Streets and Stevenson and Parnell Place.

Restoration and renovation works should be in accord with the study guidelines (Section 5) and particular attention should be directed to upper storey balcony retention and reinstatement, sympathetic colour schemes for terraces, the retention of original architectural details etc. The following map identifies heritage items which should be retained, those where the fabric should be retained if possible, and in addition those buildings or areas which could be redeveloped. Detailed comments on townscape issues include eye level brick fencing along Stevenson Place which disrupts the early streetscape, the painting of the corner unit of the exposed brick Pembroke Terrace which should not be repeated elsewhere, although the scheme itself is an attractive one. Other dwellings in Stevenson Place show signs of neglect and possible incentives by Council should be considered to encourage renovation work. It is important to ensure that renovations reflect the

style of the dwelling or building in question and the replacement of Federation detailing with reproduction Victorian details should not be supported.

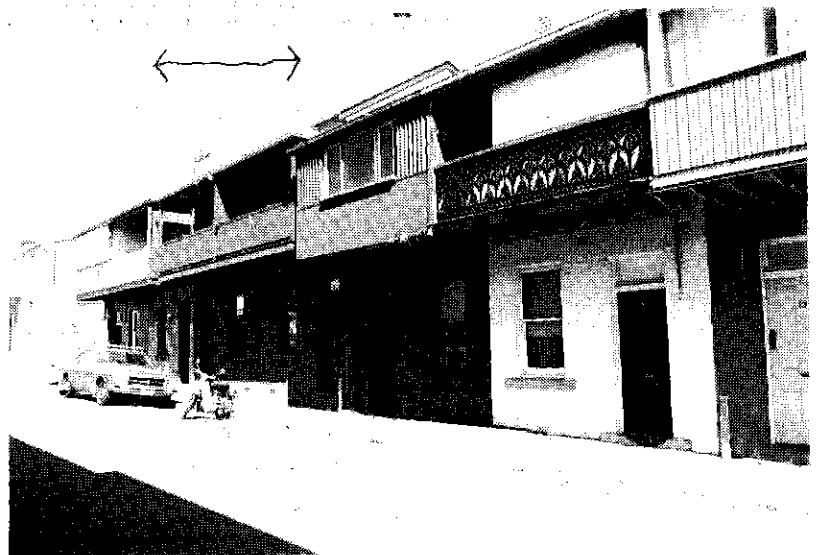
New infill development has been undertaken in Alfred Street to a high standard and clearly illustrates the design principles to be taken into consideration. Garaging has also been achieved to the rear of the property, thus diminishing pressure on Alfred Street for resident parking.

A number of infill sites can be identified within this inner precinct and any new development should be carefully considered (eg. cnr Alfred/Telford Streets, gap sites in Stevenson Place and Scott Street).

Apart from Boatmen's Terrace and the set of late Victorian terraces above Beach Street, the urban fabric of the remainder of the precinct is capable of creative change. The form of development should be within the broad framework of 2/3 storey urban terraces or dwellings with building to the street frontage.

Landscape and Street Closures

Generally the area is devoid of landscape character. City Council proposals in preparation include street planting in Zaara Street (Plane Trees and Albizzia) and street modifications with native shrub planting in Alfred Street. The Zaara Street closure scheme is supported and the planting theme should be extended to Stevenson Place, Telford Street and Scott Street. As with all street landscape works it is important that proper species selection, planting and management techniques be carried out. Protection may need to be given to new planting in pavements.



Alfred Ct. Highly compatible infill development. Maintains and reinforces essential character of street.



*Sympathetic roof forms and materials.
New infill dwelling*

Rear Lane Alfred Ct. Garage and rear lot development successfully handled in tight urban situation. Infill work.



Parnell Place. Comparison of terraces shows importance of retaining original architectural detailing.

The Council's Alfred Street proposals have been prepared following a number of meetings with residents of the street. It is proposed to replace some street carparking spaces with native shrub planting beds some 2m wide. This technique for street upgrading has been used in part in Beach Street with limited success.

Due to the narrowness of the street, parking is currently on one side only (south side) and is often at capacity. The reduction in car spaces is of some concern to residents. The physical impact of the proposed "street beautification" will significantly alter the present day character of Alfred Street. The prevailing feeling of an urban working class environment may be partially lost and for this reason alternative forms of upgrading the environment and controlling traffic should be explored.

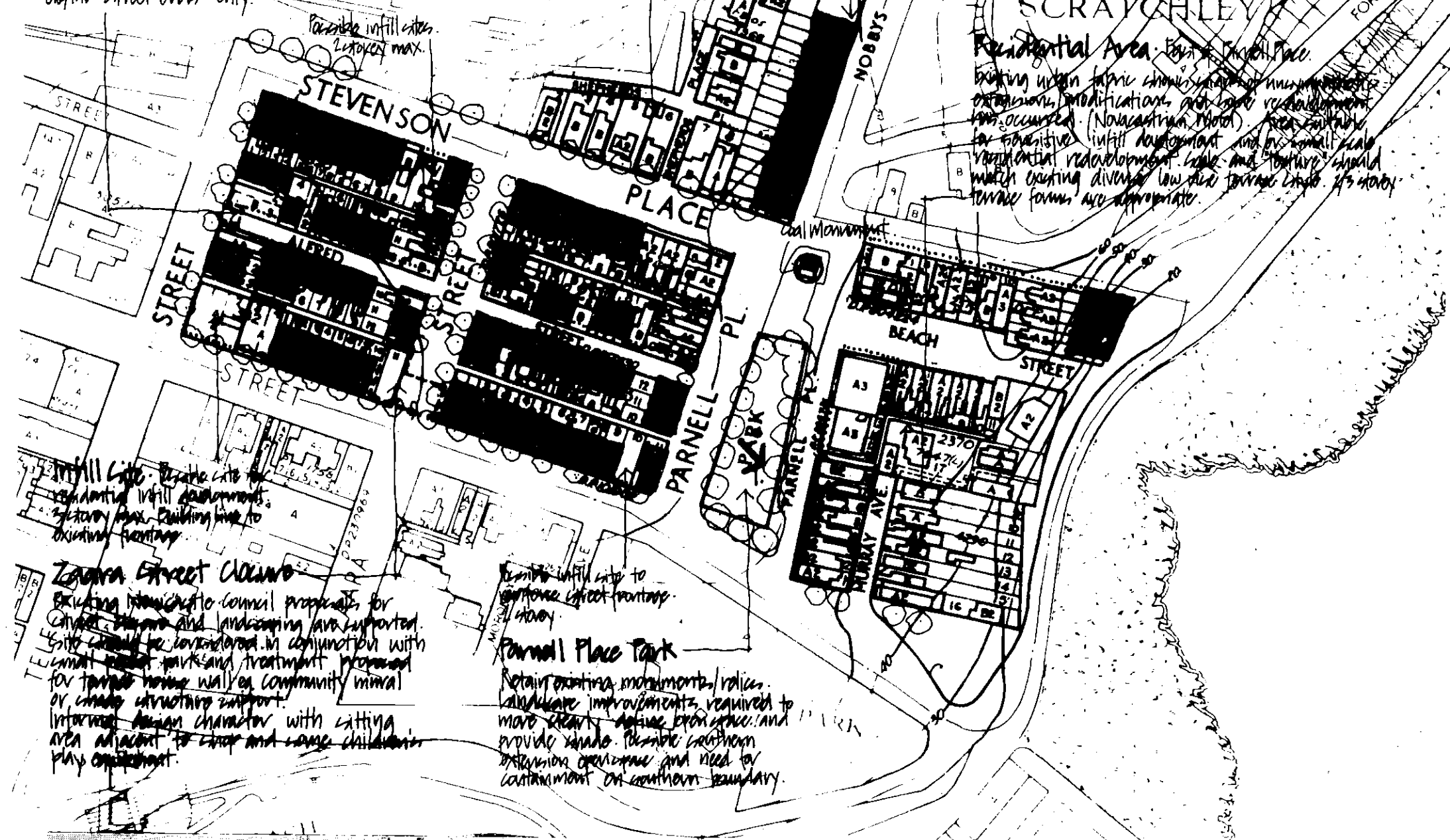
The stone kerbs and gutters where these exist should be retained. The existing bitumen footpath and road surface should be investigated and, where feasible, any stone pavements recovered.

Alfred Street Closure
 An alternative proposal for upgrading Alfred St. should be considered. This would be based on limiting through traffic, retaining existing on street carparking and retaining hard urban character. Street lighting and any pavement treatment retained. Siting area of Telford St limited landscape planting to define street ends only.

Existing Residential
 Contemporary suburban development. No conservation implications. Will be affected by Harbour Foreshore works.

Boathouse Terrace
 Important heritage item which should be retained in the layout of the new foreshore. Housing adjacent should be 3/2 story max. to Nobby Street. Buildings around should be replaced by replacement of existing terrace form.

Residential Area - East of Parnell Place
 Existing urban fabric shows a mix of housing types. Some modifications and some redevelopment has occurred. (Newcastle Hotel). Area suitable for sensitive infill development and by small scale residential redevelopment. Scale and texture should match existing diverse low rise terrace type. 2/2 story terrace forms are appropriate.



Infill Site
 Existing site for residential infill development. 3/2 story max. Building line to existing frontage.

Zebra Street Closure
 Existing proposal to Council proposed for Zebra Street and landscaping are supported. Site should be considered in conjunction with Council road works and treatment proposed for terrace house walls. Community mural or other structure support. Informal design character with sitting area adjacent to shop and some children's play equipment.

Parnell Place Park
 Retain existing monuments/paths. Landscape improvements required to more street active open space and provide shade. Possible southern extension open space and need for containment on southern boundary.

Stevenson Place
 Victorian detailing applied to Federation style terrace. (Use of cast iron not recommended except on Victorian period housing).

Stevenson Place
 Exposed brick terrace painted. Not recommended.

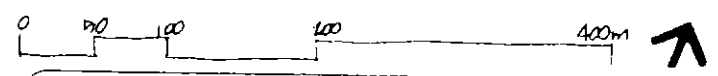


Stevenson Place - low quality balcony infill. Restoration should be encouraged.



Parnell Place - Heritage quality somewhat compromised. Infill development possible. View 1.

- Heritage Items Retained
- Retain Item if Possible
- ▭ Street Closure
- Building Setback
- ○ New Planting



NEWCASTLE INNER AREAS CONSERVATION PLANNING STUDY
Draft Development Control Plan Guidelines
Precinct One

PREPARED BY
 SAITERS BUSTEED • LESLIE DORN
 FOR
 THE COUNCIL OF THE CITY OF NEWCASTLE
 AND
 THE DEPARTMENT OF ENVIRONMENT AND PLANNING

Map 7



6.2 PRECINCT TWO: CUSTOMS HOUSE/CENTRAL BUSINESS AREA

Desired Future Character

This area should be further developed for commercial, community and residential uses with major heritage items retained and enhanced. Infill development on under-utilised or vacant sites should be encouraged to ensure that this area provides a vital link between the Central Business District and the East End.

Guidelines

The setting of Customs House should be considerably upgraded to reflect the heritage importance of the building and its prime location within the Harbour Foreshores Development Plan. A plaza forecourt is proposed to the north of the building extending from the front facade to Wharf Road. The existing stone pillars should be retained and the original fencing/gates reinstated if possible. The existing service station detracts from the setting of the building and inhibits a close relationship to the city. The service station and existing open car parking areas within the precinct should be redeveloped. A major cultural/civic function would be appropriate for this important city site. New development should be scaled to respect the mass of the existing historic buildings with a maximum height of 2/4 storeys. As envisaged in existing planning controls, building setback requirements are to permit the development of a small urban space to the corner of Scott/Watt Streets to link the Customs House to the City. This may be used in conjunction with tourist bus requirements.

Elsewhere building setbacks should match the facades of historic buildings in Bond Street and Scott Street. A pedestrian link through this block should be provided from Pacific Street to Bond Street.



Customs House. Setting should be upgraded.

The former Pay Office building should be retained and restored as an integral part of the heritage of the Precinct. Currently in poor repair, front additions detract from its streetscape value. Small scale community uses would be appropriate for this building.

The former Sailor's Home should be retained and restored. An appropriate new use in context with the precinct should be sought (eg. community use). Removal of a number of additions and low grade parking structures will be required. New development on the site between these two buildings should respect the existing building setback and be limited to a maximum of 3 storeys on the Bond Street frontage.

The Migrant Health Institute has recently been established at 90 Scott Street and is an appropriate new use for the heritage item. Recent renovation of the 2 storey Victorian terrace enhances the group of three heritage buildings. It features an appropriate simple colour scheme - stone/beige walls and surfaces with dark green trim. The building would be further enhanced by the restoration of the upper balcony cast iron and front fence.

The former Station Master's House in Scott St remains in a neglected state of deterioration. This building should be retained, restored and appropriate uses established (eg. community or commercial).



Scott Street. Former Station Master's House. Restore and new use recommended. Adjacent building is Migrant Health Institute.

The existing Australian National Lines site may be redeveloped within a 3/4 storey height envelope. A 2/3 storey prestige residential and professional office development is proposed on the existing vacant land at the corner of Telford and Scott Streets. It is understood that construction has been deferred in the light of current economic conditions.

- The Great Northern Hotel is a good example of the "Jazz Age" inner City Hotel and should be retained. It suffers from less than sympathetic top storey additions but has retained some period Art Deco interiors.



Former Sun Building. City renewal. Facade retained and decorative elements highlighted.

The "Commercial Chambers" building is currently underutilised. The fabric of this building should be retained if possible and new commercial uses sought. With the completion of Pacific Park, commercial pressures will inevitably bring about redevelopment of this city block. New development should relate to Pacific Park and be scaled to avoid excess over-shadowing.

The former "Sun" building facade to Hunter Street should be retained and provide a maximum height guideline for the block.

The environment would benefit considerably from street pavement planting. Planting should be consistent and relate to an overall landscape plan for the Central Area. Historic building facades should generally not be hidden by such planting.

Customer House

Building to be retained and setting enhanced.

Proposed northern plaza or square

Service station uses and surface carparking should be redeveloped.

Possible major civic or market use etc.

New work setback to allow for small urban space as link to City (as per existing planning scheme)

WHARF

MARK

Creat Northern Hotel

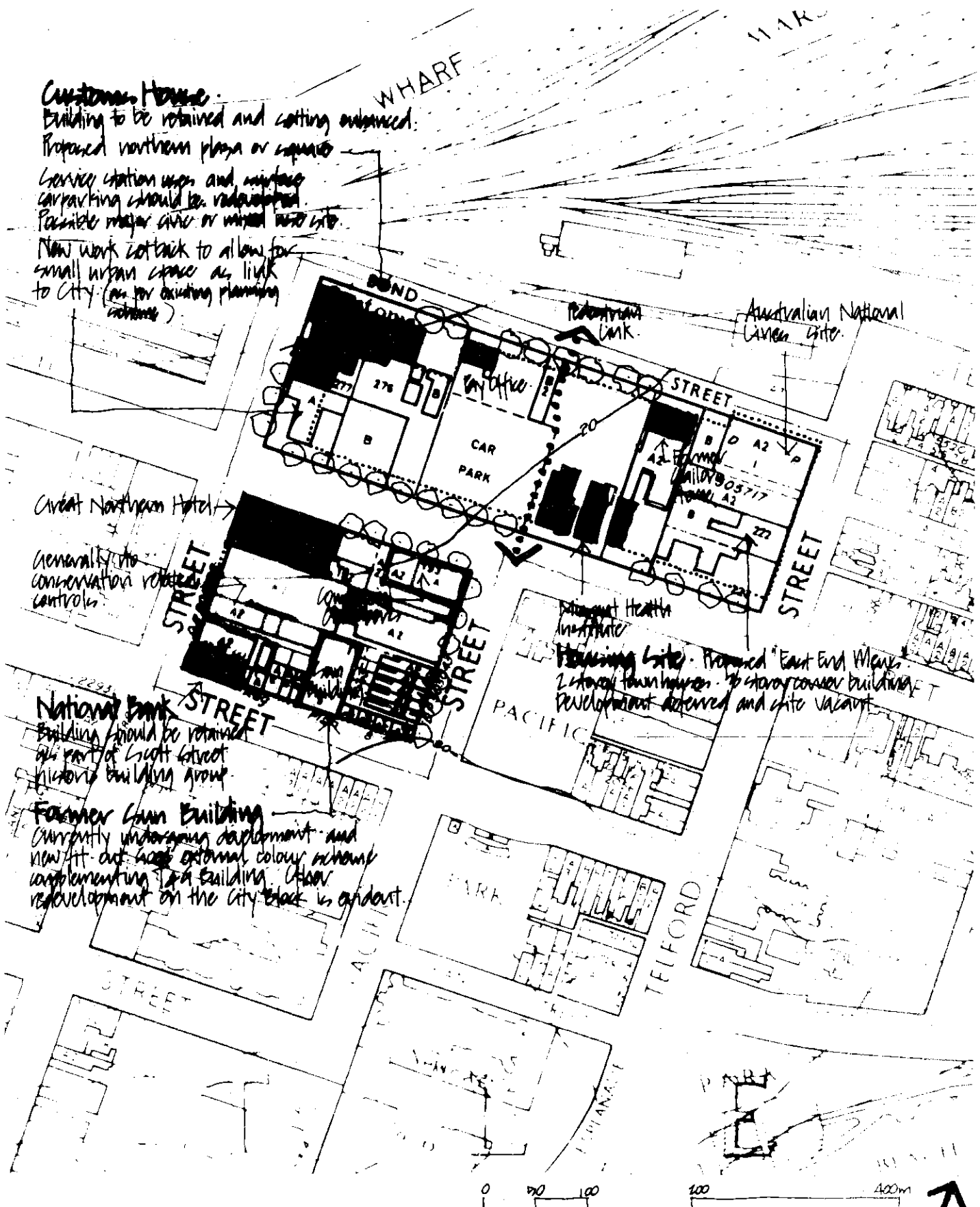
Generally no conservation related controls

National Bank

Building should be retained as part of Scott Street historic building group

Former Loan Building

Currently undergoing development and new fit out has external colour scheme complementing 1st building. Other redevelopment on the City block is evident.



- Heritage Items Retained
- Retain Item if Possible
- - - Street Closure
- Building Setback
- ○ New Planting

NEWCASTLE INNER AREAS CONSERVATION PLANNING STUDY
Draft Development Control Plan Guidelines Precinct Two

Prepared by
 SUTERS BUSTEED + LESTER FIRTH
 for
 THE COUNCIL OF THE CITY OF NEWCASTLE
 and
 THE DEPARTMENT OF ENVIRONMENT AND PLANNING

Map

6.3 PRECINCT THREE: MIXED USE ZONE

Desired Future Character

This area should continue as a mixed use zone providing residential, motel and recreational functions. Pacific Park will be completed as a major city open space and link to the beach front. Vacant and/or currently under-utilised sites will be developed and consolidate the future role of the precinct.

Guidelines

The character of the area is largely established with the eight storey motel and residential buildings overlooking Newcastle Beach. The Travelodge and Telford motels, together with the recent Tyrrell House block form a medium rise urban edge to the recreational beach zone. This is likely to be further reinforced by development on the vacant site at Zaara Street.

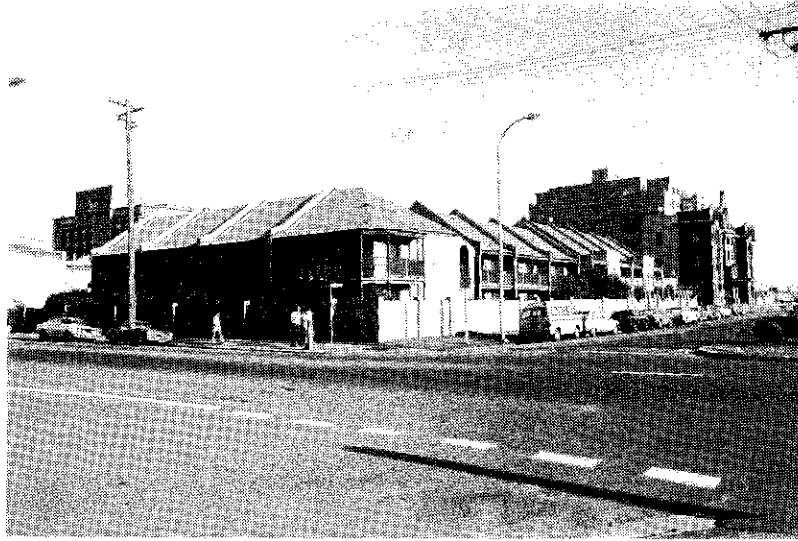


*Sympathetic New Development.
Form, scale and detailing compatible.*

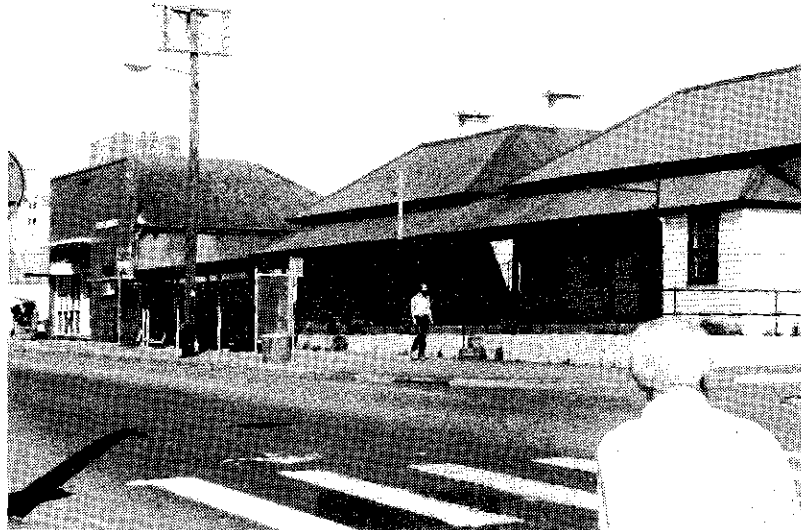
Recent Housing Commission and private enterprise residential development in Telford and Scott Streets overlooking Pacific Park is appropriate in terms of scale, mass and details and may be used as a model for other infill housing. The landscaping of Pacific Park is currently nearing completion. The complete upgrading of this city block requires the restoration of the former Police Station and the removal of the existing adjacent building (T.P.I. Home) and the poor quality bus shelters.

Development along Scott Street should generally be limited to 3/4 storeys and be residential in use and character. The fabric of the Carlton, the Zaara Street gallery and the 2 storey Zaara Street shop should be retained.

The existing transport depot at Parnell Place is a major visual and environmental intrusion into the residential and tourist zone. The depot has resulted in unnecessary noise and traffic problems within the precinct.



Sympathetic new development. Scott St. Compatible in scale, form and materials. Good balcony details. Eye level brick fence to street not recommended.



Former Newcastle East Police Station. Should be retained and new use sought. T.P! House relocated and bus shelters relocated.



*New Development - Detail.
Sympathetic form and scale.
Good attention to details,
such as veranda and balcony.*

An alternative site for the depot should be considered and the site released for residential/motel or other compatible uses. Guidelines for such development would seek to establish a 2/3 storey edge to Scott Street to further define Parnell Place, and to ensure that development addresses the existing open space to the east.

Environmental upgrading to enhance open spaces and street corridors should be undertaken. The open space above Ocean Baths is currently bare, uninviting and little used. Perimeter definition planting and facilities for outdoor activities should be considered.

Major street tree planting along Shortland Esplanade would have the affect of softening the existing abrupt urban to beachfront edge, and consistent tree planting should be undertaken along Scott and Zaara Streets.

6.4 PRECINCT FOUR - HOSPITAL ZONE

Desired Future Character

For the intermediate future, this precinct will continue to be dominated by large scale hospital and central business uses. In the longer term Newcastle Hospital facilities are likely to be relocated and future uses of the site are uncertain.

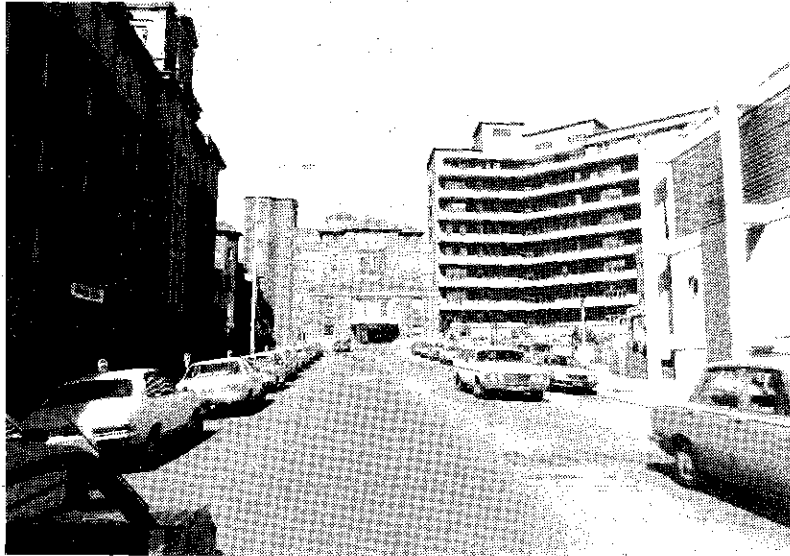
Guidelines

Generally the Hospital precinct is an intensively built, harsh environment. Public and street spaces are unpleasant although the recent substantial pavement planting in King and Watt Street will help to redress the environmental problems. This street planting should be continued to the north side of King Street and along Pacific Street. Major tree planting and landscape improvements at the principal entry to the Hospital would considerably soften the austere built character.

Long term redevelopment within the Hospital area should retain recognised heritage items. The scale of any new building should be less in height than the existing and set back to ensure minimum over shadowing of beach areas across Shortland Esplanade.

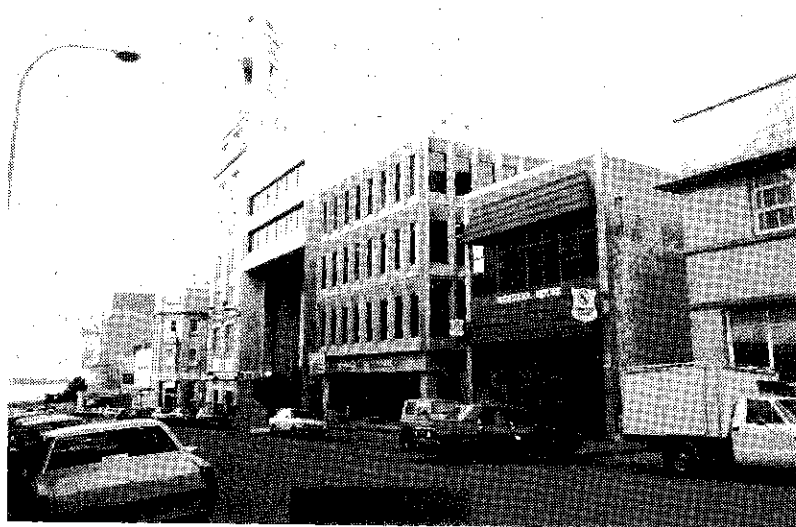
The key building within the business use area of the precinct is the recently refurbished and newly painted T&G Life Society Building. With special paving and plane tree planting to the street the T&G building contributes much to the townscape character of this part of the city.

The Shortland Esplanade frontage of the precinct is dominated by the 8-10 storey massive brick hospital buildings which form a long continuous built edge to the beach zones. There is little that can be done to alleviate the impact although a programme of tall/major tree planting along the pavement and open space areas may be of assistance. Such actions would assist in providing a transition to the beach zones particularly as seen from the beach and vantage points such as King Edward Park. Species selection should be subject to careful consideration given the exposed location.



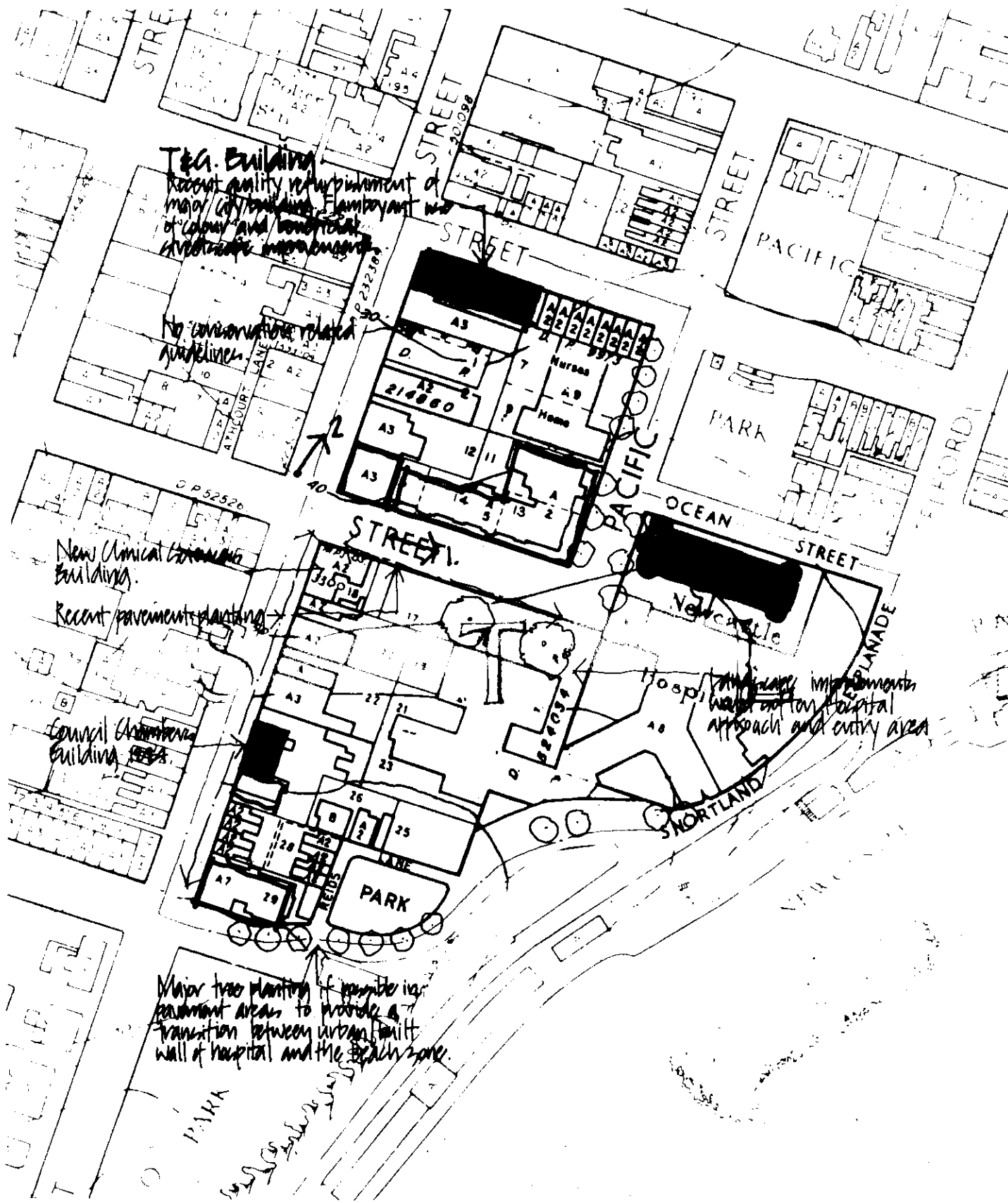
Newcastle Hospital Precinct.
Harsh built environment. Requires landscape intervention.

View 1.

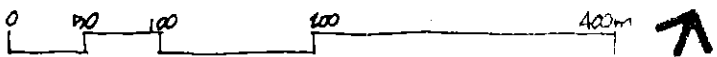


T&G Building. Important corner buildings.
Little other conservation related issues!

View 2



- Heritage Items Retained
- Retain Item if Possible
- Street Closure
- Building Setback
- New Planting



**NEWCASTLE INNER AREAS
CONSERVATION PLANNING STUDY**
Draft Development Control Plan Guidelines
Newcastle East, Precinct Four.

Prepared by
SUTERS BUSTEED • LESTER PETH
for
THE COUNCIL OF THE CITY OF NEWCASTLE
and
THE DEPARTMENT OF ENVIRONMENT AND PLANNING

Map. 10

6.5 PRECINCT FIVE - RECREATION ZONE

Desired Future Character

The Newcastle Beach zone should be enhanced and developed as a major city recreational asset. Major built heritage items should be retained and increased tourist use of facilities encouraged. An urban design and implementation study should be considered for the area from Fletcher Park to Nobby's Head to co-ordinate and influence public and private actions.

Such a study should address existing carparking problems and recommend specific tree and shrub species capable of surviving in the severely exposed conditions along the coast.

Precinct Five (A): Newcastle Beach

Guidelines

Detailed urban design consideration should be given to the beach zone in conjunction with the redevelopment currently in progress. This should include improved access from the Hospital zone and upgrading of beach promenade and sitting areas. The existing hard surfaces and generally bare grass areas should be landscaped to increase shade and groundcover. The retention of the early 20th century stone and tile arched shelter should be considered.

Fletcher Park is similar to a number of beachfront open spaces which remain undeveloped. The Park is devoid of vegetation and is simply a series of grass slopes with perimeter stone flower beds and the central Fletcher Statue. The site is extremely exposed and requires careful landscape design and treatment. Views are of high interest and should be retained in any scheme. Perimeter planting of

some height should be established to define the space from the road systems. Consideration should be given to terracing part of the site for sitting areas and to provide some localised wind protection. Cliff edge and handrail details should be carefully considered and be consistent within the beachfront zone.

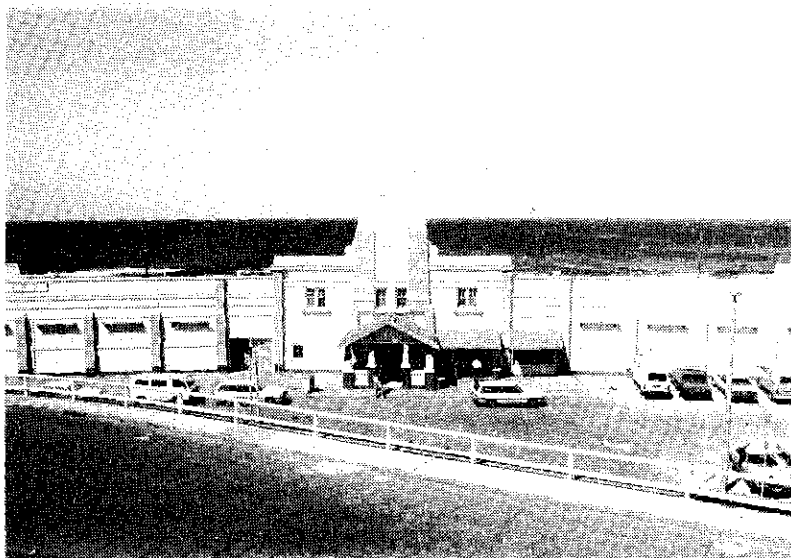
Along the beach front there exist substantial areas of under-developed land, mainly grassed or hard surfaced. These areas should be planted to provide a definition of the beach zone from the severe built edge of the hospital.

Precinct Five (B): Ocean Baths

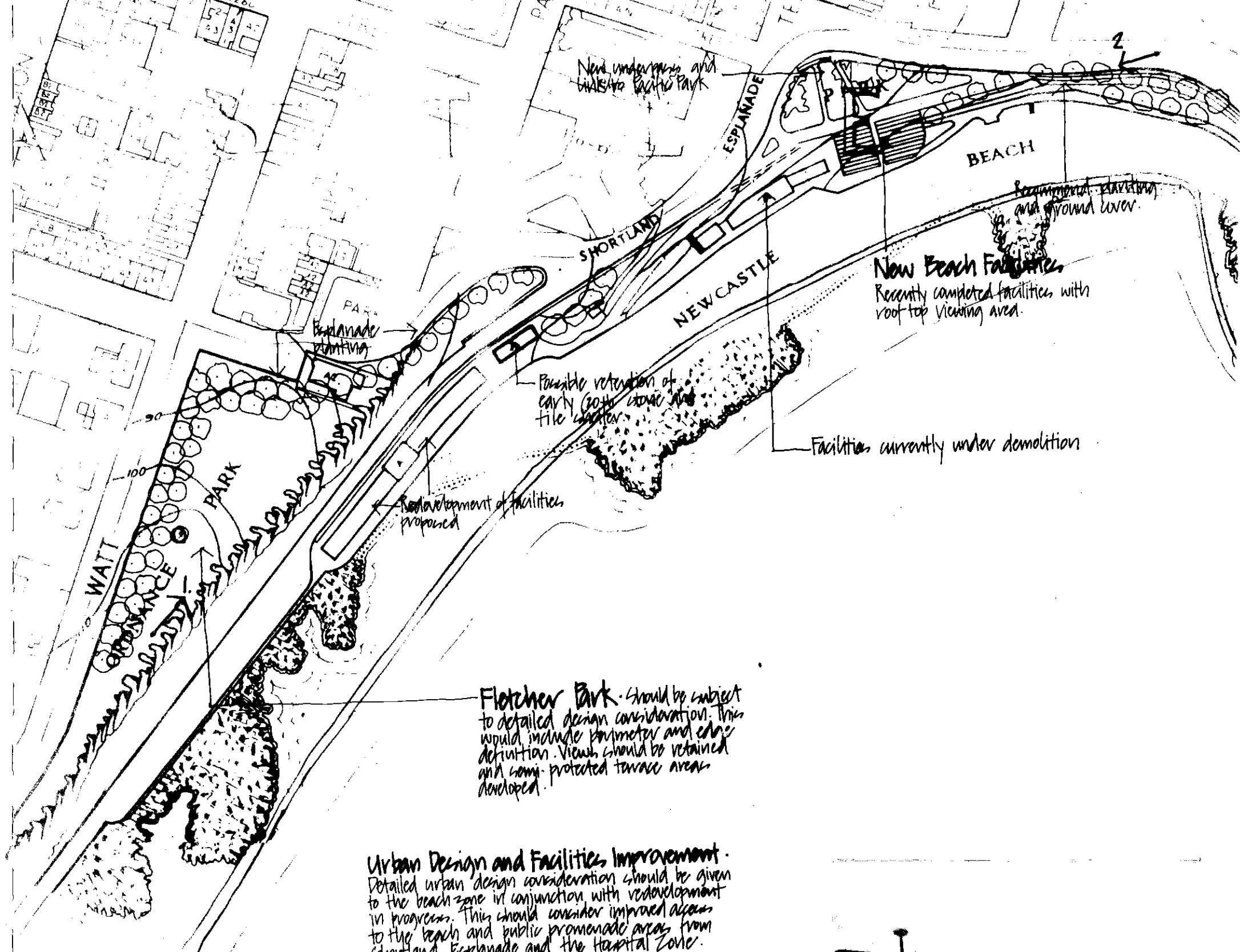
Guidelines

During the course of this Study the Ocean Baths have been sensitively painted and as a result contribute to the precinctual environment. Landscape and urban design upgrading of the immediate surrounds to the baths would further increase the attractiveness of the area.

This work would include tree planting in bare exposed car park areas, low maintenance ground cover to grass slopes, the redesign of the existing public toilet facilities, the restoration of the small recessed sitting shelter, and possibly the restoration of the wading pool mural.

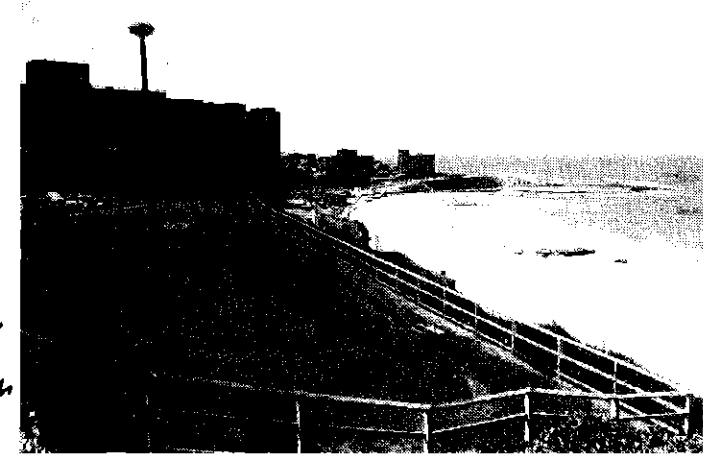


Ocean Baths. Recently painted. Upgrading of surrounds recommended

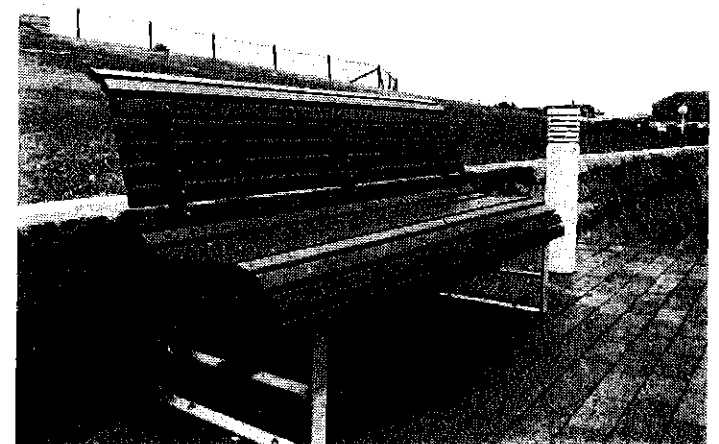


Urban Design and Facilities Improvement.
 Detailed urban design consideration should be given to the beach zone in conjunction with redevelopment in progress. This should consider improved access to the beach and public promenade areas from Shortland Esplanade and the Hospital Zone. The predominately hard and/or open barren areas should be landscaped to provide shade and amenity. Use of low maintenance ground covers is recommended.

View from Fletcher Park.
 Open, undeveloped space. Reduce impact of Hospital buildings by Park and pavement planting.
 View 1.



Newcastle Beach. Urban design consistency required. Landscape upgrading - tree planting, ground cover etc. View 2



New street furniture. Pacific Park. Standards should be adopted for the beach front zones.

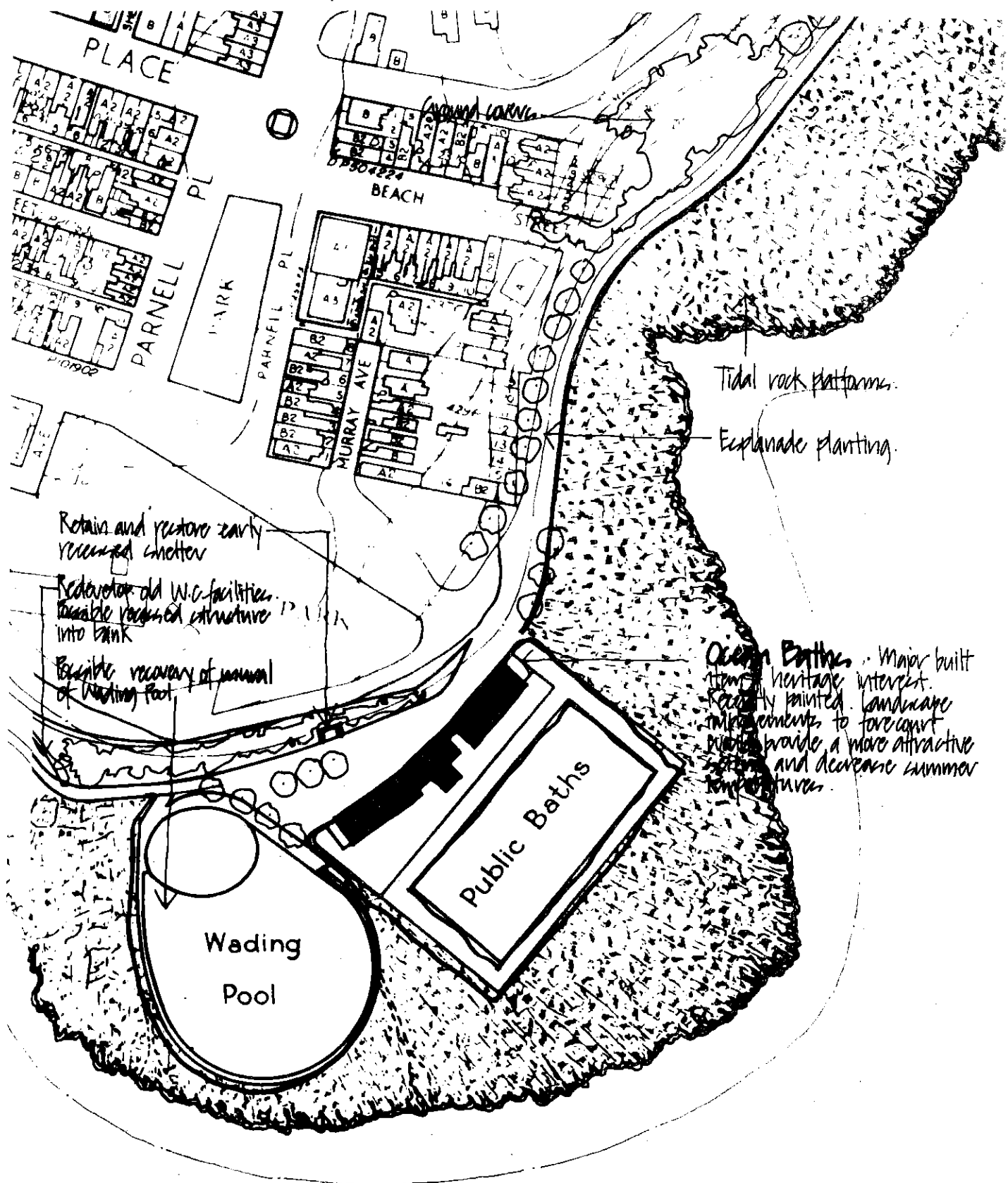
- Heritage Items Retained
- Retain Item if Possible
- Street Closure
- Building Setback
- New Planting

0 50 100 150 200

NEWCASTLE INNER AREAS CONSERVATION PLANNING STUDY
Draft Development Control Plan Guidelines
 Newcastle East - Precinct Five (a).

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 SUTERS BUSTILL
 FOR THE
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Map 1.1



Retain and restore early
recessed shelter

Redevelop old W.C. facilities.
Possible recessed structure
into bank

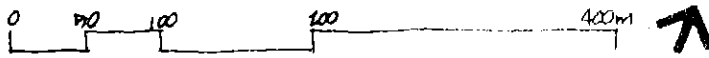
Possible recovery of material
of Wading Pool

Tidal rock platforms.

Esplanade planting.

Ocean Baths - Minor built
items heritage interest.
Recently painted. Landscape
improvements to forecourt
publicly provide a more attractive
setting and decrease summer
temperatures.

- Heritage Items Retained
- Retain Item if Possible
- Street Closure
- Building Setback
- New Planting



**NEWCASTLE INNER AREAS
CONSERVATION PLANNING STUDY**
Draft Development Control Plan Guidelines.
Newcastle East - Precinct Five (b)

prepared by
SUTERS BUSTEED • LESTER FIRTH
for
THE COUNCIL OF THE CITY OF NEWCASTLE
and
THE DEPARTMENT OF ENVIRONMENT AND PLANNING

Precinct Five (C): Fort Scratchley and Nobby's
Beach.

Guidelines

An existing draft management plan for Fort Scratchley sets down overall guidelines for the selection of conservation options for structures at Signal Hill, (Fort Scratchley).

This plan recommends various levels of conservation for specific heritage items associated with the site based on the significance of the place or item, its physical condition, and its proposed use.

The historical significance of the site is unquestioned and a sensitive plan together with adequate funding levels is essential to successful conservation. The intent of the management plan and the recommendations in general are supported by this Study.

The plan envisages the majority of the site being utilised for military museum/interpretation functions with a Battery Preservation area, a Flagstaff Reconstruction area, a searchlight demonstration area and support carpark and recreation areas. The report suggests the use of the existing emergency services site and buildings as a Maritime Museum.

It is proposed to retain the existing detached "Guardhouse", to restore the verandah, window shutters and with other elements, and to use the building as a gatekeepers office.

External areas are generally to be left open and wind swept retaining an appropriate setting for the complex since it stands somewhat isolated from the surrounding urban fabric. The cottage on the southern slopes is to be retained as a caretakers

building to ensure that it contributes to the historic setting of Fort Scratchley. This would include an appropriate colour scheme and possible original surrounds eg. picket fence.

The carpark location is supported and the design of this area should include adequate low level landscape screening and earth mounding to conceal parked cars from street views. The re-location of the rescue boat "Victoria" to this area is supported and the existing shed on exposed slopes should be removed.

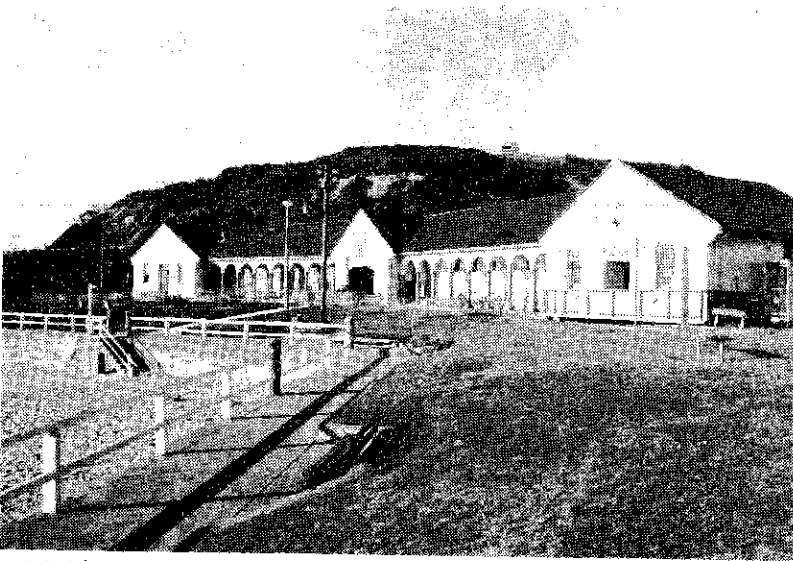
In principle this study does not support the location of a Maritime Museum within the existing buildings of the Emergency Services Complex. In strategic terms, the site represents a relatively poor location for such a museum given physical constraints and lack of contact with water. A preferred site would be the historic stone boat harbour on the Newcastle waterfront, currently utilised as part of the Pilot Station. Should this site become available, the "Victoria" would subsequently need to be relocated.

The existing Emergency Services site should be considered within the context of the proposed Harbour Foreshores work and be developed as landscaped open space.

Other guidelines for this precinct include:

- . The restoration and identification of the Soldier's Baths off Nobby's Beach.
- . Landscape and public area upgrading in the immediate surrounds of Nobby's Surf Club should be undertaken in conjunction with the Harbour Foreshores Plan. This would include tree planting for shade, low maintenance ground cover for exposed hard surfaced areas, increased pedestrian promenade space and improved access to the beach.

- The Horseshore Beach area should be developed as the site for a memorial to Shortland and the discovery of Newcastle. This could include a "Camp Reconstruction" together with public recreational facilities.
- Restoration work is recommended for the historic Macquarie Breakwater.
- Note that Dr J Turner has been retained by the Housing Commission to undertake an archeological study of the proposed Foreshores Development Area.



Nobby's Beach Pavilion.

Shortland Site

Possible development of vacant foreshore beach area as a Shortland Memorial Site. Options could include Camp Reconstruction, picnic areas within low coastal vegetation.

Modifications to existing road system is recommended in conjunction with Harbour Foreshores work. T-junction and additional space at Nobby's.

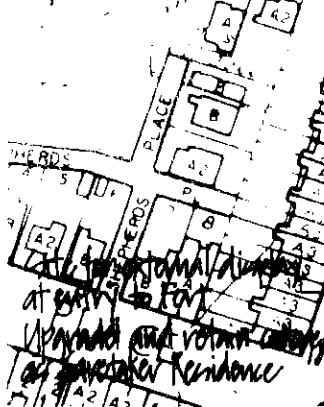
Pedestrian link to Harbour Foreshores.
Possible underpass link.

Fort Scratchley.

Subject to detailed conservation and management plan. Draft Plan prepared by Management Plan Advisory Panel.

Relocation of Emergency Services.

Possible site for relocation of Victoria Reservoir.



Limited access road.

BBY
Restoration of Nobby's Surf Club. Improve immediate setting.

Reduction of car park from road corridor. Increase pedestrian area.

- Heritage Items Retained
- Retain Item if Possible
- Street Closure
- Building Setback
- New Planting

**NEWCASTLE INNER AREAS
CONSERVATION PLANNING STUDY
Draft Development Control Plan Guidelines
Newcastle East - Precinct Five (C)**

Prepared by
SUTERS BUSTEED + LESTER FORTH
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and
THE DEPARTMENT OF ENVIRONMENT AND PLANNING

Map. **15**

6.6 PRECINCT SIX - HARBOUR FORESHORES

Desired Future Character

The area from the Customs House to Nobby's Beach is to be developed for housing and as a major passive recreational space. The design is to be based on the winning scheme in the Newcastle Foreshores Landscape and Urban Design Competition. It is envisaged that the plan will provide for a Custom's House plaza or square, a range of medium density housing units accessed from Newcastle East, informal water elements, an amphitheatre, and a large recreational open space called "Shortland Lawn".

Guidelines

The following guidelines are concerned primarily with the relationship of the proposed Foreshores work with the urban fabric of the Newcastle East area. Fundamentally it is recommended that the rectilinear subdivision pattern and medium to high density, low rise terrace house urban fabric should be echoed in future development. In this way the essential character of the East End residential area will be extended to the parkland system and harbour front. A formal street pattern grid and a dense low rise (2-3 storey) terrace form of development is recommended.

Pedestrian access should be provided through the housing zone and related to the existing street pattern. Views from the existing residential area down streets to the new parkland should be permitted and landscape links established. Heritage elements should be retained and adjacent development should be sympathetic in terms of scale, form, setback and external materials.

The Earp Gillam Bond, the Cohen Bond and Boatmen's Terrace are the elements to be respected.

At Boatmen's Terrace, the height of new development should be 2-3 storey maximum above road level. While Nobby's Road remains the main city access to the Beach areas. Vehicular access to new housing should not be taken from Nobby's Road.

The frontage to the proposed Custom's House Square should be carefully considered and an active frontage achieved at ground level eg., restaurant, bistro, shops, community use.

Bond Street should be closed to through traffic and provide vehicular and service access to new development in the area. Vehicular access to housing areas should not be taken from the end of Telford Street due to the existing changes in level and associated traffic safety issues.

The following map illustrates a number of the above issues including a possible road layout, development packages, pedestrian links and landscape intent.

Historic Boat Harbour.
 Recommended site for Maritime Museum
 displaced from Fort Cavachley. Relocation
 of existing uses.

Harbour Foreshores Plan
 Subject to detailed design.

Recreational Parkland
 Access from Wharf Road to
 car parking areas.

Proposed Customs House Square.
 Urban plaza or square to north of
 historic building. Flanking tree avenue.
 Retain stone pillars. Possible vegetation
 of same area. Look active uses at
 Plaza level from development
 to the east.

New Development
 Mixed residential and
 commercial uses. Generally
 2-3 storey height as extension
 of fabric of Newcastle East.

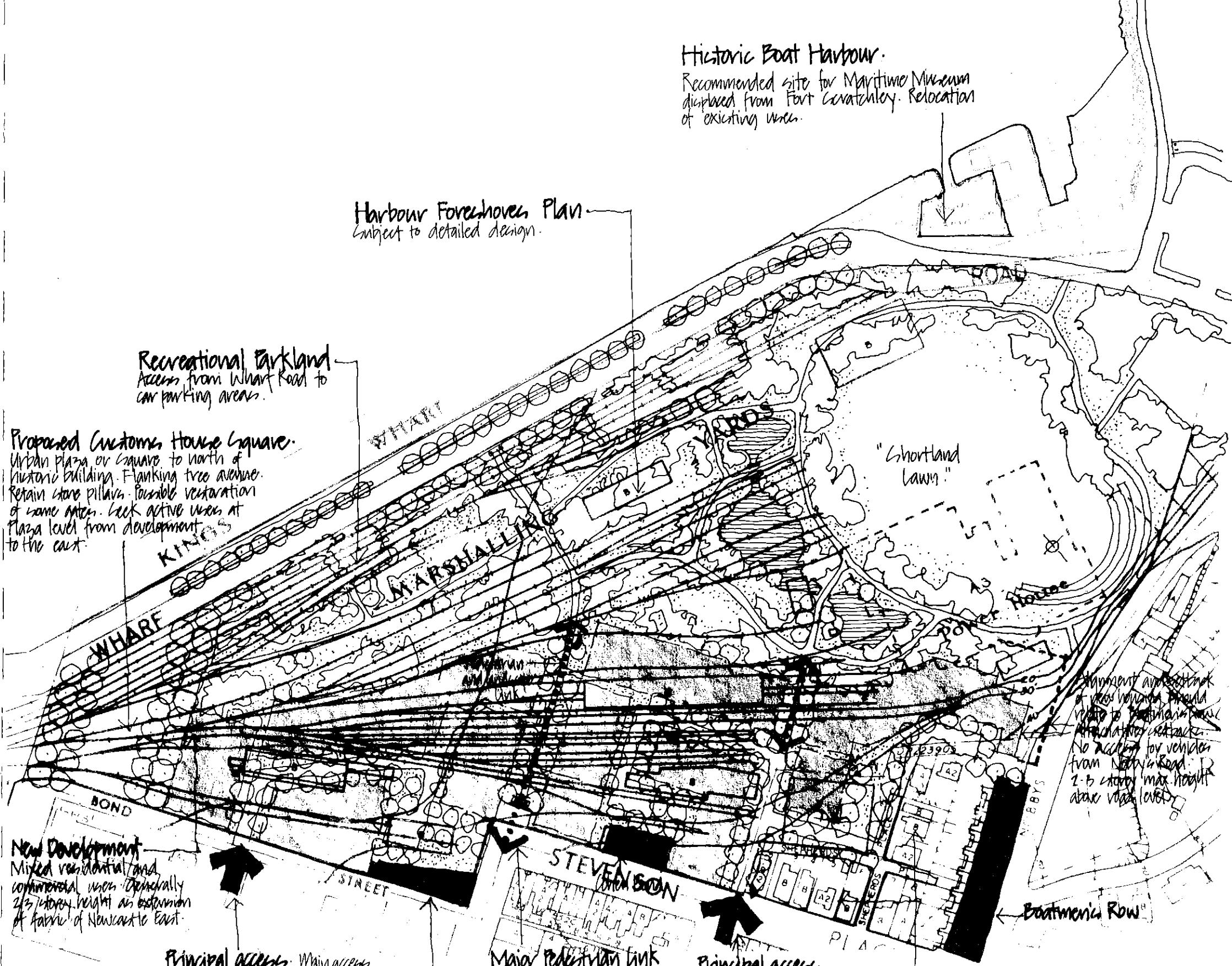
Principal access. Main access
 from Bond Street to housing and
 mixed development areas.

Earl Gillam Bond. Retain heritage item.
 Current derelict condition. Proposed use
 for apartments. Provide access and open
 space to the north.

Major pedestrian link
 from Newcastle East to
 the Park system. Ensure
 landscape and visual
 links from existing housing
 areas.

Principal access
 Road access from existing
 and road system. Formal
 design character to
 emulate existing.

Existing Housing Area
 Separate from new housing with access road.
 Possible redevelopment over time.



Boatmen's Row and Coal Monument.

- Heritage Items Retained
- Retain Item if Possible
- ▭ Street Closure
- Building Setback
- ○ New Planting

NEWCASTLE INNER HARBOUR
 CONSERVATION PLAN
 Draft Development Control Plan Guidelines.
 Precinct Six. Harbour Foreshores.

SECTION 7

SECTION SEVEN: INVENTORY OF HERITAGE ITEMS

INTRODUCTION

As part of this study, a number of items have been identified as being of historical, architectural or visual significance using records of the National Trust (NSW) and field work as the basis.

THE INVENTORY

Each item is noted and described on the Inventory, plotted on the Townscape Analysis Maps, and an assessment of present condition and degree of Potential Threat given.

Items of local significance included in the inventory have generally been selected following consideration of the following criteria:

- a. Townscape importance; items which contribute to the townscape character or quality of the area.
- b. Architectural quality includes:
 - . Items exhibiting substantial architectural quality not included in the National Trust register or National Estate.
 - . Items considered to be good examples of a 'type' or 'style'.
 - . Contemporary items recognised as being of significance.
- c. Historical or Cultural importance; items which have historical or cultural associations worthy of note.

THE DATA SHEETS

Where a heritage item forms part of the National Estate or is included in the National Trust Register, a data sheet has also been prepared.

The limitations of the sources of this data should be noted, particularly the fact that items have in the past been included in an ad hoc way, and not as part of a comprehensive assessment. It is likely that in the future, further items will need to be added to these classifications.

Each data sheet contains a description of the item, outlines its significance and history, and where appropriate makes recommendations on its future role. Photographs are also included on each data sheet.

KEY

Below is a list of abbreviations used in the Inventory and associated data sheets.

Listing	NE	Items forming part of National Estate
	NT	Items listed by the National Trust
	LS	Items of local significance
	HC	Heritage Council of NSW
Condition	VG	Very Good
	A	Average
	P	Poor
Threat	H	High
	P	Possible
	L	Low
Comments	DS	Data Sheet has been prepared
	Arch	Architect
	C.I.	Cast Iron
	W.I.	Wrought Iron

HERITAGE ACT STATUS

Sec 130 Section 130 Order applies under
Heritage Act.

ICO Interim Conservation Order
applies under Heritage Act.

PCO Permanent Conservation Order
applies under Heritage Act.

NEWCASTLE EAST

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS						
		NE	N	L	S	VG A P H P L DS		
E1 Nobbys Lighthouse (1858) (SEC 130)	South Head Port Hunter	*	*	*		* *	Circular stone lighthouse. Earliest surviving example on NSW coast.	
E2 Soldiers Pool (1883) (SEC 130)	Marine Drive			*		* *	Former swimming area now disused. Visible at low tide.	
E3 Nobbys Beach Pavillion (1934)	Nobbys Road			*	*		Spanish Mission Style Beach Pavilion Arch - Scorer	
E4 Fort Scratchley Group (1880 - 1942) (SEC 130)	Flagstaff Hill	*	*	↔			* *	Former Fortifications, now partly used as a maritime museum (key historic site and Building Group).
E5 Terraces	Off Beach Street			*		* *	Six two storey Victorian Terraces with enclosed upper balconies.	
E6 Ocean Baths (1922) (SEC 130)	Shortland Esplanade			*	*		* *	Important facade, English influences art Deco. Key building in beach recreation zone.
E7 Stone Boat Harbour C 1870 (SEC 130)	Pilot Station Wharf Road			*		* *		Boat harbour used to house pilot boats. Site still occupied by M.S.B. and access is limited. Original stone walling in poor condition

Cont/..

NEWCASTLE EAST

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE N T L S	V G	A P H P L	D S
E7					and has almost been totally rendered above water level.
E8 Boatmans Terrace (1892) (SEC 130)	Nobbys Road	*	*	*	* Nine three storey typical English Terraces. Used to house Boatmen who manned life-boats.
E9 Coal Memorial (1909) (SEC 130)	Parnell Place	*	*	*	* Compares scenes of mining 1859 to 1909. Deteriorating due to severe exposure.
E10 Column from original Courthouse (1909) (SEC 130)	Parnell Place	*	*	*	* One of four sandstone Doric columns from the original court house demolished in 1909. On the site of the present Post Office.
E11 & 'Elseellee' & 'Rioselete' residences	No.s 2 and 4 Stevenson Pl	*	*	*	* Two semi-detached single storey brick residences with timber picket fences and decoration.
E12 Stevenson Place Precinct	1 - 55 Stevenson Pl	*	↔	*	* A street containing a range of typical Victorian and Edwardian two to three storey brick late Victorian residences.

NEWCASTLE EAST

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION				THREAT	COMMENTS
		N	E	N	T		
E13 Former shop/residence (SEC 130)	Cnr. Scott and Parnell Place	*	*	*			Two storey brick building with enclosed upper projecting balcony Arch - Menkens
E14 Cohen Bond Store (SEC 130)	30 Stevenson Place	*	*	*			Three storey brick bond store. Originally six storey. Used for many years by John Bull.
E15 Bond Store	Alfred Street	*		*	*		Two storey traditional brick bond store original windows removed.
E16 'Waratah' Terraces	44 to 58 Scott Street	*	*	*			Group of three storey brick Victorian terraces with enclosed verandahs.
E17 'The Carlton' (SEC 130)	Cnr Scott and Zaara Streets	*		*	*		3 storey rendered brick building (former hotel) with classical detailing.
E18 Earp Gillam Bond Store (1888) (SEC 130)	Cnr Bond and Telford Streets	*	*		*	*	Four storey brick Victorian bond store. Arch - Menkens. In urgent need of repair.
E19 Russell Offices (C 1880) (SEC 130)	Bond Street	*	*			*	Three storey rendered brick Victorian Italianate building.

NEWCASTLE EAST

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS					
		N	E	T	L	S	
E20 Coutts Sailors' Home (1883) (SEC 130)	88 Scott St.	*	*	*			Two storey rendered brick Victorian Italianate Building. Formerly Dept. of Education Offices. Extensions to Scott Street by Menkens. Unsympathetic additions to Bond Street side, obscures original building.
E21 Migrant Health Unit (SEC 130)	90 Scott St.	*	*		*		Two storey rendered brick Victorian building with elaborate timber barges.
E22 Former Station Master's Residence (SEC 130)	100 Scott St.	*	*	*			Two storey brick Victorian Gothic residence in semi derelict state.
E23 Former Newcastle East Police Station (SEC 130)	Cnr. Scott and Pacific Streets	*	*		*	*	Two single storey Georgian style buildings with connecting verandahs.
E24 Tyrrell House Facade (1921) (SEC 130)	Telford St .	*	*		*	*	Three storey brick Edwardian symmetrical facade with sandstone portico. Incorporated into new housing development.

NEWCASTLE EAST

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS	
		NE	N T L S	V G	A P H P L D S	
E25 Railway Pay Office (C 1899) (SEC 130)	Bond Street			*	*	Two storey traditional brick building with timber framed verandah. In need of repair.
E26 Newcastle Customs House (1876 - 1877) (SEC 130)		*	*		*	Two storey brick building in Italian Romanesque Revival Style. Has ornate brickwork and large clock tower. Important landmark.
E27 Commercial Chambers (1901) (SEC 130)	Cnr Scott and Pacific Streets		*	*	*	Partly single and double storey brick commercial building with verandah. Contains interesting Portico and timber detailing. Arch - Menkens
E28 Facade	Pacific St.		*	*		Two storey brick facade with interesting terra cotta infill panels (above awning level).
E29 Newcastle Hospital North Wing (1914) (SEC 130)	Cnr. Ocean and Pacific Streets		*	*	*	Four storey brick building with stone Portico and detailing. Symmetrical building with octagonal corner towers and enclosed verandahs.

NEWCASTLE EAST

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS	
		N	E	T	L	
		S	V	G	A	
		P	H	P	L	
		D	S			
E30 Great Northern Hotel (1938) (SEC 130)	Cnr. Scott and Watt Streets	*	*	*	*	Six storey brick art deco hotel with intact public areas and fine terra cotta facings below awning level. Unsympathetic additions to wings on 6th floor.
E31 National Australia Bank (SEC 130)	Cnr. Hunter and Watt Streets	*	*	*	*	Three storey rendered brick commercial building with neo-classical detail.
E32 T & G Building (1922 - 1932) (PCO)	Cnr Hunter and Watt Streets	*	*	*	*	Six storey rendered brick art deco office building with corner tower.
E33 Rumors tavern/ Offices (1981)	Watt Street	*	*	*	*	Contemporary five storey concrete/brick office/tavern building. Arch - Snell.
E34 Eagle House	Watt Street	*	*	*	*	Modern concrete framed four storey office building with precast concrete cladding panels.
E35 Union Steamship Co. Building	Watt Street	*	*	*	*	Two storey office building with terra cotta clad facade.

NEWCASTLE EAST

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE	N	L	S
		VG	A	P	H
		P	L	D	S
E36 Manufacturers House. (SEC 130)	Cnr. Watt and King Streets	*	*	*	Three storey sandstone building with two storey doric columns and pilasters and deep cornice above second floor.
E37 New Med I (1981)	Cnr. Watt and King Streets	*	*	*	'High-tech' concrete framed, partly stainless steel clad medical building Arch - Lawrence Neild.
E38 Union House (1884) (SEC 130)	55 Watt St	*	*	* *	Two storey rendered brick Victorian building with classical detailing. Original Council Chambers for Newcastle Borough Council.
E39 Fletcher Monument (1897) (SEC 130)	Ordinance Park Watt Street	*	*	*	Statue erected by public subscription to commemorate James Fletcher MLA 'The miners friend' founder of Newcastle Herald and Miners Advocate MLA for Newcastle 1880 - 91.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE	NLS	VG	A P H P L DS
H1 Commercial Building	Watt Street	*	*	*	3 storey brick building with projecting upper two storey bays supported on decorative brackets classical portico.
H2 St Phillips Church (1905)	Watt Street	*	*	*	Large brick/sandstone church with bell-tower (Presbyterian)
H3 Terraces (PCO)	50 to 62 Watt Street	*	*	*	7 x 3 storey late Victorian terraces with filled in second storey balconies.
H4 Macquarie House (Sessions House) (PCO)	Cnr Church and Watt Sts	*	*	*	3 storey brick commercial building, formally a hotel. Brick and render. Site of first courthouse.
H5 Police Headquarters (1981-82)	Cnr Church and Watt Streets	*	*	*	Modern concrete/glass office building up to cnr floors
H6 Former Residence	Watt Street (Psychiatric Hospital)	*	*	*	Single storey federation style house.
H7 Former Olympic Hall (1880)	Bolton Street	*	*	*	Classical facade (render on brick) with corrugated iron building behind. Now used for parking. Neglected.

NAME / IDENTIFICATION Fort Scratchley		NO. E4
LOCATION Nobbys Road, Flagstaff Hill BLOCK SECTION		RATING NE ● NT ●
OWNER PRESENT Austrian Govt. Dept. of Admin. Services	PAST Austrian Army	BUILT 1880 - 1942 ARCHITECT G A Morrell BUILDER James Russell
USE PRESENT Museum	PAST Fort	CONDITION EXT. MATERIALS Concrete Sandstone

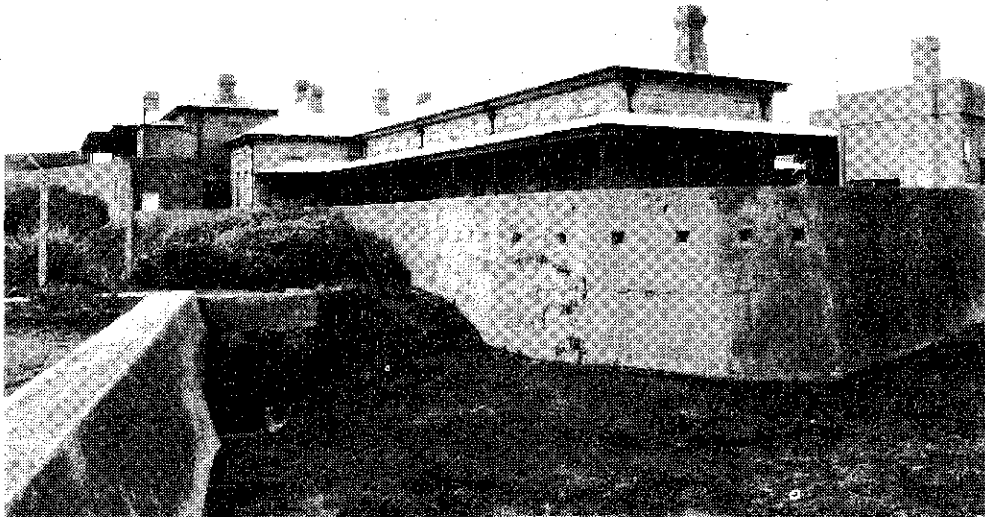
REASONS FOR LISTING
SIGNIFICANCE
HISTORY

The fort is one of only two examples of a closed work of the later 19th century stage of fortification in N.S.W., (the other being at Bare Island, Botany Bay, built 1885). It was built at a time when Newcastle's growing importance as a coal port made the town a prime target for an invading enemy. The site was continuously developed up until 1940. It now consists of 3 gun emplacements and an underground casemate linked to each other and to magazines and stores by underground tunnels. Located on a prominent key historic site.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Upgrade and restore to original conditions. Military museum use related to original role.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Boatmans Terrace		NO. E8
LOCATION 36-66 Nobbys Road BLOCK SECTION		RATING NE NT ●
OWNER PRESENT Maritime Services Board of N.S.W. PAST Maritime Services Board of N.S.W.		BUILT 1892 ARCHITECT BUILDER
USE PRESENT Residential PAST Residential		CONDITION Good EXT. MATERIALS Brick corr. A.C. roof
REASONS FOR LISTING SIGNIFICANCE HISTORY Originally constructed to house boatmen who manned the lifeboats. Comprises 3 storey terraces (two floors above Nobbys Road) of typical English appearance, constructed of brick with corrugated asbestos cement roof. Contains bay windows with shingle spandrels below and two central gables with timber detail. Front fence detracts and original roofing has been replaced.		

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Restore and retain for residential use.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Coal Memorial		NO. E9
LOCATION Parnell Place BLOCK SECTION		RATING NE NT ●
OWNER PRESENT Newcastle City Council PAST		BUILT 1909 ARCHITECT BUILDER
USE PRESENT Memorial PAST Memorial		CONDITION EXT. MATERIALS Stone

REASONS FOR LISTING
SIGNIFICANCE
HISTORY

Erected 1909 - Sandstone with copper decorative plaques.

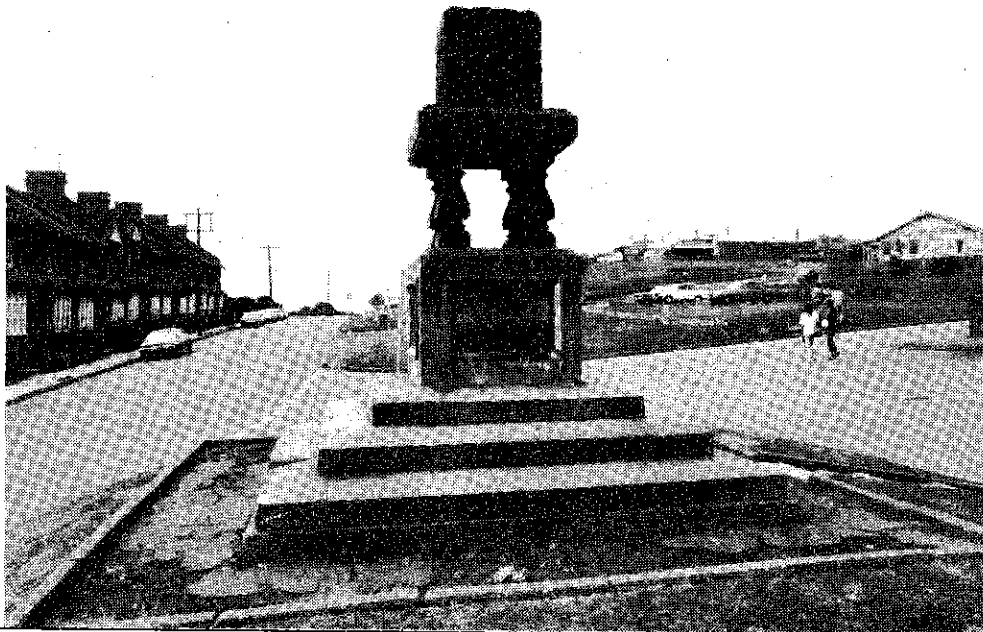
Depicts scenes of coal mining activities 1859 to 1909.

In poor condition due to exposure to weather and original formal paths and gardens have been removed.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain as memorial. Reinstate surrounding gardens to original condition.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Stevenson Place Precinct		NO. E12
LOCATION 1 - 55 Stevenson Place BLOCK SECTION		RATING NE NT ●
OWNER PRESENT Various PAST		BUILT ARCHITECT BUILDER
USE PRESENT Residences PAST Residences		CONDITION EXT. MATERIALS
REASONS FOR LISTING SIGNIFICANCE HISTORY <p>An important precinct containing a mixture of two storey terraces typical of the Victorian and Edwardian periods and a free standing two storey residence (No. 29).</p> <p>Forms part of inner residential core and contributes significantly to streetscape.</p> <p>Many unsympathetic additions (enclosure of upper balconies etc.)</p>		

RECOMMENDATIONS FUTURE ROLE POTENTIAL
<p>Upgrade and retain for residential use.</p> <p>Ensure infill development and alterations and additions are sympathetic with existing.</p>



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Russell Offices		NO. E19
LOCATION Bond Street BLOCK	SECTION	RATING NE NT ●
OWNER PRESENT Carrington Holdings PAST		BUILT C 1880 ARCHITECT BUILDER
USE PRESENT Offices PAST Offices/Warehouse		CONDITION Good EXT. MATERIALS Rendered Brick

REASONS FOR LISTING
SIGNIFICANCE
HISTORY

A 3 storey rendered brick Victorian Italianate office and warehouse building, built as part of the expanding wharf services area of Newcastle Waterfront.

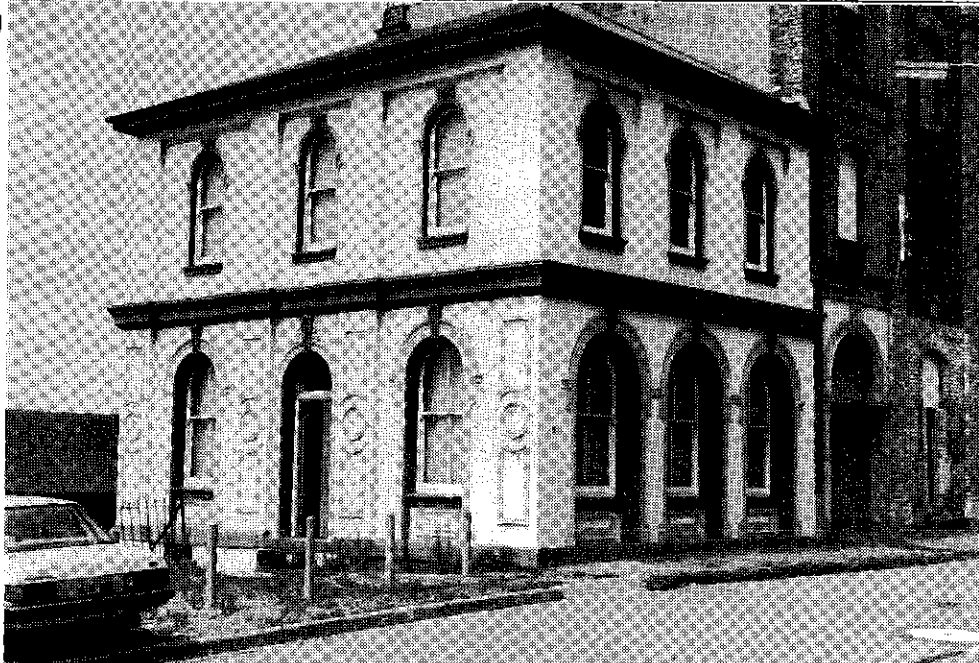
Its location adjacent other buildings related to waterfront activities and the classical detailing warrant its preservation.

Recently renovated and repainted.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain for commercial use.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Newcastle Customs House	NO. E26
LOCATION Bond Street BLOCK SECTION	RATING NE NT ●
OWNER PRESENT Australian Govt. Dept. of Police and PAST Customs	BUILT 1876-77 ARCHITECT James Barnet BUILDER
USE PRESENT PAST	CONDITION EXT. MATERIALS Brick

REASONS FOR LISTING
SIGNIFICANCE
HISTORY

Built in the Italian Romanesque Revival style, to the design of James Barnet. The Bond Street wing was built in 1876-77, and the Scott Street wing added in 1898/1900 as premises for the Hunter District Water Board. The main features are the open colonnade of eight bays linking the tower and the projecting wing, the two oriel windows, the decorative brickwork and the tower.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain in its present form.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME / IDENTIFICATION Great Northern Hotel		NO. E30
LOCATION Cnr Scott and Watt Streets BLOCK SECTION		RATING NE NT ●
OWNER PRESENT PAST	N & P Gerakitey	BUILT 1938 ARCHITECT Hughes & Malone BUILDER Paynter & Dixon
USE PRESENT PAST	Hotel Hotel	CONDITION Good EXT. MATERIALS Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY This six storey brick building is one of the remaining large pre-World War II hotels that remains intact. Historically the site has been a landmark as a premier hotel since 1864. This hotel in particular contains a wealth of art deco decoration and artistic endeavours that would alone justify its preservation. Its architectural quality is of a high order and well suited to the environs of this historic area in Newcastle. Externally it has a fine example of terra cotta facings below awning level. The foyer and some public areas are still substantially intact along with much of the original furnishings and decoration. Additions to the original roof areas of the two wings have substantially detracted from the form of the building.		

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Restore and retain for hotel use. Preserve foyer interior including mural and furniture .



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Union House		NO. E38
LOCATION 55 Watt Street BLOCK SECTION		RATING NE ● NT ●
OWNER PRESENT N.S.W. Hospitals Commission PAST Newcastle Borough Council		BUILT 1884 ARCHITECT BUILDER
USE PRESENT United Services Club PAST Council Chambers		CONDITION EXT. MATERIALS Rend Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY Built to house Newcastle Borough Council Chambers and believed to have been used for this purpose until 1930. A two storey building with central attic of brick construction with rendered facade. 1922 Brick additions detract from symmetrical form of original building. In conjunction with the terraces opposite forms an important group of late Victorian Buildings.		

RECOMMENDATIONS FUTURE ROLE POTENTIAL



DATA SHEET

OCTOBER 1983

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS								
		NE	NTLS	VG	A	P	H	P	L	DS
H8 Rose or Toll Cottage C 1828	Off Bolton Street	*		*				*		Single storey brick cottage believed to be the oldest surviving in Newcastle.
H9 Buchanan Terraces (1890 - 91) (PCO)	Church St .	*		*				*		11 x 3 storey rendered brick terraces C.1. rails to balconies and W.1. fences. Mixed office and residential uses.
H10 Grand Hotel C 1891 (PCO)	Cnr Church and Bolton Streets	*		*			*	*		Arch - Henderson 3 storey late Victorian hotel. Important part of legal precinct.
H11 Court Chambers (1898)	Cnr Bolton and King Streets	*	*		*				*	Two storey brick and stucco Queen Ann offices with interesting and diverse detailing.
H12 Former David Cohen warehouse (1901) (PCO)	Bolton St	*	*		*			*	*	Arch - Yeomans Five storey brick facade with arched openings and corbelled piers. Architect - Menkens.
H13 East Newcastle Public School (1908-1912)	Cnr Church and Bolton Streets	*	*		*			*	*	Two storey brick and sandstone Queen Anne School. Now houses court related functions Arch - Vernon

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS					
		N	E	T	L	S	
H14 Court House (1890)	Church Street	*	*	*	*	*	Large Victorian Italianate building with rendered classical detail and slate roof. Arch - Barnet
H15 Terraces	Church Street		*	*		*	3 x two storey and basement. Late Victorian terraces. Rendered brick with balconies and cast iron lace.
H16 Residence	King Street		*	*		*	Three storey Georgian Residence brick. Enclosed front verandah
H17 Terraces	35-39 Newcomen Street		*	*	*	*	3 x three storey rendered brick Victorian Terraces with enclosed verandahs.
H18 A.B.C. Offices	99 Newcomen Street	*		*		*	Four storey late Victorian Terrace which houses the A.B.C. offices
H19 Residence	51 Newcomen Street	*		*		*	Two storey Colonial Georgian Residence
H20 Former Military barracks	Newcomen St (Psychiatric Hospital)	*		*		*	Large two storey colonial Georgian brick building formerly used as military barracks.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS	
		NE	NTLS	VG	A P H P L DS	
H21 Medical Superintendants (1849)	Newcomen St.	*	*	*	*	Single storey rendered brick Georgian Residence with attic. Originally residence for commandant of military barracks.
H22 Newcastle Club (1921)	Cnr. King and Newcomen Streets	*	*	*	*	Academic Revival Period club house with well preserved interior. Arch - Dods.
H23 Claremont (C 1841)	42 Newcomen Street	*	*	*	*	Two storey brick Georgian residence with original iron lacework on timber verandah.
H24 Organist's Residence	No. 44 Newcomen Street	*	*	*	*	2 storey rendered brick residence Victorian with later additions
H25 Berkeley House (Deanery - 1932)	46 Newcomen Street	*	*	*	*	Free standing two storey brick Federation style residence with interesting timber detail.
H26 Newcastle Grammer School	Cnr Newcomen and Church Streets	*	*	*	*	Two storey brick school building with steep pitch tiled roof and projecting gable.
H27 Residence	Newcomen St.	*	*	*	*	Semi-detached 2 storey rendered brick residences enclosed verandahs.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION N E N T L S V G A P H P L D S	THREAT	COMMENTS	
H28 Free-standing Residence	Newcomen St.	* *	*	2 storey rendered brick residence with single storey verandah - steep pitched roof.	
H29 Christ Church Cathedral (1883 - 1981)	Church St .	* *	*	* * Large gothic revival Cathedral. Arch - H. Hunt	
H30 Former Pro-Cathedral (1883) (PCO)	Church St	*	*	* * Brick parish hall with queen post trussed roof. Arch - H Hunt.	
H31 Free-standing Residence	Tyrrell St	*	*	* 2 storey Federation style brick house with decorative timber verandah.	
H32 Terraces	Tyrrell St	*	*	* 2 x two storey terraces with classical details.	
H33 Terrace	Barker St	*	*	*	Two storey free-standing weatherboard terrace with upper verandah.
H34 'Brynymor'	Barker St	*	*	*	Dominant two storey rendered brick residence former stables for Jesmond House in poor state of repairs.
H35 Residence	Cnr Barker and Ordinance Streets	*	*	*	Partly single/double Victorian brick residence with verandah, slate roof. Former Harbour-masters residence.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS								
		NE	NLS	VG	A	P	H	P	L	DS
H36 Residence C 1930	Tyrrell St	*	*				*			2 storey brick residence. Steep pitch roof, projecting bays, gables and arches. Multi-coloured brickwork.
H37 Shalamah 1906	Barker St	*		*			*			Large 2 storey brick Italianate building. Interesting turned timber detail to verandah. Former residence of John Hall. Arch - Menkens.
H38 Jesmond House C 1875	Cnr Barker and Ordinance Streets	*		*			*		*	2 storey Victorian Italianate mansion formerly owned by the Woods. Key landmark with interesting Italianate detail.
H39 Terraces	Cnr Church and Wolfe Streets		*							2 x two storey large Federation style terraces with Projecting bays. Arch - Castleder
H40 Terraces/ Shops	Cnr Tyrrell and Wolfe Streets		*		*		*		*	2 x three storey (including basement) rendered brick terraces (No.s 50 and 52) and 2 x three storey Victorian Italianate Terraces with projecting balconies.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING NE NT LS	CONDITION VG A P H P L DS	THREAT	COMMENTS
H41 Terraces	Cnr Tyrrell and Wolfe Streets (11A to 27 Tyrrell St)	*	*	*	8 large two storey brick terraces late Victorian and Federation styles. Important streetscape elements should be retained.
H42	79 Wolfe St	*	*	*	2 storey Victorian Terrace with filled in upper balcony, decorative head moulds etc.
H43 Residence	83 Wolfe St.	*	*	*	Single storey brick Georgian residence with filled in verandah.
H44 Residence 'Highroyd Hall'	85 Wolfe St	*	*	*	3 storey Edwardian brick flats.
H45 Residence (1974)	87 Wolfe St	*	*	*	3 storey concrete and brick modern terrace - 1980 Blacket award Arch - Suters
H46 The Obelisk (1850)	Ordinance St	*	*	*	Marks the site of Newcastle's first windmill (1820). Erected as a navigational marker for shipping.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE	N	LS	VG A P H P L DS
H47 Terraces	No 34 to 38 Wolfe Street	*	*	*	3 x two storey brick terraces with basement. Infilled verandahs.
H48 Segenhoe (1929)	50 Wolfe St	*	*	*	Six storey brick art deco apartment building with projecting bays. Arch -Sodersten
H49 Terraces	Cnr Wolfe and Church Streets (66 - 68 Church St.)	*	*	*	2 x three storey late Victorian terraces. Former police residences.
H50 Terraces	Cnr Wolfe and Tyrrell Streets (No.s 29 -35 Tyrrell St)	*	*	*	Large two storey brick Victorian terrace group. In conjunction with terraces to east form important streetscape elements.
H51 Shop	78 Wolfe St	*	*	*	2 storey brick shop with upper projecting balcony. Interesting turned timber detailing.
H52 Terraces	88-94 Wolfe Street	*	*	*	4 x two storey rendered brick early Victorian terraces with enclosed upper projecting balconies.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE	NLS	VG	A P H P L DS

H53 Residences C1880	Off Wolfe St.	*	*	*	Single storey cottage with Attic and sandstone basement. Originally mine company residences.
H54 Terraces	70 to 78 Church Street	*	*	*	* Group of 4 x two storey terraces (with basements) Mid to late Victorian with C.I. lace to verandahs.
H55 Piccardi Centre (1884)	Cnr King and Perkins Sts.	*	*	*	* 4 storey decorative rendered brick building. Former Ireland bond store now used for commercial purposes.
H56 Terraces	Perkins St 31 to 43	*	*	*	Group of 7 late Victorian rendered brick terraces, some with C.I. lace railing and wrought iron fencing intact. Part of a fine residential streetscape.
H57 Terraces	49 Perkins Street	*	*	*	3 x three storey Victorian Italianate terraces, rendered brick

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS				
		NE	NLS	VG	A P H P L DS	
H58 Lance Villa (1890)	Cnr Perkins and Church Streets	*		*	*	Three storey free standing residence with basement. Architect - Menkens.
H59 Catholic Education Office	Tyrrell St.	*	*	*		Two storey rendered brick building with steep pitch gable roof.
H60 Terraces	No.s 34 to 40 Perkins Street	*	*		*	4 x two to three storey Victorian Italianate terraces with Hip roofs. Good lace detailing.
H61 Residence	42 Perkins Street	*	*		*	2 storey Edwardian residence with enclosed verandah.
H62 St Marys Star of Sea Group	Perkins St.	*	*		*	St. Marys Church and adjacent Presbytery together with stone base of beacon tower.
H63 Residence	54 Perkins Street	*	*		*	2 storey freestanding brick gothic revival residence.
H64 Residence	56 Perkins Street	*		*	*	Freestanding 2 storey early Victorian residence. Verandah partly removed.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS	
		NE	NTLS	VG	A P H P L DS	
H65 Residence and Terraces	Perkins St (58 - 64)	*	*	*	*	Freestanding 2 storey rendered brick Edwardian residence and 3 x two storey early Victorian terraces with enclosed upper verandahs.
H66 Entry to Newcastle Reservoir (1882)	The Terrace	*	*	*		Sandstock brick walls with sandstone steps leading to a sandstone portico with classical detailing and arched six pane timber door.
H67 Central Hall (1903)	King Street	*	*	*		Queen Anne Commercial building, 2 storey brick with rendered details, large Central Arch with four smaller arched openings at ground level. Central arches have decorative wrought iron gates.
H68 Wool Exchange (1906)	Cnr King and Brown Streets	*	*	*		3 storey brick commercial building with rendered detail. Symmetrical with large central bay containing four large arches. Arch - Menkens.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS					
		NE	N	LS	VG	A P H P L DS	
H69 Terraces	17 - 19 Brown Street	*	*		*		2 x two storey terraces with projecting balconies.
H70 Residences	21 and 23 Brown Street	*	*		*		2 brick residences Federation and Gothic revival Decorative barges and timber work.
H71 'Minumbah' C 1890	Cnr Brown and Church Streets	*	*		*	*	3 storey Gothic revival residence recently restored.
H72 Office Building	Cnr King and Brown Streets		*	*		*	Modern 3 storey reinforced concrete and brick office building with rectangular sunscreens. Architect - Suters
H73 Beacon Tower (1877)	Cnr The Terrace and Tyrrell Sts	*		*	*	*	Originally built as a light tower for navigational purposes.
H74 School (1878)	Cnr The Terrace and Tyrrell Sts	*	*		*	*	Formerly Newcastle Public School. Gothic revival. School building by G A Mansfield Recently authentically restored.
H75 Terrace Shops	75 - 181 King Street	*	*		*		4 x three storey rendered brick Victorian terraces.

THE HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS NE N T L S V G A P H P L D S		
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H76 Bishops Court	Cnr Tyrrell Street, The Terrace and Church Street	*	*	*	Upper floors have french doors, original verandahs have been removed. Lower floor has decorative hood moulds. Two storey brick Edwardian residence and chapel. Arch - Castleden.
H77 Residence	47 Tyrrell Street	*	*	*	2 storey brick and render Victorian Italianate free standing residence. Large balcony with cast iron trim.
H78 Apartments	197 King St	*	*	*	Five modern brick apartments on steep prominent site overlooking harbour. Architect - F Romberg
H79 The Boltons (1904)	Off Church Street	*	*	*	2 storey weatherboard Edwardian free standing terrace type residence in the distinctive style of Menkens ornate timber detailing picket fences.

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE	N	L	S
		V	G	A	P
		H	P	L	D
		S			

H80. Residence	116 Church St	*	*	*	Large free standing late Victorian 2 storey rendered brick residence. Gothic revival with W.I. fence. Now used as Restaurant.
H81. Residence	118 Church St	*	*	*	Large free standing late Victorian rendered brick residence. Projecting bay window, infilled upper verandah, still has W.I. fence.
H82. Residence	Off Church Street	*	*	*	2 storey weatherboard Edwardian residence with decorative barges.
H83. Marlborough House (1872)	49 Church St	*	*	*	2 storey brick Victorian Italianate free standing residence.
H84. Woodlands C 1878 (PCO)	McCormack St	*	*	*	Large 2 storey rendered brick Victorian Italianate residence infilled verandah.
H85. Band Rotunda 1898	King Edward Park	*	*	*	Octagonal rotunda with decorative cast iron and corrugated iron curved roof.

IDENTIFIED
ELEMENT

LOCATION

LISTING CONDITION THREAT COMMENTS
NE N T L S V G A P H P L D S

IDENTIFIED ELEMENT	LOCATION	NE	N	T	L	S	V	G	A	P	H	P	L	D	S	COMMENTS
H86. Drinking Fountain (1879)	King Edward Park	*		*								*	*			Ornate Victorian drinking fountain originally located outside Newcastle Railway Station.
H87. Residence	Cnr. Bingle Street and The Terrace	*		*								*	*			Free standing two storey Gothic revival residence.
H88. The Terrace Group	The Terrace	*		↔								*	*			Group of 15 prestigious Victorian residences. Mixed architectural styles. Some by noted Newcastle Architects.
H89. House and Military Relics	Shepherds Hill	*		*	*	*										Group comprising a) Single storey detached weatherboard residence with verandah b) Concrete and steel observation post c) Gun emplacements and underground tunnels.

NAME/ IDENTIFICATION Macquarie House	NO. H4
LOCATION Cnr Church and Watt Streets BLOCK SECTION	RATING NE NT ●
OWNER PRESENT PAST	BUILT 1890 - 1891 ARCHITECT James Hender BUILDER son
USE PRESENT Offices PAST Hotel	CONDITION Very good EXT. MATERIALS Brick/ Render

REASONS FOR LISTING

SIGNIFICANCE

HISTORY

Three storey brick Victorian Italianate building constructed concurrently with adjoining Watt Street terraces. Contains hooded segmental arched 2 pane windows with label stops and bracketted sills.

Originally had verandahs which were removed in the 1960's.

RECOMMENDATIONS

FUTURE ROLE

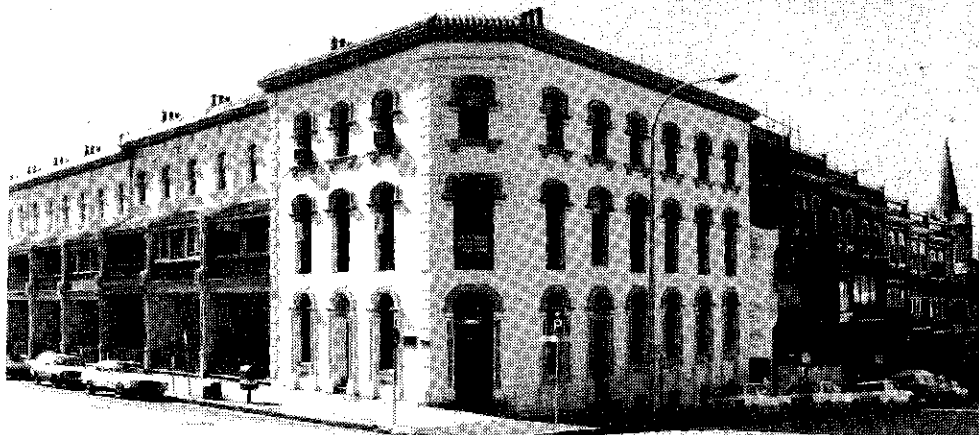
POTENTIAL

Retain in present usage.

PHOTOGRAPH

SKETCH

PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Terraces, Lower Church Street (Buchanan Terrace)	NO. H9
LOCATION 10 - 30 Church Street BLOCK SECTION	RATING NE NT ●
OWNER PRESENT PAST	BUILT 1890-91 ARCHITECT James Hender- BUILDER son
USE PRESENT Residential/Commercial (Professional) PAST Residential	CONDITION EXT. MATERIALS

REASONS FOR LISTING

SIGNIFICANCE
HISTORY

A group of eleven three storey Victorian Italianate terraces with basements.

Upper floors have two pane arched hooded windows, first floors french doors opening onto balconies (some with original cast iron) and the ground floor triple arched hooded windows and mosaic tiled entry paths. Also has original brick footpath.

RECOMMENDATIONS

FUTURE ROLE
POTENTIAL

Retain in compatible residential or commercial (professional) use.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Grand Hotel		NO. H10
LOCATION Cnr Church and Bolton Streets (32 Church BLOCK SECTION Street)		RATING NE NT ●
OWNER PRESENT PAST		BUILT C 1891 ARCHITECT Henderson BUILDER
USE PRESENT Hotel PAST Hotel		CONDITION Fair EXT. MATERIALS Rendered Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY <p>Three storey hotel with hooded segmetal arch, upper windows and bracketed sills.</p> <p>Forms part of an important group of buildings and an important visual element forming a 'stop end' to the Church Street terrace group.</p>		

RECOMMENDATIONS FUTURE ROLE POTENTIAL <p>Retain in present use and upgrade.</p>



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Court Chambers		NO. H11
LOCATION 61-69 King Street, 40-42 Bolton Street BLOCK SECTION		RATING NE ● NT ●
OWNER PRESENT PAST		BUILT 1898 ARCHITECT E.C. Yeomans BUILDER
USE PRESENT Offices PAST Offices		CONDITION Good EXT. MATERIALS Painted Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY A prominently sited 2 storey brick and stuccoed Queen Ann style office building containing diverse and whimsical decoration including a range of distorted classical details.		

RECOMMENDATIONS FUTURE ROLE POTENTIAL Preserve and retain in commercial use.
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DATA SHEET

OCTOBER 1983

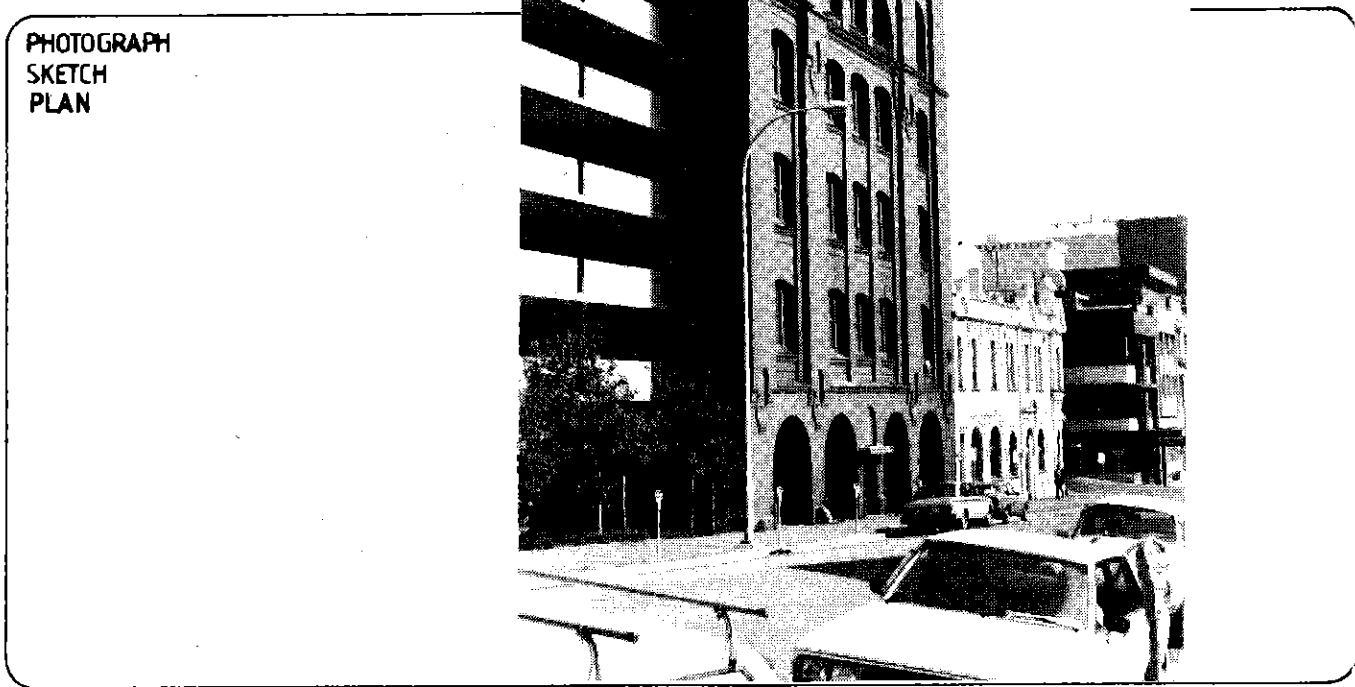
NAME/ IDENTIFICATION Former David Cohen & Co. Warehouse		NO. H12
LOCATION Bolton Street BLOCK	SECTION	RATING NE ● NT ●
OWNER PRESENT Newcastle City Council PAST David Cohen & Co		BUILT 1901 ARCHITECT F Menkens BUILDER F J Thorby
USE PRESENT Parking Station PAST Warehouse		CONDITION EXT. MATERIALS Brick

REASONS FOR LISTING

SIGNIFICANCE This five storey warehouse built for the famous Hunter Valley merchant firm of David Cohen & Company is probably one of the best examples of a federation era warehouse to be found anywhere in Australia. The main facade is finished entirely in face brickwork and superbly detailed to form arched openings and massive corbelled piers. The dark red bricks with coloured matching jointing are used sculpturally to give a facade of great strength. Forms a dominating element within the streetscape and is a fitting reminder of the once bustling warehouse and shipping office quarter of Newcastle. Recent redevelopment of the site for use as a parking station has incorporated the original facade.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Maintain in present condition.

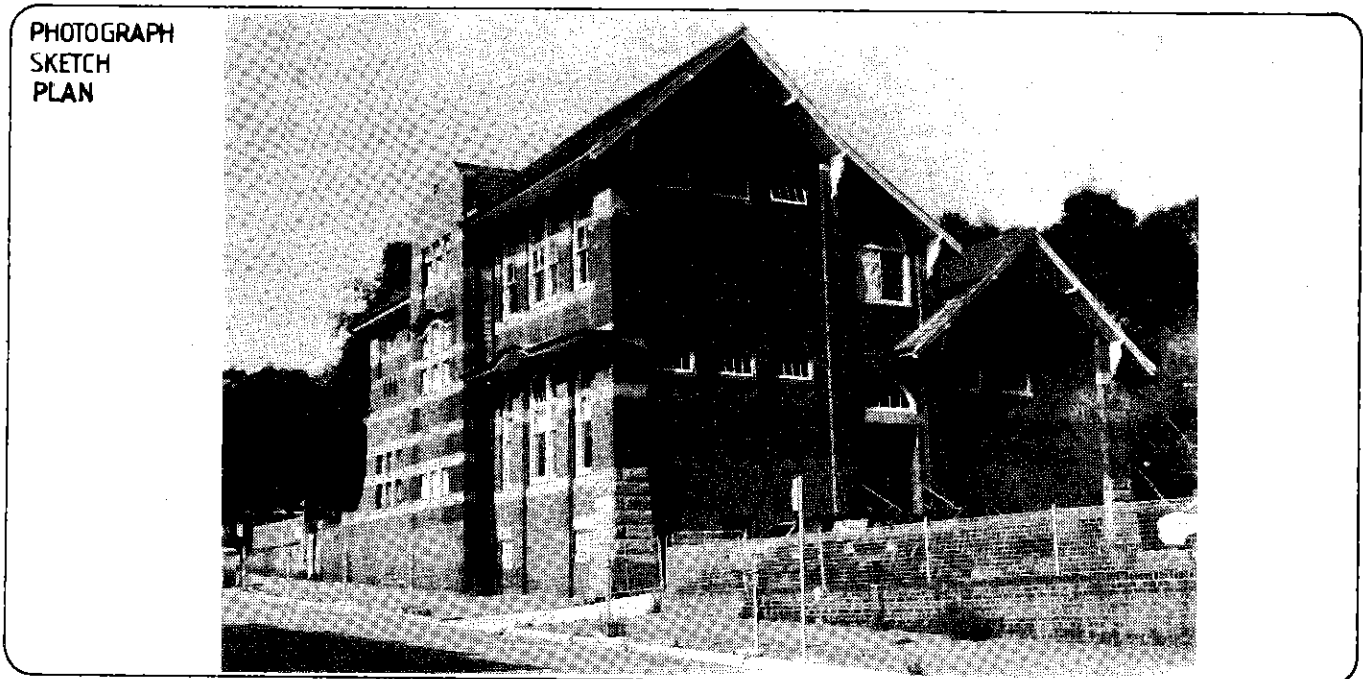


DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION East Newcastle Public School		NO. H13
LOCATION Cnr. Bolton and Church Streets BLOCK SECTION		RATING NE NT ●
OWNER PRESENT NSW Govt. Dept. of Education PAST		BUILT 1908 - 12 ARCHITECT W.L. Vernon BUILDER
USE PRESENT PAST School		CONDITION EXT. MATERIALS Brick Sandstone, slate roof
REASONS FOR LISTING SIGNIFICANCE HISTORY Two storey brick and sandstone Queen Ann style school with slate roof. Contains a diverse range of window forms, sandstone inserts, and an unusual entry. Now houses court related functions.		

RECOMMENDATIONS FUTURE ROLE POTENTIAL Retain in compatible community uses.



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Court House		NO. H14
LOCATION Bolton & Church Streets BLOCK SECTION		RATING NE ● NT ●
OWNER PRESENT N.S.W. Government	PAST N.S.W. Government	BUILT 1890 ARCHITECT Walter Ver- BUILDER non
USE PRESENT Court House	PAST Court House	CONDITION Good EXT. MATERIALS Rendered Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY The present Victorian Italianate building replaced an earlier courthouse built in 1841. The design is symmetrical having a central recessed portico with arched central opening and classical gabled pediment over, and two smaller balancing wings. The building is a fine example of late Victorian civic architecture and provides an appropriate and impressive termination to Bolton Street.		

RECOMMENDATIONS

FUTURE ROLE

POTENTIAL

Retain in present usage.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION 49 Newcomen Street	NO. H18
LOCATION 49 Newcomen Street BLOCK SECTION	RATING NE NT ●
OWNER PRESENT Australian Broadcasting Corporation PAST Residence	BUILT ARCHITECT BUILDER
USE PRESENT Offices for A.B.C. PAST Terrace House	CONDITION Good EXT. MATERIALS Brick

REASONS FOR LISTING

SIGNIFICANCE

HISTORY

Large 3 storey terrace building with basement and two storey balcony with cast iron classical columns and wrought iron fence.

An example of a large grand Victorian terrace, generally uncommon in Newcastle, though two other such groups exist in Church and Watt Streets. The condition of the building is basically sound and many of the interior fittings intact. It is located directly facing a group of buildings on the National Trust's Register (Deanery, Claremont, Newcastle Club) and in the shadow of the Cathedral.

RECOMMENDATIONS

FUTURE ROLE

POTENTIAL

Retain in compatible or residential use.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION 51 Newcomen Street		NO. H19
LOCATION 51 Newcomen Street BLOCK SECTION		RATING NE NT ●
OWNER PRESENT PAST		BUILT ARCHITECT BUILDER
USE PRESENT Professional Offices PAST Residence		CONDITION EXT. MATERIALS
REASONS FOR LISTING SIGNIFICANCE HISTORY Double storey Georgian residence with twelve paned windows and original iron fence.		

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain in compatible residential or commercial use.



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Former Military Barracks	NO. H20
LOCATION Newcomen Street BLOCK SECTION	RATING NE NT ●
OWNER PRESENT N.S.W. Government PAST	BUILT ARCHITECT BUILDER
USE PRESENT Psychiatric Hospital PAST Military Barracks	CONDITION Good EXT. MATERIALS Brick

REASONS FOR LISTING
SIGNIFICANCE
HISTORY

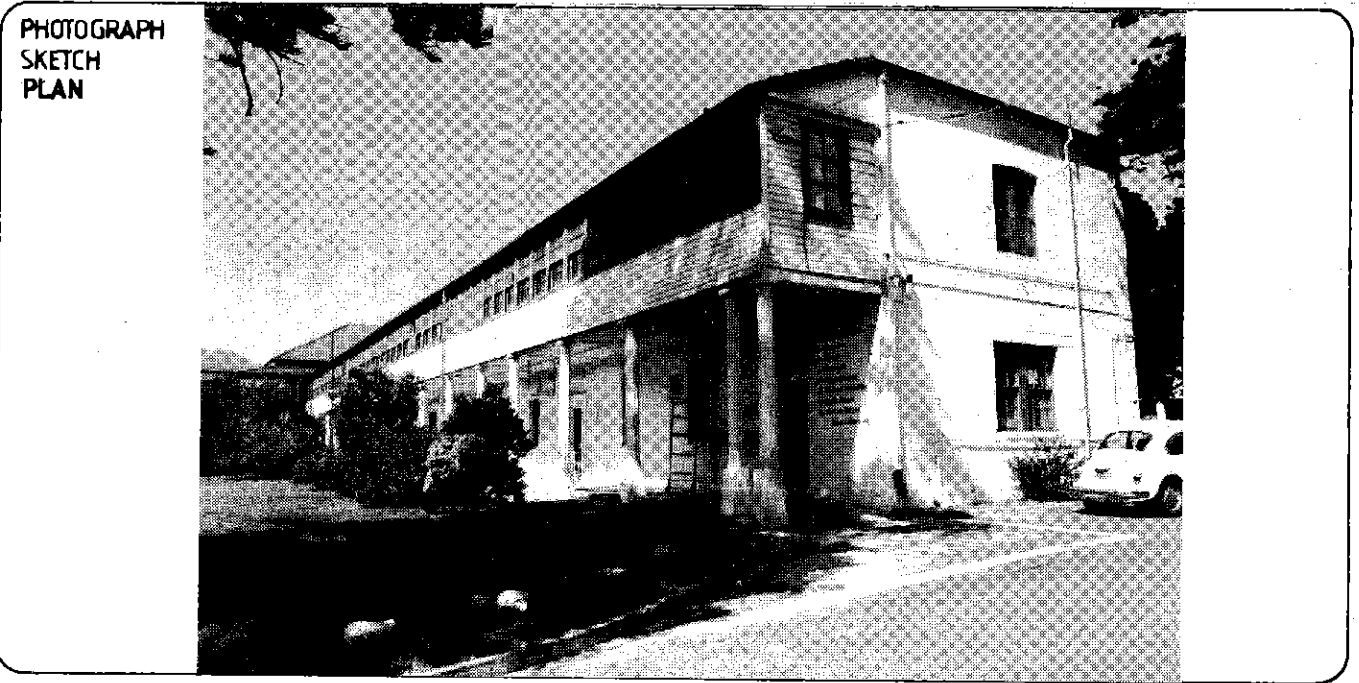
Two storey barracks with timber verandahs on the eastern side with crude turned timber columns.

Military barracks were established on this site in C 1840.

The site is surrounded by a brick wall and inaccessible.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Restore buildings and continue hospital use.



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Newcastle Club	NO. H22
LOCATION 40 Newcomen Street BLOCK SECTION	RATING NE MT ●
OWNER PRESENT The Newcastle Club PAST The Newcastle Club	BUILT 1921 ARCHITECT Robin S Dods BUILDER (Spain & Cosh)
USE PRESENT Club House PAST Club House	CONDITION Very Good EXT. MATERIALS Brick

REASONS FOR LISTING

SIGNIFICANCE

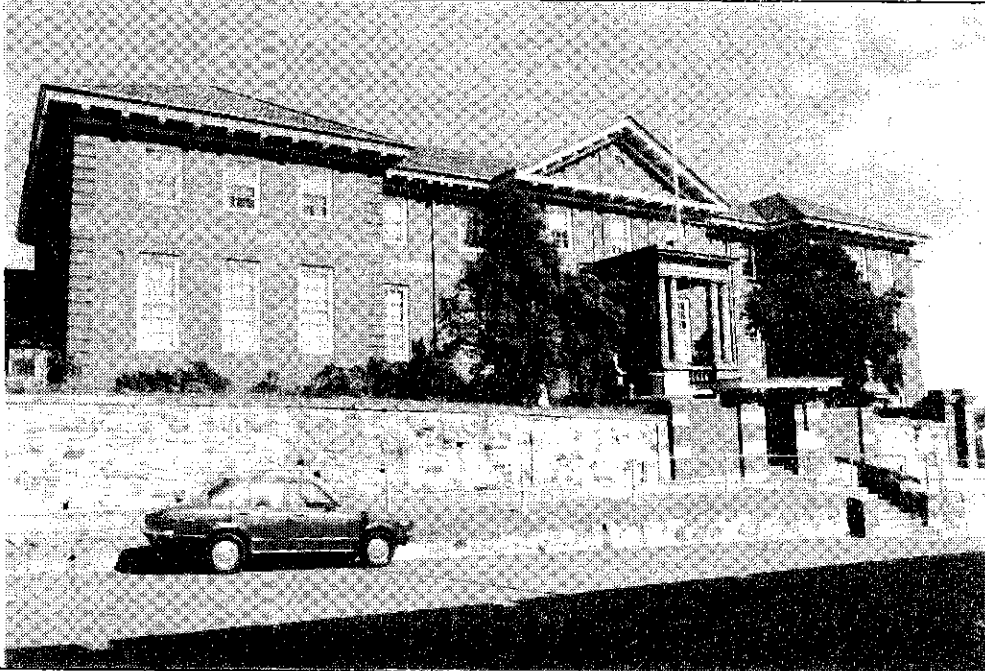
HISTORY A large Academic Revival Period residential club house, built of a dark brick with stone dressings and Marseille tile roof. The somewhat dour exterior hides an interior of great distinction which except for minor alterations, is unchanged from the time of its completion in 1924. The interior contains high quality with well finished joinery and plasterwork. Details like door furniture, light fittings, carpets and furniture all appear to be original. The club was founded in 1885 and this is its third clubhouse. Important building because of its association with one of the most distinguished Australian Architects of the early 20th Century.

RECOMMENDATIONS

**FUTURE ROLE
POTENTIAL**

Retain in present usage.

**PHOTOGRAPH
SKETCH
PLAN**



DATA SHEET

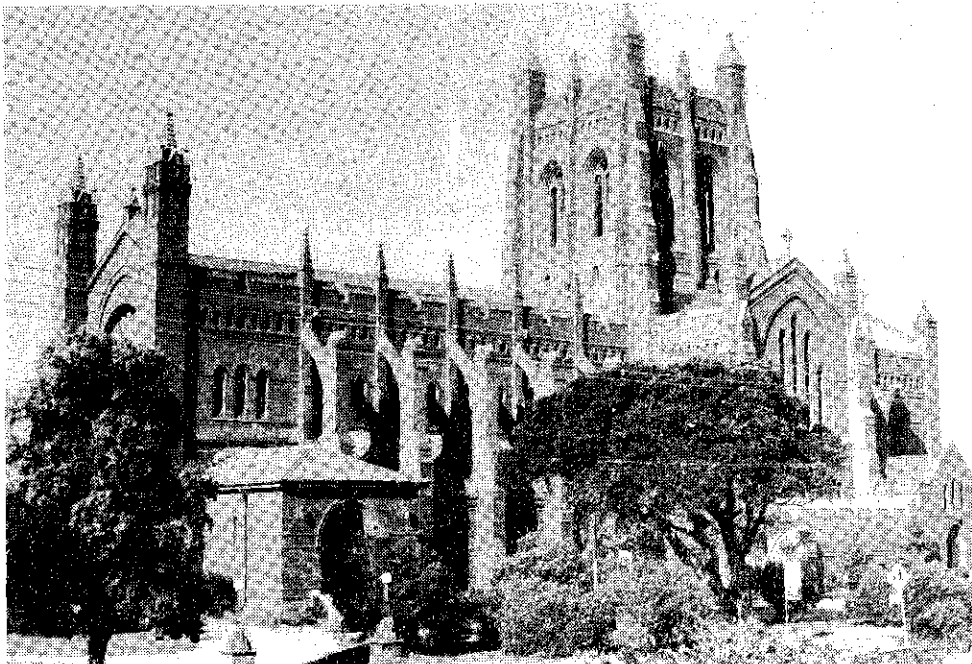
OCTOBER 1983

NAME/ IDENTIFICATION Christ Church Cathedral		NO. H29
LOCATION Church Street BLOCK	SECTION	RATING NE ● NT ●
OWNER PRESENT Church of England PAST Church of England		BUILT 1883 ARCHITECT J H Hunt BUILDER J Straud
USE PRESENT Cathedral PAST Cathedral		CONDITION EXT. MATERIALS

REASONS FOR LISTING The largest of the Cathedrals designed by Hunt, this
SIGNIFICANCE massive but excellently detailed Gothic Revival Cathedral
HISTORY visually dominates the City of Newcastle and contains a rich
assemblage of religious materials and works of art contributed by the
dedicated Anglicans of Newcastle and the Hunter River Valley. The
construction is load bearing brickwork with some sandstone structural
elements (columns, arches etc). The Cathedral contains many ecclesia-
stical treasures including an oak canopy to the marble bapistry font,
north transept stained glass windows designed by Edward Burne-Jones,
west and east windows by Kemp & Co. of London, altar rerodos, Canter-
bury stone and many memorial gifts. Later additions by Buckbridge,
Castleden, and Castleden and Sara.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Christ Church Parish Hall	NO. H30
LOCATION Church Street BLOCK SECTION	RATING NE NT ●
OWNER PRESENT Church of England PAST Church of England	BUILT 1883 - 84 ARCHITECT J H Hunt & BUILDER F Menkens
USE PRESENT Parish Hall PAST Pro Cathedral	CONDITION EXT. MATERIALS Brick

REASONS FOR LISTING

SIGNIFICANCE

HISTORY

Brick hall with queen post roof trusses has a timber clerestory with shingled walls externally.

Interior fitting out by F. B. Menkens.

RECOMMENDATIONS

FUTURE ROLE

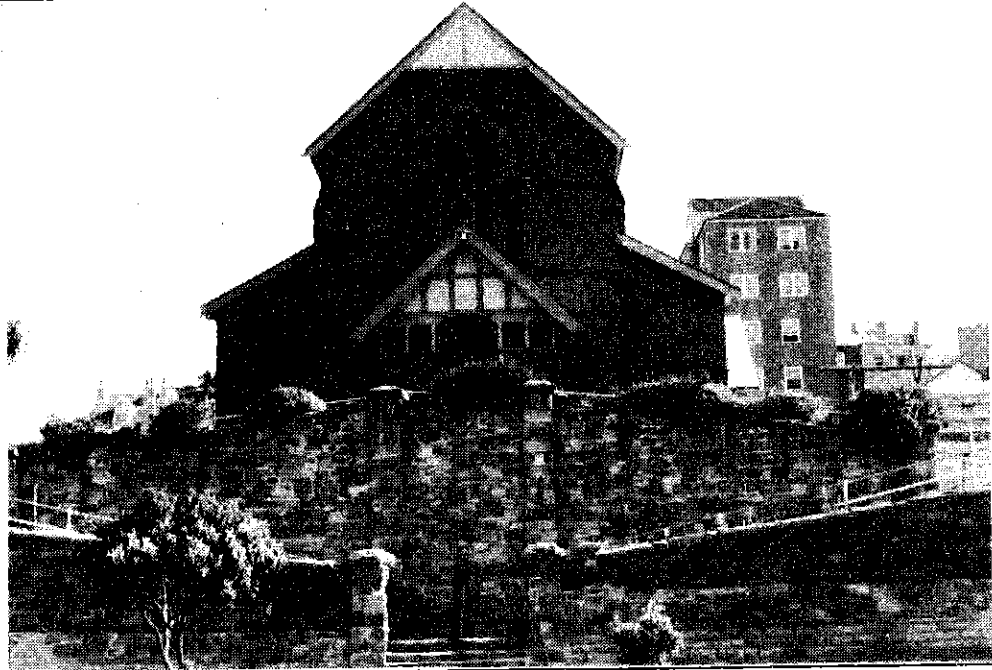
POTENTIAL

Retain in present use.

PHOTOGRAPH

SKETCH

PLAN



DATA SHEET

OCTOBER 1983

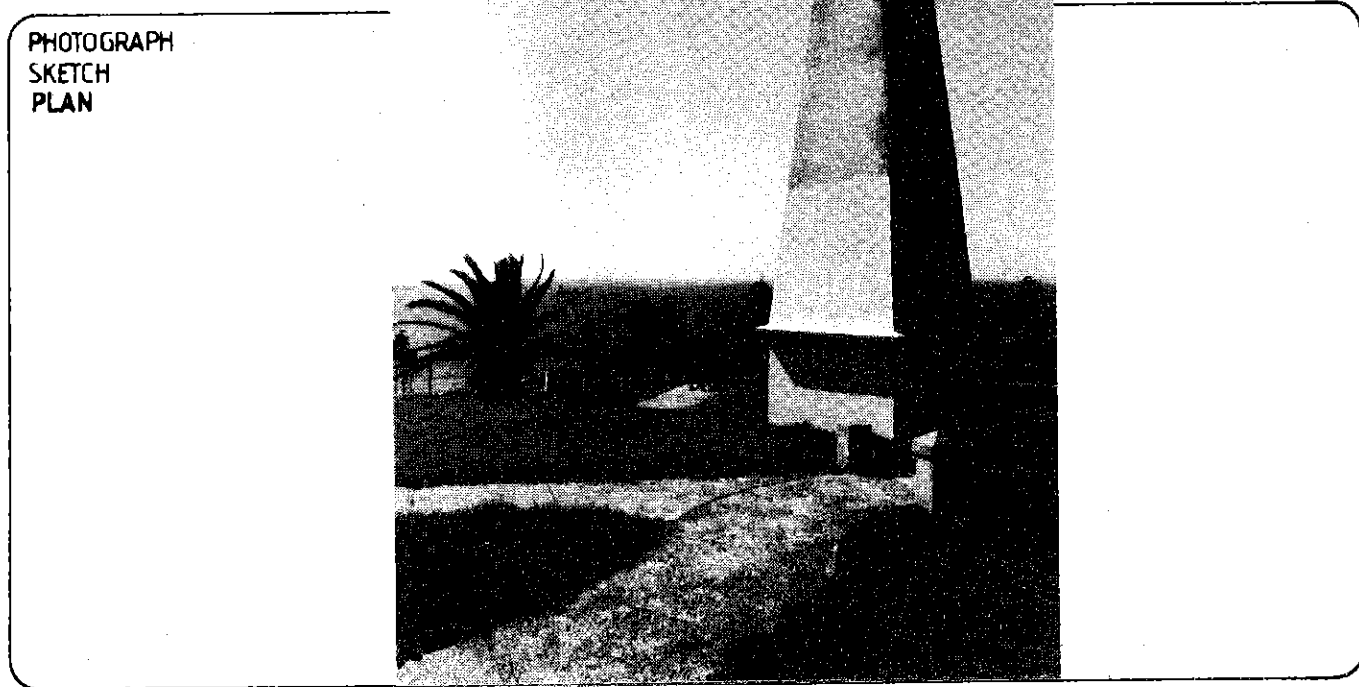
NAME/ IDENTIFICATION The Obelisk	NO. H46
LOCATION Cnr. Wolfe and Ordinance Streets BLOCK SECTION	RATING NE NT ●
OWNER PRESENT PAST	BUILT 1850 ARCHITECT BUILDER
USE PRESENT Navigation Mark PAST Navigation Mark	CONDITION Good EXT. MATERIALS Render

REASONS FOR LISTING
SIGNIFICANCE
HISTORY

The Obelisk was erected following protests from the shipping community upon the demolition of Newcastle's first windmill in 1847. It served as a guide for shipping.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain.



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Terraces, upper Church Street	NO. H49
LOCATION 66-68 Church Street BLOCK SECTION	RATING NE NT ●
OWNER PRESENT PAST	BUILT ARCHITECT BUILDER
USE PRESENT Residences PAST Residences	CONDITION Fair EXT. MATERIALS Brick Corrugated iron.

REASONS FOR LISTING
SIGNIFICANCE
HISTORY

Two large three storey (including basement) late Victorian Residences with double storey cast iron decorative verandahs.

In conjunction with other late Victorian buildings in this area form important streetscape elements.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain in residential use.

PHOTOGRAPH
SKETCH
PLAN

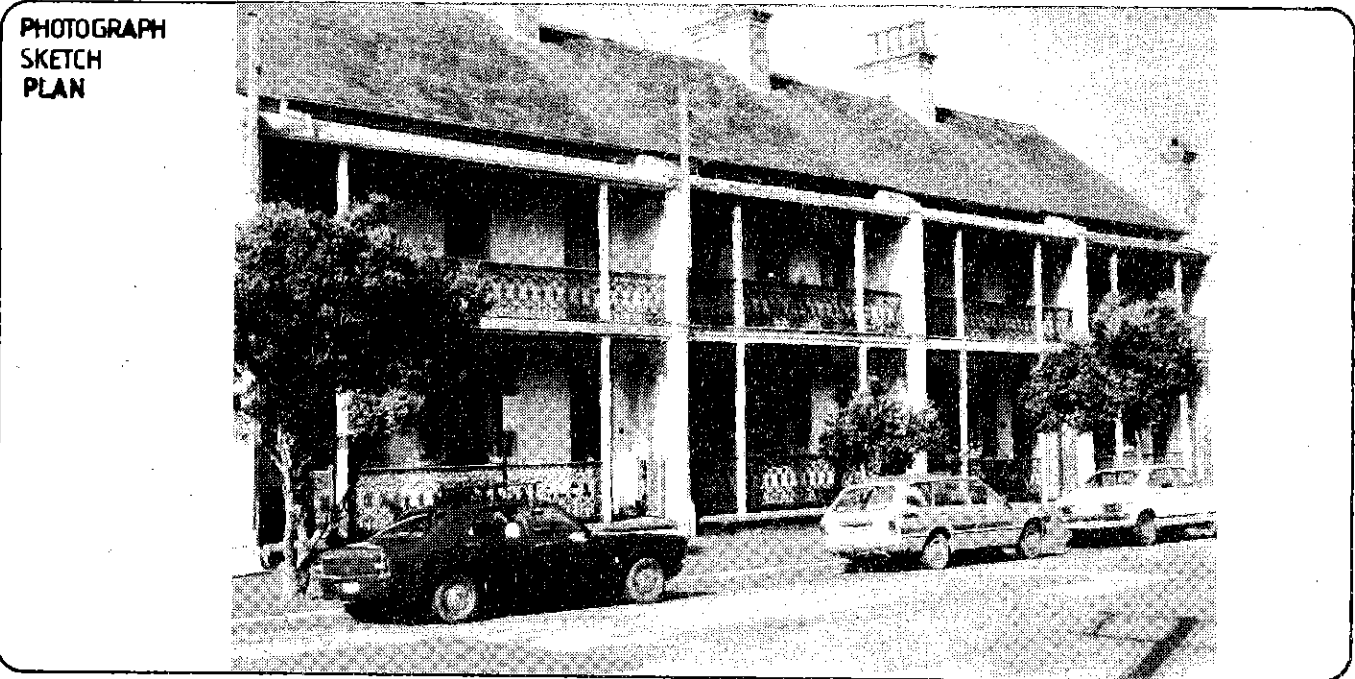


DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Terraces		NO. H54
LOCATION 70 - 78 Church Street BLOCK SECTION		RATING NE NT ●
OWNER PRESENT PAST		BUILT ARCHITECT BUILDER
USE PRESENT Residences PAST Residences		CONDITION Good EXT. MATERIALS Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY <p>Group of four two storey + basement Victorian terraces and one brick free standing Victorian terrace (No. 70) complete with two storey verandahs with cast iron lace.</p> <p>Require maintenance work but in sound condition.</p>		

RECOMMENDATIONS FUTURE ROLE POTENTIAL
<p>Retain in residential use.</p>



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Lance Villa		NO. H58
LOCATION 80 Church Street BLOCK SECTION		RATING NE MT ●
OWNER PRESENT Mr M. L. Scanlon PAST W. P. Lance		BUILT 1890 ARCHITECT F. Menkens BUILDER
USE PRESENT Residence PAST		CONDITION EXT. MATERIALS Brick Tile Roof

REASONS FOR LISTING

SIGNIFICANCE

HISTORY Four storey freestanding late Victorian dwelling built of yellow brick. The southern double storey facade features a miniature porch containing a fine example of moulded brickwork. The original cast iron lace decorated verandah is still intact. The northern side of the building is of four storeys and contains a three storey enclosed timber verandah.

In conjunction with other late Victorian buildings in Church Street forms an important streetscape element.

RECOMMENDATIONS

FUTURE ROLE

POTENTIAL

Encourage refurbishment and retain in residential use. Structural work required to load bearing brickwork.

PHOTOGRAPH

SKETCH

PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION St. Mary's Star of Sea Church		NO. H62
LOCATION Perkins Street BLOCK SECTION		RATING NE NT ●
OWNER PRESENT Roman Catholic Church PAST Roman Catholic Church	BUILT 1863 ARCHITECT W. Munro BUILDER	
USE PRESENT Church PAST Church	CONDITION EXT. MATERIALS	

REASONS FOR LISTING
SIGNIFICANCE
HISTORY

Church on prominent site overlooking Newcastle Harbour.
Design attributed to William Munro.

Originally 13th Century Lancet style but since altered.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain for religious use:



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION (Part of St. Mary's) Residence and Terraces (Star of the sea group)		NO. H65
LOCATION 58-64 Perkins Street BLOCK SECTION		RATING NE NT
OWNER PRESENT Various PAST		BUILT ARCHITECT BUILDER
USE PRESENT Residential PAST Residential		CONDITION Average EXT. MATERIALS Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY <p>Two storey free standing Edwardian residence and three x 2 storey early Victorian terraces with enclosed upper verandahs.</p>		

RECOMMENDATIONS FUTURE ROLE POTENTIAL
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DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION The Boltons	NO. H79
LOCATION Off Church Street, Behind No 110 BLOCK SECTION	RATING NE NT ●
OWNER PRESENT PAST Mrs. Bode	BUILT 1904 ARCHITECT F Menkens BUILDER G W Brewer
USE PRESENT Residences PAST Residences	CONDITION Good EXT. MATERIALS Timber Corrugated Iron
REASONS FOR LISTING SIGNIFICANCE HISTORY <p>A group of four identical free standing weatherboard terrace type houses arranged in a mews like manner. Each is distinguished by decorative timber gables, front verandahs and balconies with highly worked valances, brackets and columns.</p> <p>Each has a small front garden enclosed by a timber picket fence. All appear to be intact although three have had their upper balconies enclosed.</p>	

RECOMMENDATIONS FUTURE ROLE POTENTIAL
Encourage renovation and retain in residential use.



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Marlborough House		NO. H83
LOCATION 49 Church Street BLOCK SECTION		RATING NE NT ●
OWNER PRESENT D J & T M Cowan PAST John Dalton, Dr John Harris	BUILT 1872 - 75 ARCHITECT BUILDER	
USE PRESENT Residence PAST Residence	CONDITION Good EXT. MATERIALS Brick	

REASONS FOR LISTING

SIGNIFICANCE This two storey brick Victorian Italianate residence is one of the finest homes of its type remaining in Newcastle.
HISTORY

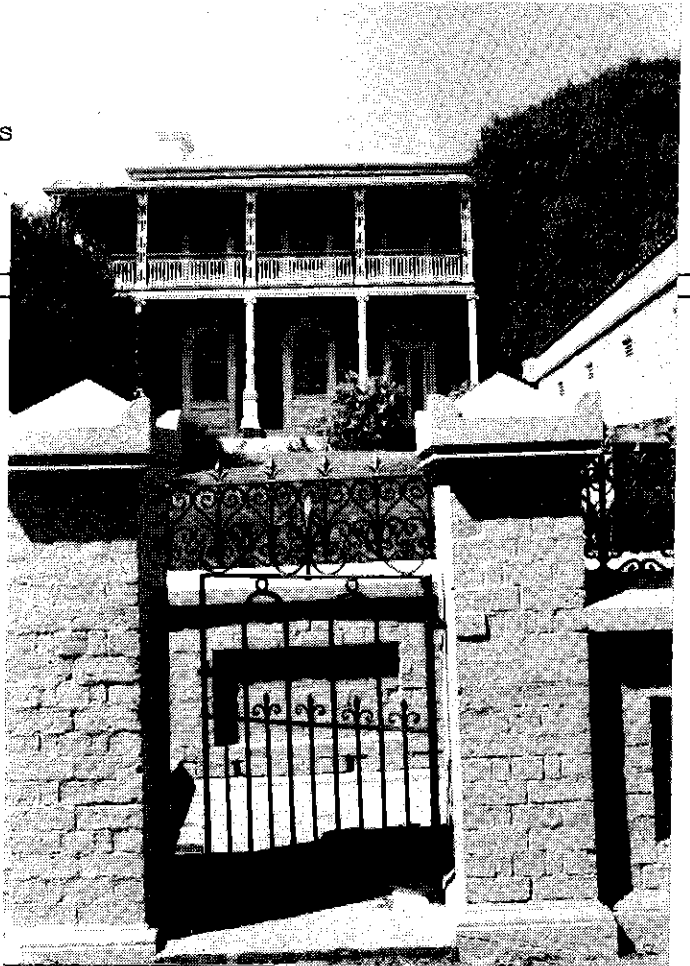
Door and window openings have arched heads and stuccoed surrounds, the front and side face brick walls being protected by a verandah and balcony supported on Ionic cast iron lower columns and cast iron lace upper columns with iron balusters between. The hipped iron roof was originally slate while the L-shaped rear verandah has been incorporated with a sympathetic addition. All interior joinery is of cedar including a staircase having cast iron balusters.

RECOMMENDATIONS

FUTURE ROLE
POTENTIAL

Retain in residential use.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Band Rotunda		NO. H85
LOCATION King Edward Park BLOCK SECTION		RATING NE NT ●
OWNER PRESENT Newcastle City Council PAST Newcastle City Council	BUILT 1898 ARCHITECT BUILDER T Hardyman	
USE PRESENT Band Rotunda PAST Band Rotunda	CONDITION EXT. MATERIALS Brick Iron	
REASONS FOR LISTING SIGNIFICANCE HISTORY Small band rotunda with curved corrugated iron roof and cast iron decorative iron posts, balustrade and lacework. Forms a pleasant focal point within King Edward Park.		

RECOMMENDATIONS FUTURE ROLE POTENTIAL
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DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Drinking Fountain		NO. H86
LOCATION King Edward Park BLOCK SECTION		RATING NE NT ●
OWNER PRESENT Newcastle City Council PAST Newcastle City Council		BUILT 1879 ARCHITECT BUILDER
USE PRESENT Drinking Fountain PAST Drinking Fountian		CONDITION EXT. MATERIALS Sandstone

REASONS FOR LISTING

SIGNIFICANCE

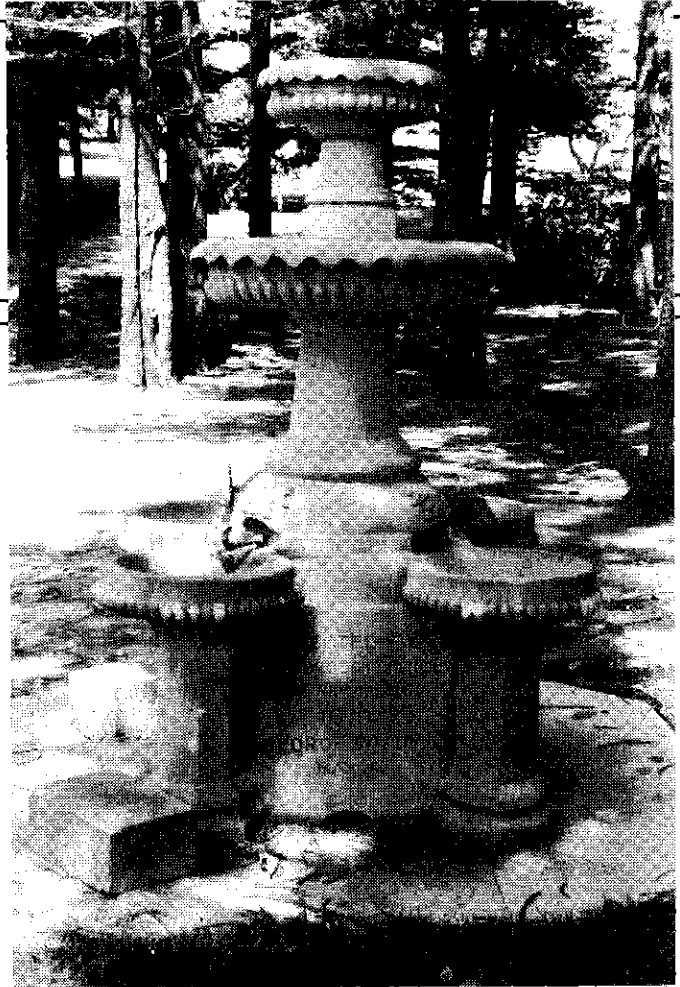
HISTORY

Ornate Victorian sandstone drinking fountain originally located on Scott Street outside Newcastle railway station.

RECOMMENDATIONS

FUTURE ROLE

POTENTIAL



PHOTOGRAPH

SKETCH

PLAN

DATA SHEET

OCTOBER 1983

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS				
		N	E	L	S	
C1. Baptist Tabernacle (1889)	Laman Street	*	*	*	*	Brick with rendered classical details and ornament to facade. Arch - Menkens
C2. Terraces	No.s 23-27 Queen Street	*	*	*		2 storey rendered brick terraces. Slate roof. Projecting balcony removed.
C3. Church Residence	Civic Park (Adjoins St. Andrews Church)	*	*	*		Single storey brick residence with verandah - decorative C.I. lace removed.
C4. St. Andrews Presbyterian Church (1889)	Cnr. Laman & Auckland Streets	*	*	*	*	Gothic Revival Church. Yellow brick with sandstone ornamentation and spire. Key landmark. Arch - Menkens
C5. Residences	Cnr. Laman & Dawson Streets	*	*	*		Late Federation weatherboard residence.
C6. Terraces	No. 17 Dawson Street	*	*	*		3 x 2 storey rendered brick Victorian Terraces recently renovated
C7. Free Standing Residence	No. 14 Dawson Street	*	*	*		Single storey federation style weatherboard house.

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION NE N T L S V G A P H P L D S	THREAT	COMMENTS	
C8. Free Standing Residence	No. 16 Dawson Street	*	*	*	Single storey federation style weather-board house.
C9. Free Standing Residence	No. 18 Dawson Street	*	*	*	Single storey federation style weather-board house.
C10. Conservatorium of music	Cnr. Auckland & Gibson Streets	*	*	*	Imposing five storey rendered brick building former Salvation Army Peoples' Palace. Now used by Conservatorium of Music.
C11, Terrace	No. 33 Laman Street	*	*	*	Two storey weatherboard freestanding terrace decorative timber arches - enclosed upper balcony.
C12. Cooks Hill Youth Centre & Kindergarten	Cnr. Dawson & Council Streets	*	*	*	Two storey Federation style building with slate roof and terra cotta detail to ridge. Timber verandah.
C13. 'Normanton'	No. 37 Dawson St	*	*	*	Two storey Victorian Italianate rendered brick free standing villa with original C.I. lace to upper balcony + W.I. Fence.

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION			THREAT	COMMENTS			
		NE	N	LS			VG	A	P
C14. Residence	No. 45 Dawson Street	*	*		*	Single storey Georgian brick residence. Set back from street.			
C15. Terraces	No.s 28-44 Laman Street	*	*		*	9 x two storey brick terraces with gables facing street and projecting balconies. Recently renovated, although not authentic.			
C16. Terraces	No.s 9-11 Bruce Street	*	*		*	Two storey Victorian rendered brick terraces with wrought iron fences.			
C17. Free Standing Residence	No. 13 Bruce Street	*	*		*	Two storey Victorian Italianate free standing terrace with projecting two storey bay and wrought iron fence.			
C18. Terraces	No. 32-34 Council St	*	*		*	3 x two storey Victorian Italianate brick terraces Recently renovated. Some unsymp- athetic additions.			
C19. Terraces	No.s 29-33 Council St	*	*		*	3 x two storey weatherboard terraces - Victorian Italianate with upper			

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION			THREAT	COMMENTS
		NE	NTLS	VG A P H P L DS		
C20. Terraces	No.s 28-38 Dawson Street	*	*		*	verandah or projecting balconies. Some remaining C.I. lace. 6 x two storey Federation style terraces with timber verandah (some filled in) in varying condition.
C21. Free Standing Terrace	No. 47 Dawson St	*	*		*	Two storey rendered brick free standing Victorian terrace with enclosed upper balcony.
C22. Free Standing Terrace	No. 49 Dawson St	*	*		*	Two storey brick late Victorian terrace tuck pointing turned timber and C. I. decoration.
C23. Terraces	No.s 19-25 Gibson St	*	*		*	5 x three storey terraces upper verandahs. In various stages of renovation.
C24. Terraces	No.s 46-52 Laman Street	*	*		*	4 x two storey rendered brick Victorian Italianate terraces (2 with C.I.lace). Some additions detract from building.
C25. Shop	No. 53 Laman Street	*	*		*	Single storey weatherboard shop with attic.

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE	N	T	L
		S	V	G	A
		P	H	P	L
		D	S		
C26. Terraces	No.s 54 - 58 Laman Street (No.s 66 - 70 Laman St Similar)	*	*	*	Front has been re clad and original verandah removed. Single storey weatherboard traditional terraces with verandah to street alignment. Steep pitch roof.
C27. Von Bertouch Gallery	Cnr. Hunniford La and Laman St	*	*	*	Two storey brick building with slate roof. Original balcony removed.
C28.	No.s 30 - 32 Bruce Street	*	*	*	Two storey brick traditional terrace on street alignment. Upper balcony removed.
C29. Duplex	No.s 41 - 43 Bruce Street	*	*	*	Federation style brick duplexes with timber decoration and rendered gables. Forms part of an interesting group of five Federation Buildings.

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS					
		NE	N	L	S	VG	A P H P L DS
C30. Cricketers Arms Hotel	Cnr. Bruce and Bull Streets	*	*			*	Two storey brick hotel with attics. Mock 'Tudor Style'.
C31. Oriental Hotel (C 1910)	Cnr. Bruce and Bull Streets	*	*			*	Two storey rendered brick hotel with terra cotta detail at street level.
C32. Cooks Hill School House (1902)	Cnr. Laman and Union Streets	*	*			* *	Federation style two storey brick Schoolhouse Arch - W E Kemp Dominant Element.
C33. Terraces	Cnr. Laman and Corlette Streets	*	*			* *	Two storey brick corner terrace with projecting upper balcony. Includes a group of 8 x two storey brick late Victorian (Gothic) terraces with upper projecting balconies. Many unsympathetic additions.
C34. Duplex	No.s 17 and 17a Corlette Street	*	*			*	Single storey brick federation style duplex. Turned timber posts.

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING CONDITION THREAT COMMENTS									
		N	E	T	L						
		S	V	G	A	P	H	P	L	D	S
C35. Cooks Hill Galleries.	No. 67 Bull Street	*	*					*			Single storey weatherboard building with steep pitched roof. Recently extended.
C36. Shop	Cnr. Corlette & Bull Street	*	*					*			Two storey weatherboard shop with projecting upper balcony. Original shop-front, cast iron lace etc.
C37. Letter Receiver	Corlette St.	*	*					*			Decorative C.I Victorian bell type letter receiver.
C38. Terraces	Cnr. Corlette & Bull Sts.	*	*					*			Two x single storey weatherboard terraces with verandahs to street alignment.
C39. Strathearn Terraces 1889.	No.s 92-100 Bull Street	*	*					*			5 x two storey rendered brick terraces with projecting timber balconies to street alignment.
C40. Residence	No. 30 Corlette St.	*	*					*			Unusual two storey brick free standing residence. L shaped with upper balcony (filled in)
C41. Brighton Buildings + Terraces	Cnr. Laman & Union Sts	*	*					*			3 x two storey late Victorian brick terraces. Balconies with C.I. lace. Form part of an interesting terrace group.

COOKS HILL

IDENTIFIED ELEMENT	LOCATION	LISTING	CONDITION	THREAT	COMMENTS
		NE	NT	LS	VG A P H P L DS

C42. Commonwealth Hotel	Cnr. Union & Bull Sts	*	*	*	<p>Also includes 3 x two storey late Victorian shops with original decorative timber shop-front framing. Original verandahs removed.</p> <p>Two storey brick hotel with interesting tile and brickwork details.</p>
C43. Terraces	No.s 39-45 Union Street	*	*	*	<p>4 x two storey late Victorian brick terraces. Has projecting upper balconies some with C.I. lace. Elaborate joinery around windows.</p>

NAME/ IDENTIFICATION Baptist Tabernacle		NO. C1
LOCATION Cnr Laman and Dawson Streets BLOCK SECTION		RATING NE NT
OWNER PRESENT PAST		BUILT 1889 ARCHITECT Frederick BUILDER Menkens
USE PRESENT Church PAST Church		CONDITION Good EXT. MATERIALS Rendered Brick
REASONS FOR LISTING SIGNIFICANCE HISTORY <p>Single storey brick hall with ornate classical revival stuccoed facade including corinthian columns with huge triangular pediment.</p> <p>Unique element within streetscape and forms part of an important group.</p>		

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain in original condition.



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION St. Andrews Presbyterian Church		NO. C4
LOCATION Cnr. Laman & Auckland Streets BLOCK SECTION		RATING NE NT
OWNER PRESENT Presbyterian Church of Australia PAST Presbyterian Church of Australia	BUILT 1889 ARCHITECT Frederick Menkens BUILDER Raymond Dumbrell	
USE PRESENT Church PAST Church	CONDITION Good EXT. MATERIALS Brick	
REASONS FOR LISTING SIGNIFICANCE HISTORY Regarded as Menkens finest ecclesiastical work, this fine yellow brick Gothic Revival church suitably illustrates his architectural striving for perfection of form and detail. It is an accurate reflection of Newcastle's great building period of the 1880s and 1890s and is a superb example of street architecture in the important Civic area surrounding Civic Park. Menkens obtained commission by winning competition. Also includes an excellent iron fence. Key landmark within Cooks Hill and important streetscape component.		

RECOMMENDATIONS FUTURE ROLE POTENTIAL Retain in original condition.



DATA SHEET

OCTOBER 1983

Cooks Hill Public School		C33
LOCATION Laman Street BLOCK	SECTION	RATING NE NT
OWNER PRESENT N.S.W. Govt. Dept. of Education PAST N.S.W. Govt. Dept. of Education		BUILT 1899-1902 ARCHITECT W. E. Kemp BUILDER
USE PRESENT School PAST School		CONDITION Good EXT. MATERIALS

REASONS FOR LISTING

SIGNIFICANCE

HISTORY

Good example of Federation style school building with beautifully detailed red brick facade. Comprises 2 x three storey buildings both of which dominate the area.

Forms an important local landmark and contributes to the nineteenth century environment of Cooks Hill.

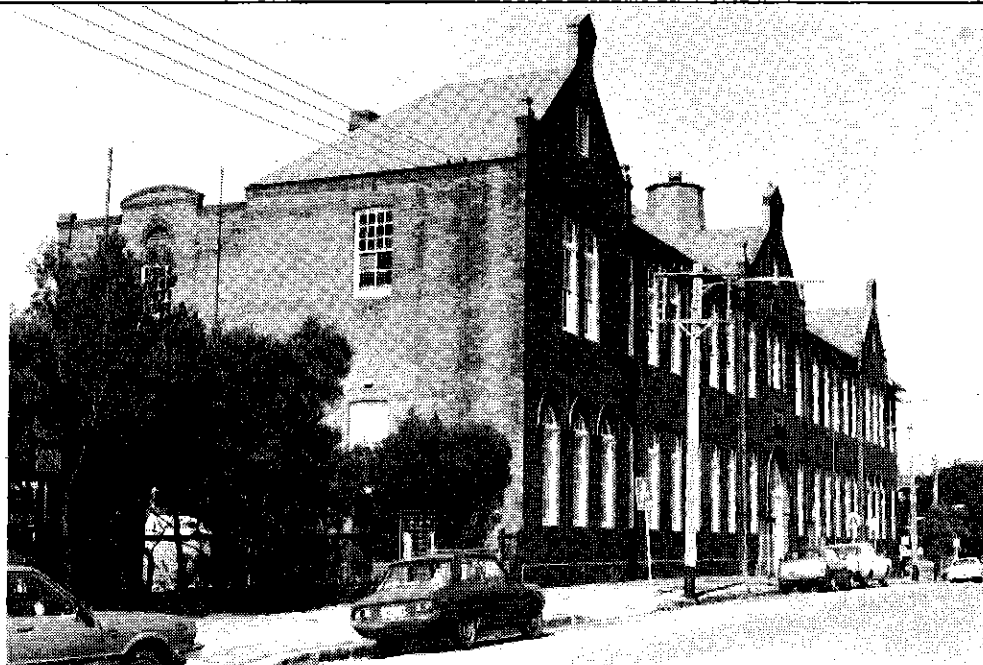
RECOMMENDATIONS

FUTURE ROLE

POTENTIAL

Retain in present useage.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983

NAME/ IDENTIFICATION Strathearn Terrace		NO. C39
LOCATION 92-100 Bull Street BLOCK SECTION		RATING NE NT
OWNER PRESENT PAST		BUILT 1889 ARCHITECT BUILDER
USE PRESENT PAST	Residences Residences	CONDITION EXT. MATERIALS Rend Brick

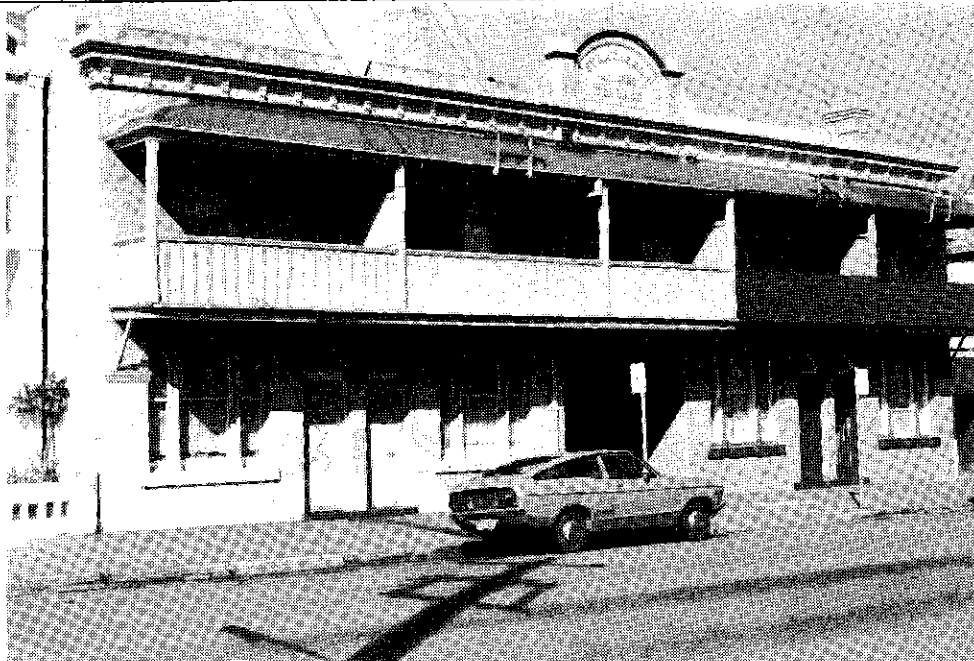
REASONS FOR LISTING
SIGNIFICANCE
HISTORY

Four two storey rendered brick terraces with central arched open passageway for rear access, triple arched ground floor windows, upper projecting balcony and decorated pediment. Balcony balustrade panels have been filled in. Good example of late Victorian terraces.

RECOMMENDATIONS
FUTURE ROLE
POTENTIAL

Retain in residential use.

PHOTOGRAPH
SKETCH
PLAN



DATA SHEET

OCTOBER 1983



- Item Listed on National Estate (A.H.G.)
 - ▨ Item Classified by National Trust (N.C.W.)
 - Item of Local Significance
- 620 Inventory N°: G: Cockatill H: The Hill
E: Newcastle East.

**NEWCASTLE INNER AREAS
CONSERVATION PLANNING STUDY**
Location of Homes on Inventory

prepared by:
SUIERS BUSTEED • LESTER PARTNERS
THE COUNCIL OF THE CITY OF NEWCASTLE
THE DEPARTMENT OF ENVIRONMENT AND PLANNING

