

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**ITEM-1 PV 21/04/20 – DA2019/01097 – 15 NORTHUMBERLAND STREET
MARYVILLE**

**Multi Dwelling Housing - Erection of Three Attached, Two
Lot into Three Lot Subdivision and Demolition of Existing
Dwelling House**

Attachment A - Submitted Plans

Attachment B - Processing Chronology

ITEM-2 PV 21/04/20 – DA2019/01000 – 142 DARBY STREET COOKS HILL

Pub – Alterations and Additions

Attachment A - Submitted Plans

Attachment B - Processing Chronology

ITEM-3 PV 21/04/20 – DA2019/00852 – 6 KING STREET STOCKTON

**Demolition of outbuilding, alterations and additions to
dwelling, erection of two attached two storey dwellings and
strata subdivision**

Attachment A - Submitted Plans

Attachment B - Processing Chronology

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ITEM DA2019/01097 - 15 NORTHUMBERLAND STREET MARYVILLE

Multi Dwelling Housing - Erection of Three Attached , Two Lot into Three Lot Subdivision and Demolition of Existing Dwelling House

Attachment A - Submitted Plans

Attachment B - Processing Chronology

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PUBLIC VOICE COMMITTEE MEETING

21 APRIL 2020

PV 21/04/2020

DA2019/01097 - 15 NORTHUMBERLAND STREET MARYVILLE

Attachment A: Submitted Plans

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LANDSCAPING

- EXTENT OF WORK:**
 - Supply and spreading of fill and topsoil where required.
 - Supply and planting of all plants in the Planting Schedule in accordance with this specification.
 - Supply and spreading of mulch where indicated.
 - Supply and lying of planting area edging where indicated.
 - Supply and fixing of log retaining wall where indicated.
 - Supply and lying of turf grass where indicated.
- SITE:**

Landscape contractor shall visit the site and familiarise himself with the existing conditions and the extent of the proposed work. In particular note existing ground levels in relationship to proposed levels and the state of the existing ground material.
- MATERIALS:**

TOPSOIL: Imported topsoil will be sandy loam, friable and free of grass and weeds, clods of clay or other foreign matter.
MULCH: Chopped Pinebark.
TURF: Will be common couch (Cynodon dactylon) from an approved commercial grower of cultivated turf. It will be machine cut of even thickness in good condition and free of persistent weeds.
- SITE PRECAUTIONS:**

The contractor is to ascertain from the builder the position of all underground pipes and cables etc., on the site. The contractor will be responsible for making good any damage to existing services arising from the landscaping, work free of charge.
- SITE CLEARING:**

Generally clear site of existing low vegetation. All mature trees over 3 metres in height to be retained where not affected by excavation for building.
- SITE GRADING:**

Shape and grade site for turfing and seeding as required to achieve even falls and to prevent erosion of seed and topsoil.
- PLANT AREA PREPARATION:**

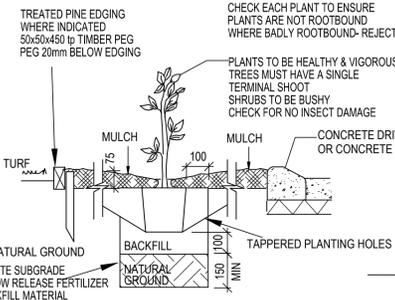
Mass Planting
 All areas indicated for mass planting are to be covered with minimum 450 mm deep imported topsoil ploughed into base material to prevent a definite interface of differing soil densities. Mix in compost mix with new soil.
Isolated Planting
 Isolated plants are to be planted as follows and as detailed in specification. Excavated hole should be a minimum of three times the diameter of the plant container.
 After planting, new topsoil should be MIXED with excavated material and compost mix and backfilled into hole.
- PLANTS:**

Contractor is to supply all plants indicated in the plant schedule. Contractor is to include transporting all plants from nursery to site. Order plants well in advance where possible. Contractor is to be satisfied before purchases that all plants are true to type and in good condition. Plants are to be kept in good condition by contractor until required for planting.
- PLANTING REQUIREMENTS:**

Plants and ground must be thoroughly moist just prior to planting. Tubestock where used is to be soaked in water for 3 minutes before planting. Care is to be taken to release soil from the tube or container in an undamaged state. Remove all weeds from plant containers before planting. Cut back twisted roots cleanly to point out or down and cut away excess fibre from rootstock. Add compost and thoroughly pack soil around plant. Base of plant should be planted exactly at ground level. Plant as shown on plan and as detailed.
 Fix 1,200 mm long x 40 mm x 40 mm hardwood stake on the windward side of all plants over 500 mm high in a position to avoid piercing rootstock. Remove all nursery stakes carefully. Tie with 25 mm jute webbing in crossover loop, tacked or stapled to stake.
- PREPARATIONS FOR AND LYING OF TURF:**

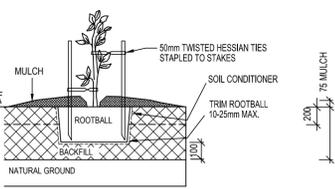
The Contractor is to prepare for and lay turf where indicated on the plan. Remove all existing weeds. Grade, fill and cultivate sufficiently to form an even bed for turf. Provide and place 50 mm topsoil over the entire area to be turfed. Lay turf, sods and rolls tightly butted together to form a smooth even surface. Fill along joints and gaps with topsoil after turfing. Spread approved fertiliser over entire area in accordance with manufacturer's directions.
- ON COMPLETION:**

Thoroughly clean site of all debris, stockpiles and unused materials associated with the landscape works and leave the site in a clean and tidy condition ready for occupation.



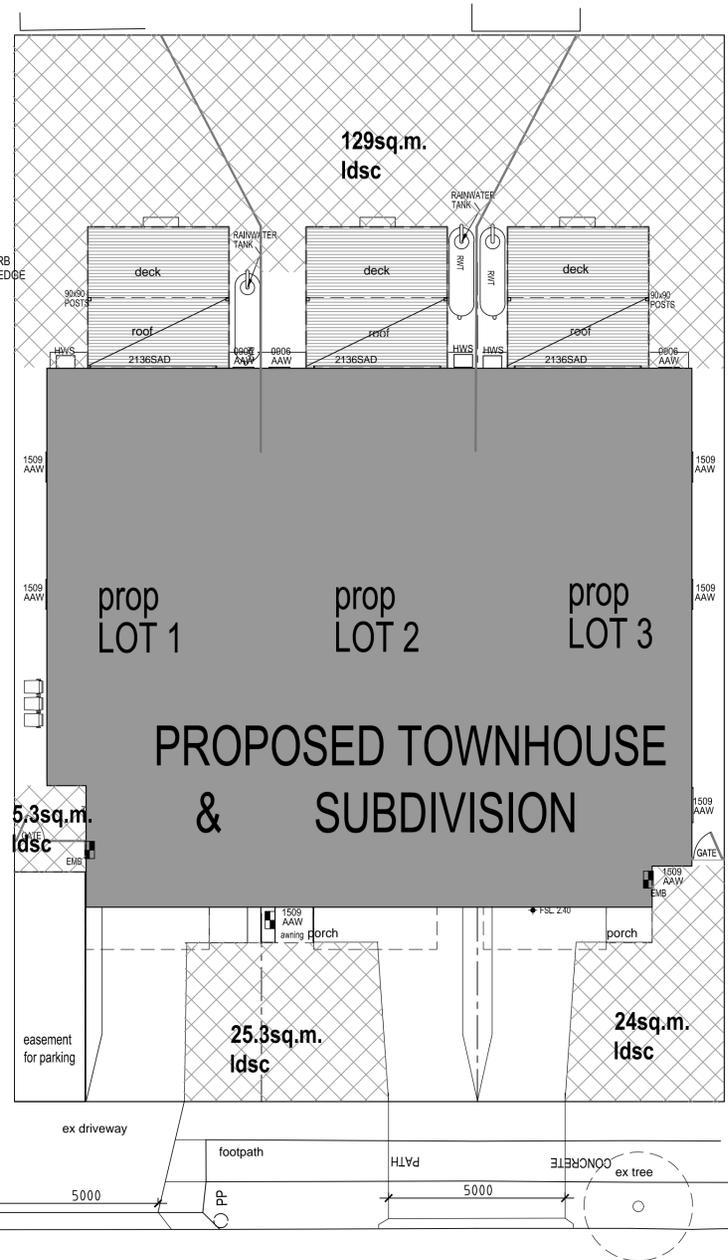
GENERAL PLANTING DETAIL
NO STAKING REQUIRED

- EXCAVATE HOLE MORE THAN 100mm WIDER THAN PLANT CONTAINER. BACK FILL WITH TOPSOIL AND ADDITIVES & CONSOLIDATE AROUND ROOT BALL.
- EXCAVATE TO DEPTH OF 600mm & REPLACE EXCAVATED MATERIAL WITH TOP SOIL MIX.
- CULTIVATE TO A MIN. DEPTH OF 100mm AND ADD FERTILIZER.
- SPREAD MULCH TO 75mm DEPTH. MULCH TO BE REDUCED AT BASE OF PLANTS. MULCH - WELL COMPOSTED LEAF MULCH. SEE PLANTING SPEC.

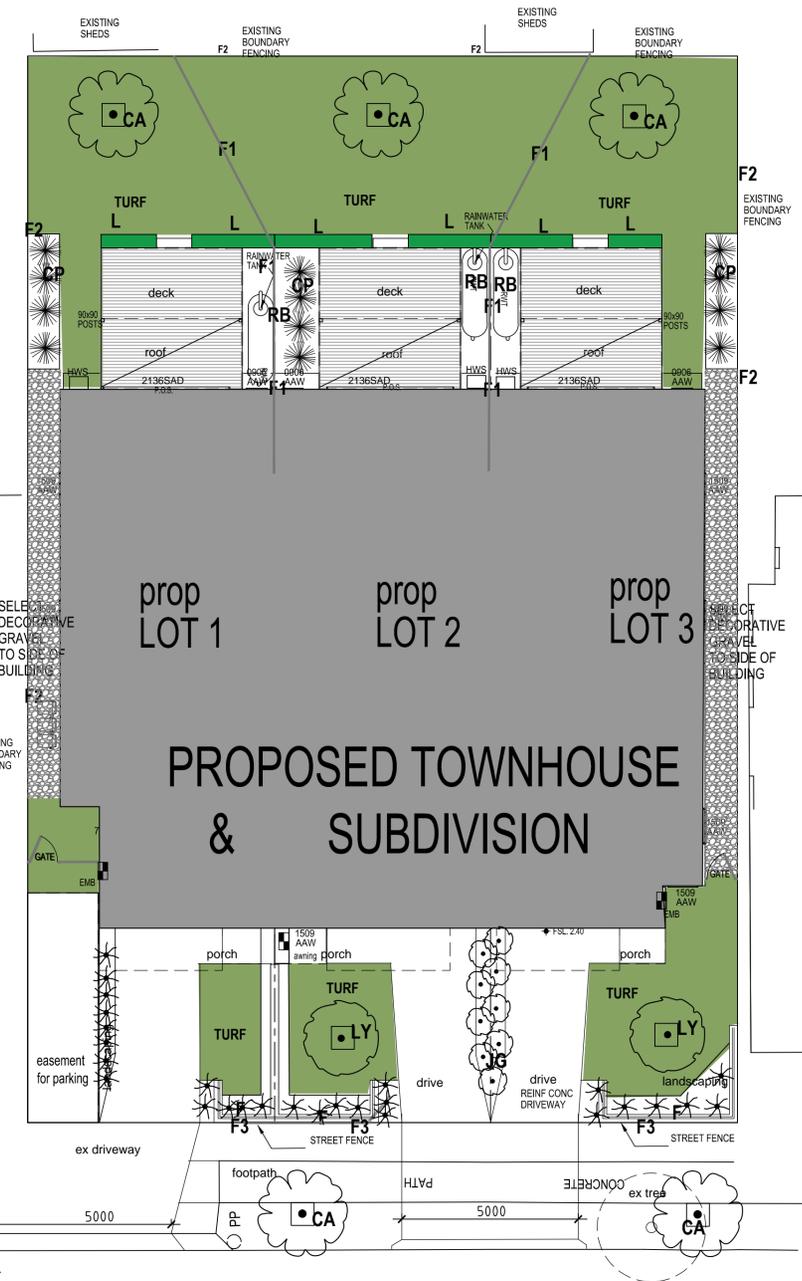


TREE PLANTING DETAIL
TWO STAKES REQUIRED

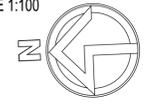
- EXCAVATE A SLOPING PLANTING HOLE 2-3 TIMES THE WIDTH OF THE ROOTBALL, 25mm LESS THAN THE DEPTH OF THE ROOTBALL.
- ROUGHEN / PIERCE EDGES OF PLANTING HOLE TO ENCOURAGE LATERAL ROOT GROWTH.
- TOP OF THE ROOTBALL TO BE SLIGHTLY PROUD OF THE FINISHED LEVEL OF THE PLANTING HOLE TO ALLOW FOR NATURAL SETTLEMENT.
- SET ROOTBALL ON BASE OF PLANTING HOLE AND LOCATE CENTRALLY.
- TRIM ROOTBALL 10-25mm MAX. USING A CLEAN HACKSAW BLADE OR CARPENTERS SAW IF DIRECTED TO DO SO.
- GENTLY BACKFILL WITH SOIL CONDITIONER, FIRING PROGRESSIVELY IN LAYERS. USE WATER TO SETTLE AROUND ROOTBALL.
- THOROUGHLY MIX SOIL CONDITIONER - 75mm THICK LAYER OF MUSHROOM COMPOST INTO SELECTED SITE TOPSOIL AND MIX WELL.
- FORM A SOIL BERM 75mm HIGH AS A WATERING BASIN TO DIRECT WATER INTO THE ROOTBALL.
- MULCH TO MAX 75mm DEPTH, BEYOND THE EDGE OF THE PLANTING HOLE OVERLAPPING UNDISTURBED SOIL.
- LEAVE SPACE BETWEEN THE TRUNK AND MULCH TO AVOID BARK SATURATION.
- MULCH TO BE A 75mm LAYER OF 40mm RED HARDWOOD.
- WATER THE TREE THOROUGHLY WITH AT LEAST 1Lr OF WATER PER TREE.



LANDSCAPE AREAS
SCALE 1:100



LANDSCAPE PLAN
SCALE 1:100



TREES	Botanical	Common	Size	Mature height	Spread	Number
TREES	Lagerstroemia 'yuma'	Creepe myrtle yuma	25L	5m	4m	2
	Cupaniopsis anacardioides	tuckeroo	45L	6m	4m	2
	Westringia fruticosa 'sera gem'	Coastal rosemary	200mm	1m	1m	12
SHRUB	Westringia 'low horizons'	Coastal rosemary	100mm	30cm	60cm	12
	Callistemon 'candy pink'	Bottle brush	300mm	3m	3m	12
GRASSES	Lomandra longifolia	Lomandra	120mm	40cm	40cm	30
	Dianella 'tearsa blue'	Gasia blue	100mm	30cm	30cm	30
L	pennisetum alopecuroides	Foxtail	200mm	1m	1m	20
	F					
VINE						
RB	pandorea pandorana 'ruby belle'	Wonga Wonga	200mm		3m	4

Legend

- PROPERTY BOUNDARY
- EX. TELSTRA LINE (NOT LOCATED BY SURVEY)
- EX. POWER POLE & OVERHEAD POWER LINES
- EX. SEWER MANHOLE
- EX. SEWER LINE (NOT LOCATED BY SURVEY)
- 14.0 EXISTING CONTOURS
- TOE OF BANK
- EXISTING SPOT LEVEL
- FS 12.54 FINISHED SURFACE LEVEL
- FGL 6.92 FINISHED GARAGE LEVEL
- FFL 9.62 FINISHED FLOOR LEVEL
- RETAINING WALL TO ENGINEER'S DETAILS
- PRIVATE OPEN SPACE

- AWNING TYPE CLOTHES LINE
- F1 FENCE TYPE 1 - 1500mm HIGH - 1500mm HIGH COLORBOND FENCE
- F2 FENCE TYPE 2 - EXISTING COLORBOND BOUNDARY FENCE
- F3 FENCE TYPE 3 - 1000mm HIGH STREET FEATURE FENCE

- GRASS TURF
- CONCRETE DRIVEWAY
- RAINWATER TANK - AS PER BASIN AND STORM
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE RETAINED

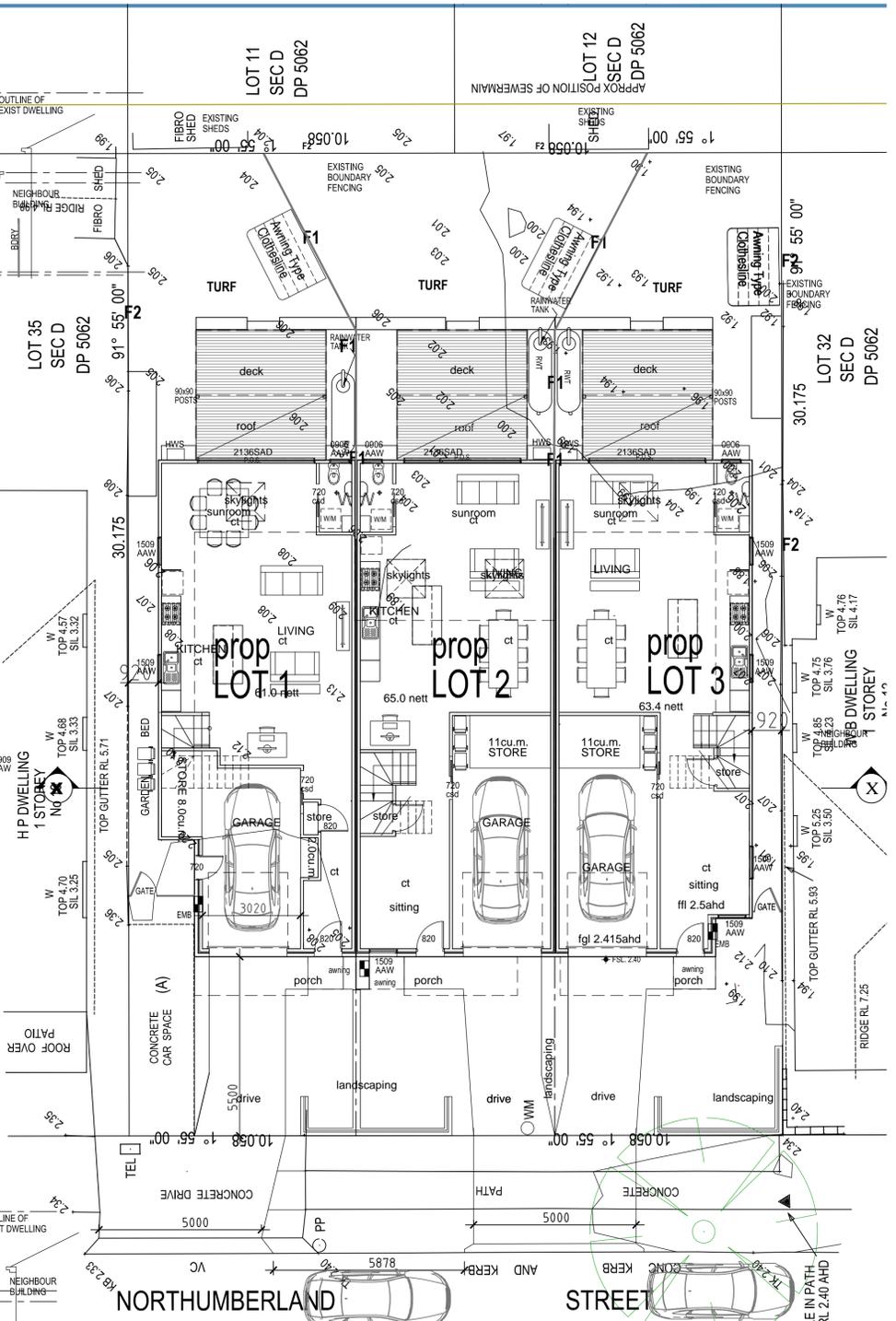
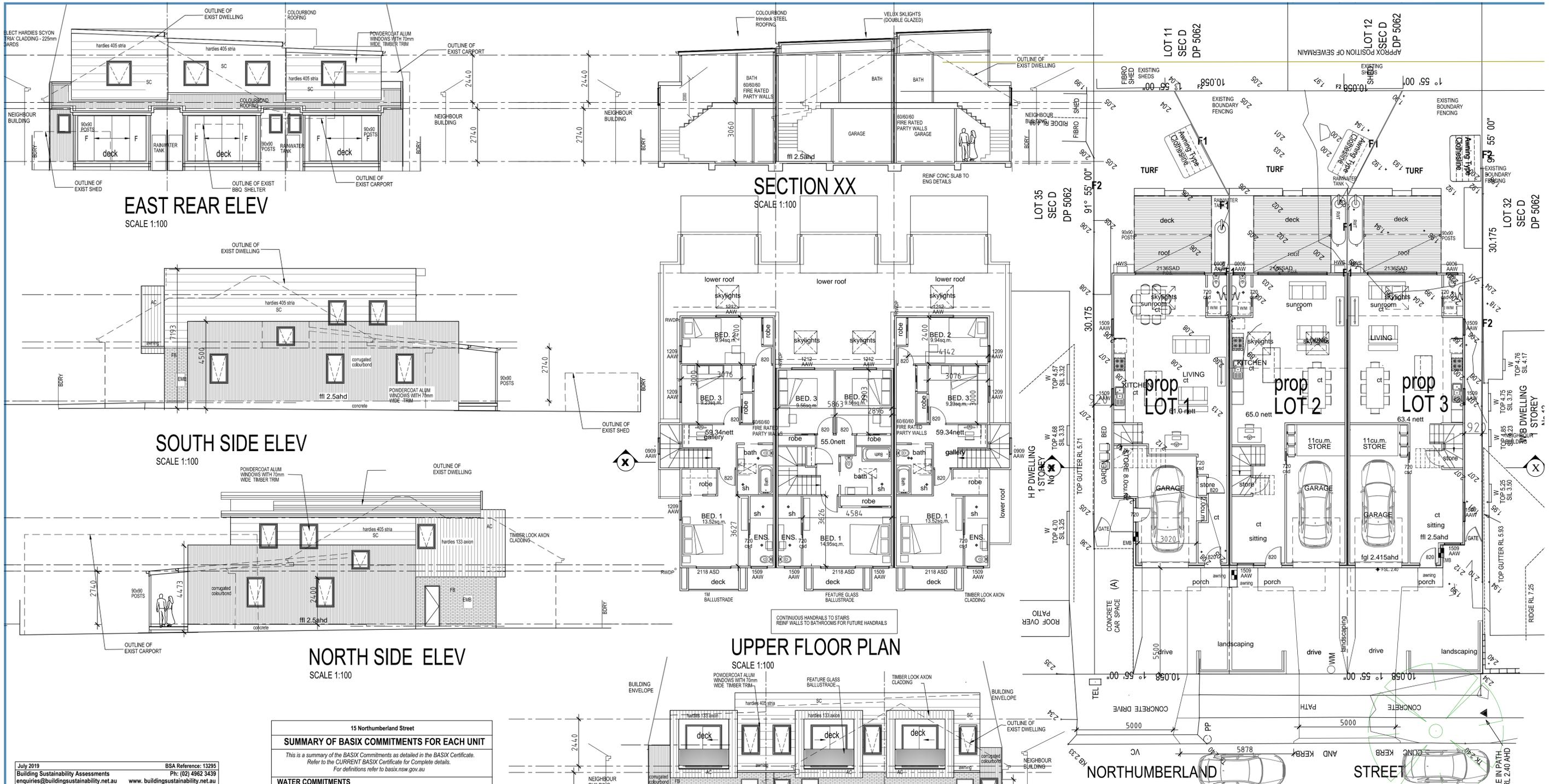
R2 ZONE
FSR 1:0.6
8.5m hgt

limited growth precinct
site area 606.97sq.m.
max 364.2sq.m. nett
landscaping min area 30% of site
182 sq.m. (183.6 available)

Proposed Townhouses & subdivision for Mr. G. Dickson
H/No. 15 LOTS 33 AND 34 SECTION D DP5062 Northumberland St. Maryville NSW

Garman Design
for all residential, commercial & industrial design services

Hannah Garman
Landscape Designer
"deep landscape design"
hannahgarman@gmail.com
20 Park Rd. Garden Suburb NSW 2289
mobile : 0425 221660



July 2019 Building Sustainability Assessments
 enquiries@buildingsustainability.net.au www.buildingsustainability.net.au

Important Note
 The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification. If different construction elements are applied then the Assessor Certificate is no longer valid.

Thermal Performance Specifications (does not apply to garage)

External Wall Construction	Brick veneer & Lightweight	Added Insulation	R2.0
Internal Wall Construction	Plasterboard on studs	Added Insulation	R2.0 to walls adjacent to garage
	Plasterboard + studs + shaft liner + studs + Plasterboard (party walls)	Added Insulation	R2.0 - R2.0
Ceiling Construction	Plasterboard	Added Insulation	R3.5 to ceilings adjacent to roof space
Roof Construction	Colourbond	Added Insulation	Foil + R1.0 blanket
Floor Construction	Concrete	As drawn	none
	Timber	As drawn	none
Windows	Glass and frame type	U Value	SHGC Range
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77

Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors
 Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers

Skylights Glass and frame type U Value SHGC Area sq m
 Double glazed clear in aluminium frames As drawn
 U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified

External Window Shading (eaves, verandahs, pergolas, awnings etc)
 All shade elements modelled as drawn

Ceiling Penetrations (downlights, exhaust fans, flues etc)
 No adjustment has been made for losses to insulation arising from ceiling penetrations.

15 Northumberland Street

SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

Fixtures			
3 Star Shower Heads	Yes		
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes

Alternative Water

Minimum Tank Size (L)	2000	Collected from Roof Area (m2)	60
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Tank Connected To:

All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		

THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans

ENERGY COMMITMENTS

Hot Water	Gas Instantaneous	6 Star	
Cooling System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Fan ducted to exterior	Manual on/off
	Laundry	Fan ducted to exterior	Manual on/off
Ventilation	Window/Skylight in Kitchen		As drawn
	Window/Skylight in Bathrooms/Toilets		Yes to 3
Natural Lighting	Number of bedrooms	3	Dedicated
	Number of Living/Dining rooms	2	Dedicated
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Kitchen	Yes	Dedicated
	All Bathrooms/Toilets	Yes	Dedicated
	Laundry	Yes	Dedicated
	All Hallways	Yes	Dedicated

OTHER COMMITMENTS

Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Stove/Oven		Gas cooktop & electric oven	
Alternative Energy	Photovoltaic System: 0.7 kw to Unit 1 only		

ABBREVIATIONS

F.F.L.	FINISHED FLOOR LEVEL	ASD	ALUMINIUM SLIDING DOOR
G.F.L.	GARAGE FLOOR LEVEL	ASW	ALUMINIUM SLIDING WINDOW
CP	CARPET	AFW	ALUMINIUM FIXED WINDOW
CONC.	CONCRETE FLOOR	AAW	ALUMINIUM AWNING WINDOW
CT	CERAMIC TILES	FB	FACE BRICKWORK
V	SELECT VANITY & BASIN	AC	SELECT HARDIES SCYON 'AXON' SHEET CLADDING
SHR	SHOWER RECESS & SCREEN	SC	SELECT HARDIES SCYON 'STRIA' CLADDING - 405mm BOARDS
WC	TOILET & CISTERN	EMB	ELECTRIC METER BOX
UBO	UNDER BENCH OVEN	RWT	RAINWATER TANK
WM	WASHING MACHINE	FW	FLOOR WASTE
D/W	DISHWASHER	YTD	YARD TAP
VBCJ	VERTICAL BRICKWORK CONTROL JOINT		
RWDP	RAINWATER DOWNPIPE		
F	FIXED GLASS		
OBS	OBSCURE GLASS		

note
 window sizes area as per BRADNAMS CATALOG ie 1480 windows for windows nominated as 1509AAW

site area 606.97sq.m.
 gross floor area = 363.88sq.m. (365.182 max)

lot 1 site area 203.48sq.m.
 lower nett floor area = 61.00
 upper nett floor area = 59.34
 total = 120.34 sq.m.

lot 2 site area = 200 sq.m.
 lower nett floor area = 65.0
 upper nett floor area = 55.0
 total = 120sq.m.

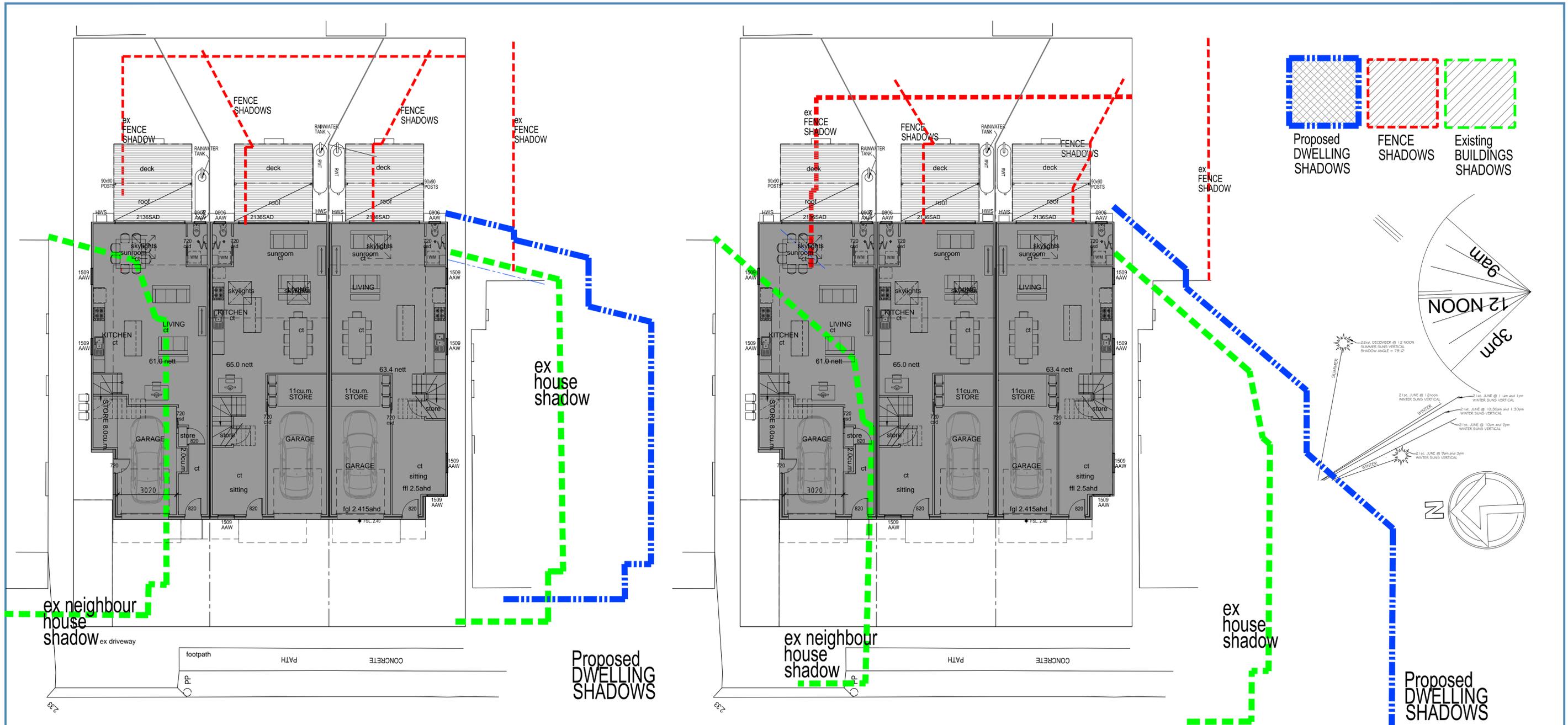
lot 3 site area = 203.48 sq.m.
 lower nett floor area = 64.2
 upper nett floor area = 59.34
 total = 123.54sq.m.

Proposed Townhouses & subdivision for Mr. G. Dickson H/No. 15 LOTS 33 AND 34 SECTION D DP5062 Northumberland St. Maryville NSW

Garman Design
 for all residential, commercial & industrial design services

Mark Garman
 B.Sc. (Arch) B. Arch
 mobile : 0412 893999

phone : 4920 6624
 garmandesign@optusnet.com.au
 20 Park Rd. Garden Suburb NSW 2289



11 am shadow
SCALE 1:200



east SIDE ELEV
11am shadows
SCALE 1:100

9 am shadow
SCALE 1:200



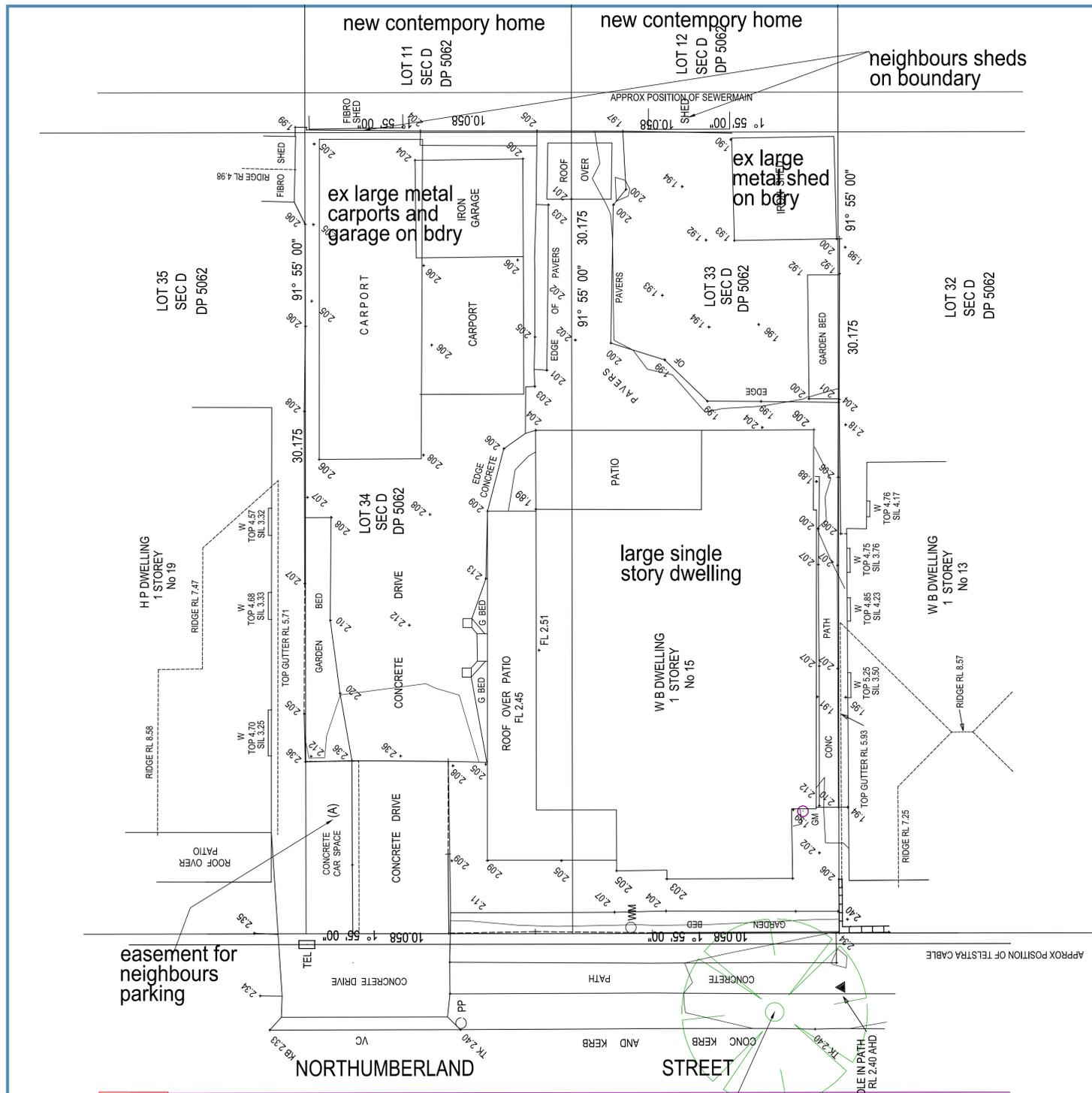
east SIDE ELEV
9am shadows
SCALE 1:100

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SITE ANALYSIS PLAN

SCALE 1:100

INAPPROPRIATE ANGOPHORA STREET TREE PLANTED BY NEIGHBOUR CAUSING DAMAGE TO FOOTPATH AND OBSTRUCTION

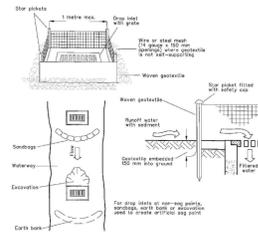
Legend	
- - - - -	PROPERTY BOUNDARY
- - - - -	EX. TELSTRA LINE (NOT LOCATED BY SURVEY)
PP	EX. POWER POLE & OVERHEAD POWER LINES
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FS 12.54	FINISHED SURFACE LEVEL
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NOTES:- SEDIMENTATION CONTROL

- SITE WORKS ARE NOT TO START UNTIL THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND FUNCTIONAL.
- ENTRY AND DEPARTURE OF VEHICLES IS TO BE CONFINED TO THE NOMINATED EXISTING VEHICLE ACCESS OR STABILISED SITE ACCESS.
- TOPSOIL IS TO BE STRIPPED FROM BUILDING SITE AND STOCKPILED FOR LATER USE IN LANDSCAPING THE SITE. TOPSOIL IS TO BE RESPREAD AND ALL DISTURBED AREAS REHABILITATED (TURFED) WITHIN 20 WORKING DAYS OF COMPLETION OF WORKS.
- THE FOOTPATH, OTHER THAN STABILISED SITE ACCESS IS NOT TO BE DISTURBED, INCLUDING STOCKPILING OF MATERIALS. WHERE ESSENTIAL WORKS (eg DRAINAGE) ARE REQUIRED, THE FOOTPATH IS TO BE DELIMITED BY STAKES AND CONE AS DESCRIBED

- WASTE BINS ARE TO BE PROVIDED FOR BUILDING WASTE OR WASTE ENCLOSURE MINIMUM 1800x1800x1200mm HIGH CONSTRUCTED USING STAR PICKETS AND 1200mm HIGH WEED CONTROL MAT. ARRANGEMENTS ARE TO BE MADE FOR REGULAR COLLECTION AND DISPOSAL OR RECYCLING OF CONSTRUCTION WASTE.
- NEW ROOF GUTTER IS TO BE CONNECTED TO STREET KERB AND GUTTER STORMWATER SYSTEM ON COMPLETION OF ROOF AND GUTTERING.
- ALL SEDIMENTATION CONTROLS ARE TO BE CHECKED DAILY (AT A MINIMUM WEEKLY) AND AFTER ALL RAIN EVENTS. ALL STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY TO ENSURE THEY ARE MAINTAINED IN FULL FUNCTIONAL CONDITION.

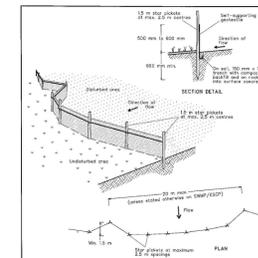
- Plan details**
- Upstream water diversion around disturbed site area
 - Control of runoff generated within disturbed site area with sedimentation devices and filters.
 - Management of building and waste materials to prevent pollution leaving the site.
- Installation and maintenance requirements**
- Erosion and Sediment controls as detailed on plans are to be installed and maintained throughout the course of the works. Controls are not to be removed till all works are completed and all areas are re-planted and stabilised surrounding the building works. The owner is to maintain all drainage elements and water saving fixtures and appliances throughout the life of the house.



Construction Notes

1. Fabricate a sediment barrier made from geotextile or stone beds.
2. Fabricate Sediment Chamber 50' and Standard Chamber 30' per manufacturer procedures for the stone beds or geotextile. Reduce the outlet opening to 1 meter barrier.
3. In waterways, artificial log points can be created with hardwood or earth banks as shown in the drawing.
4. Do not cover the inlet with geotextile unless the design is approved to allow for sediment to bypass it.

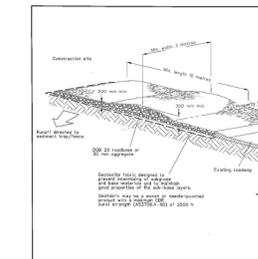
GEOTEXTILE INLET FILTER SD 6-12
Ref: Landon (2004) Managing Urban Stormwater: Soils and Construction, 4th Edition



Construction Notes

1. Construct sediment fence as shown or provide an alternative to the structure of the site. The fence shall be constructed in a manner to allow for the passage of water and sediment to the outlet. The fence shall be constructed in a manner to allow for the passage of water and sediment to the outlet.
2. The fence shall be constructed using the approved type of fence for the location of the fence.
3. The fence shall be constructed using the approved type of fence for the location of the fence.
4. The fence shall be constructed using the approved type of fence for the location of the fence.
5. The fence shall be constructed using the approved type of fence for the location of the fence.
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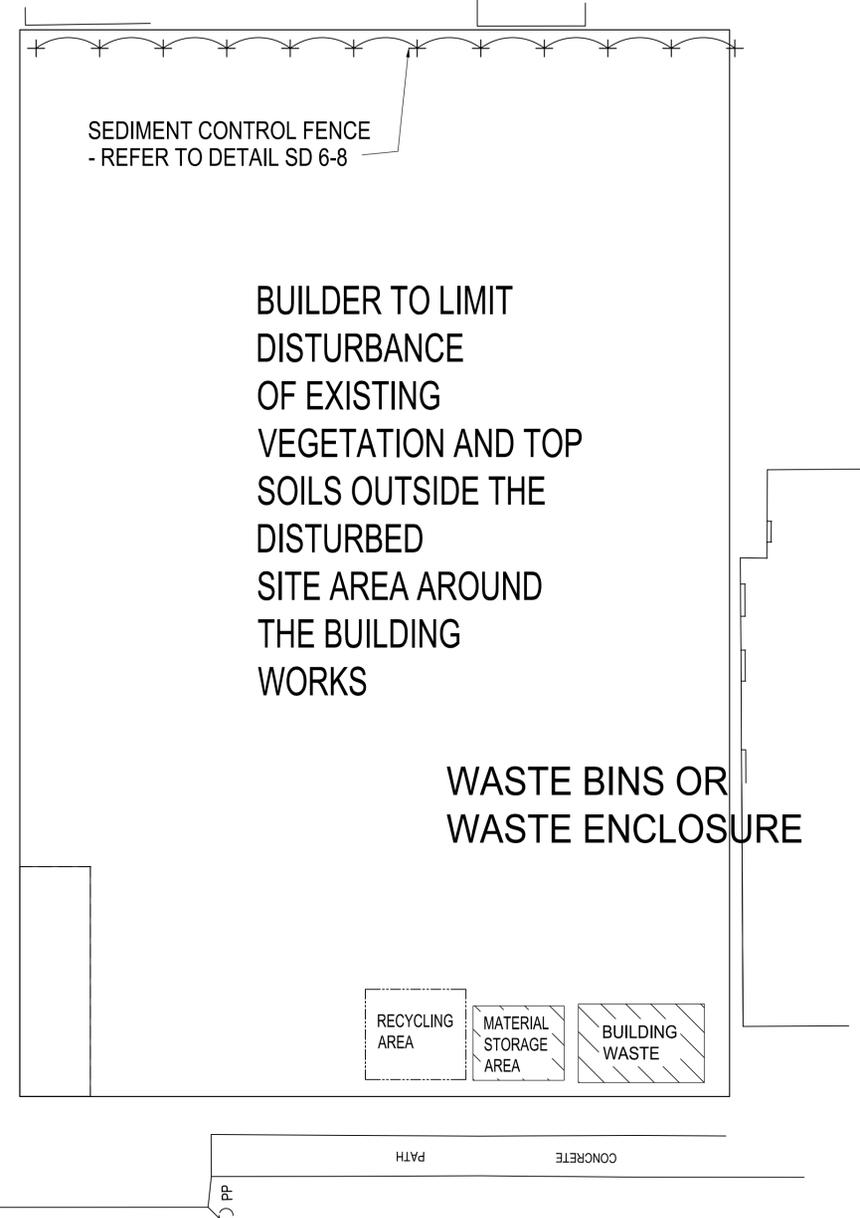
SEDIMENT FENCE SD 6-8



Construction Notes

1. Strip the topsoil, level the site and compact the subgrade.
2. Cover the area with weed-proof geotextile.
3. Construct a 200-mm thick pad over the geotextile using road base or 30-mm aggregate.
4. Clear the structure at least 10 metres long or to building alignment and at least 3 metres wide.
5. Where a sediment fence is used to establish access, construct a ramp in the stabilised access to ground level in the stabilised area.

STABILISED SITE ACCESS SD 6-14



Northumberland Street

SED AND SILT PLAN

SCALE 1:100

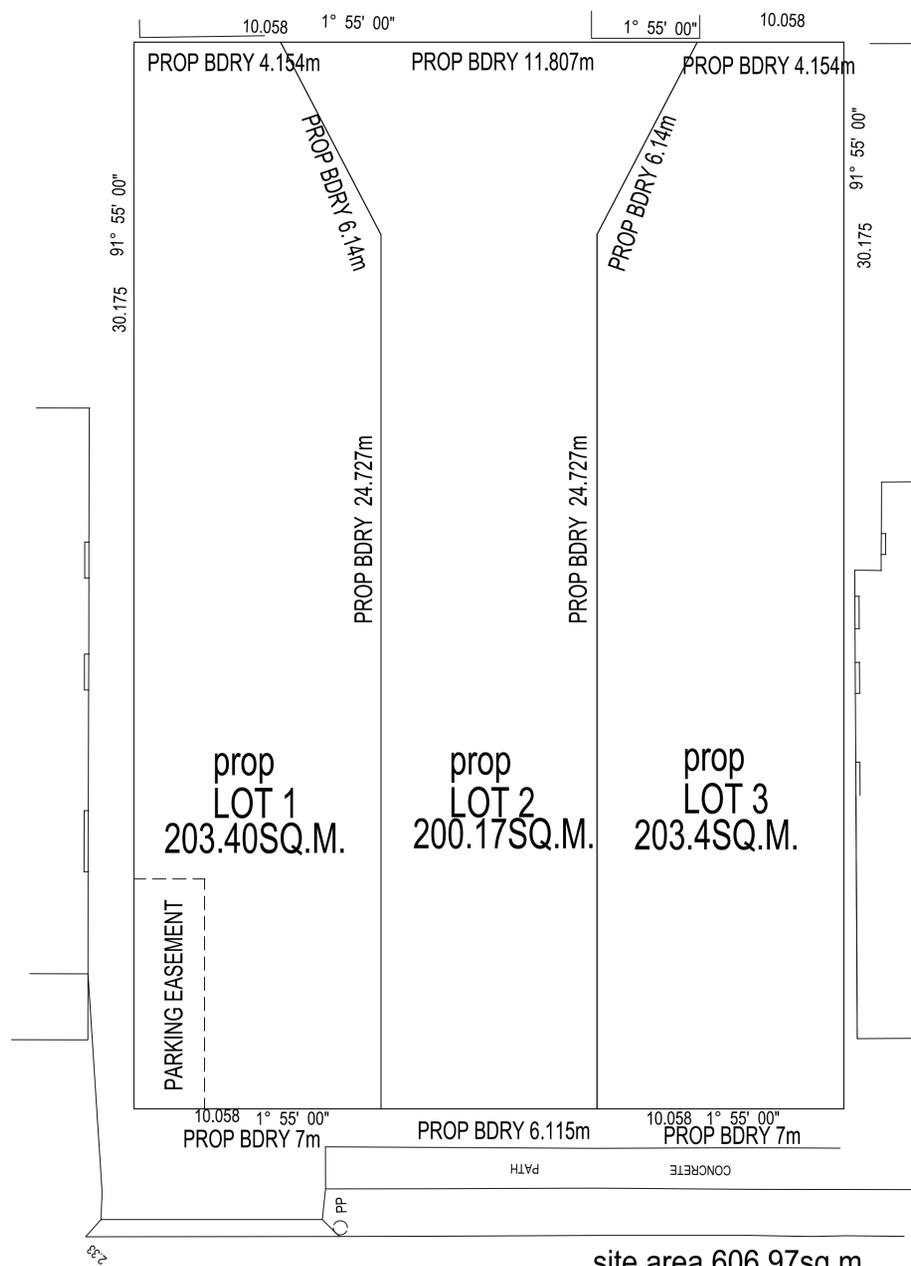


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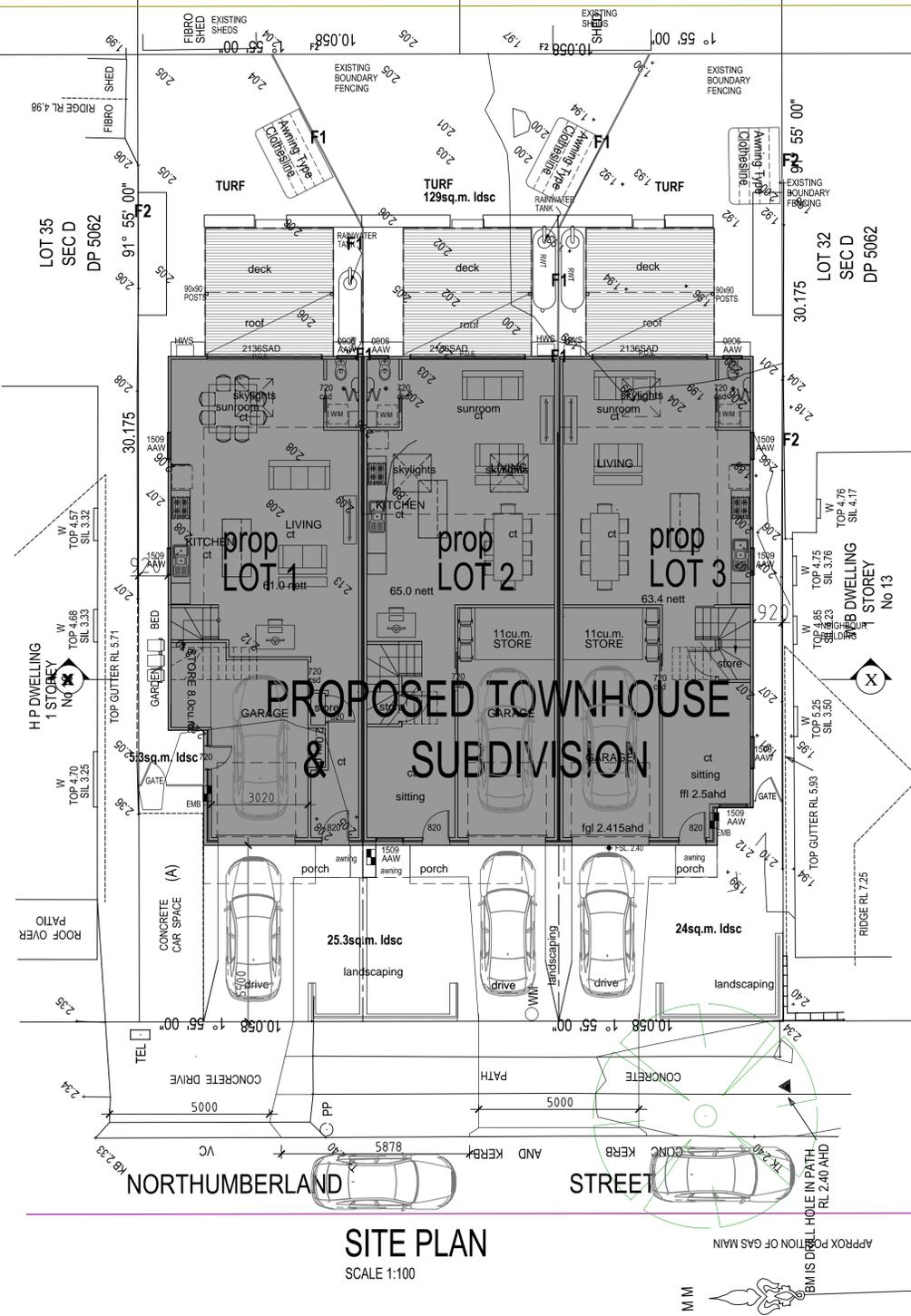
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site area 606.97sq.m.
Proposed subdivision

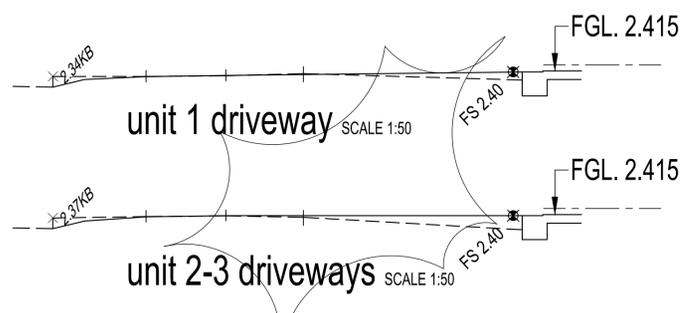
SUBDIVISION PLAN
SCALE 1:100

lot 1 = 203.40 sq.m.
lot 2 = 200.17 sq.m.
lot 3 = 203.40 sq.m.



SITE PLAN
SCALE 1:100

- colours
- brickwork
 - background upper cladding
 - deck surround cladding
 - side and rear cladding
 - gutters fascias etc
 - garage doors
 - front doors
- san selmo reclaimed
- dulux aumbry
 - dulux cane toad
 - colourbond wallaby
 - colourbond wallaby
 - colourbond off white
 - dulux cane toad



R2 ZONE
FSR 1:0.6
8.5m hgt
ex dwelling and verandahs = 195sq.m.
ex. carports and sheds = 95sq.m.
ex. driveways etc = 110sq.m
ex landscaping = 155sq.m.(25%)

limited growth precinct
site area 606.97sq.m.
max 364.2sq.m. nett
landscaping min area 30% of site
182 sq.m (183.6 available)



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& subdivision
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HUNTER WATER CORPORATION

A.B.N. 46 228 513 446

ArcGIS Web Map

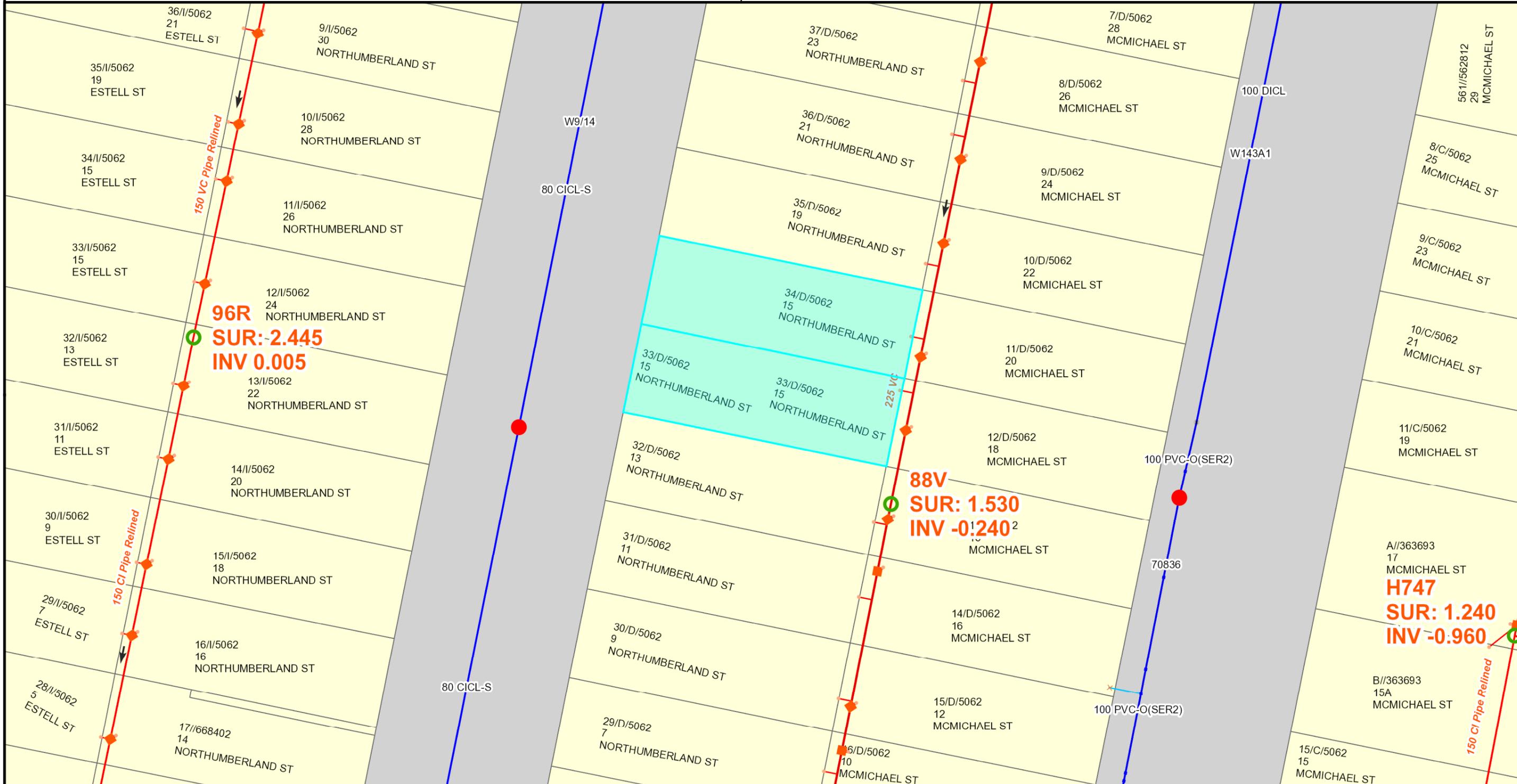
Enquiries: 1300 657 657



RATEABLE PREMISE NO.: 6437310348

LOT/SECTION/DP: 33/D/5062

PROPERTY ADDRESS: 15 NORTHUMBERLAND ST MARYVILLE, 2293



Date: 6/09/2019

Scale: at A3 1:500

CADASTRAL DATA © Department Finance,
 Services & Innovation [Nov 2017].
 Modified [06/09/2019] AERIAL DATA © NearMap
 CONTOUR DATA © AAMHatch
 © Department of Planning

SEWER/WATER/RECYCLED WATER/ELECTRICAL
 UTILITY DATA
 © HUNTER WATER CORPORATION

HUNTER WATER ASSETS POSITION ARE
 APPROXIMATE ONLY.
 SUBJECT PROPERTY BOLDED.
 ALL MEASUREMENTS ARE METRIC.

IMPORTANT:

ANY INFORMATION ON THIS PLAN MAY NOT BE UP TO DATE AND THE CORPORATION ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.

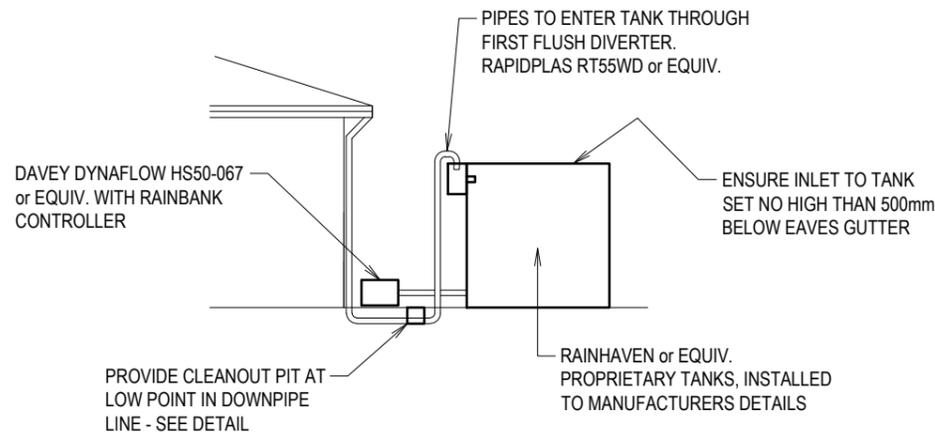
STORMWATER

1. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DETAILS.
2. ALL WORKS IN ACCORDANCE WITH AS3500, COUNCIL DEVELOPMENT CONTROL PLANS, HWC REQUIREMENTS AND PROPRIETARY MANUFACTURER'S RECOMMENDATIONS.
3. LOCATION OF TANKS & TANK TYPES CAN BE VARIED AT OWNER'S DIRECTION.
4. ALL STORMWATER PIPES TO BE 90Ø STORMWATER GRADE, U.N.O. JOINTED & INSTALLED TO MANUFACTURER'S RECOMMENDATIONS.
5. ALL STORMWATER LINES TO HAVE ALL JOINTS, INC. DP CONNECTIONS, FULLY SOLVENT WELDED (AS LINES ARE 'CHARGED')
6. ALL LEVELS ARE DATUM AHD.
7. ALL LEVELS ARE FINISHED PAVEMENT OR LAWN LEVELS.
8. EXISTING LEVELS SHOWN eg. 9.96E NEW LEVELS SHOWN eg. x 10.83.

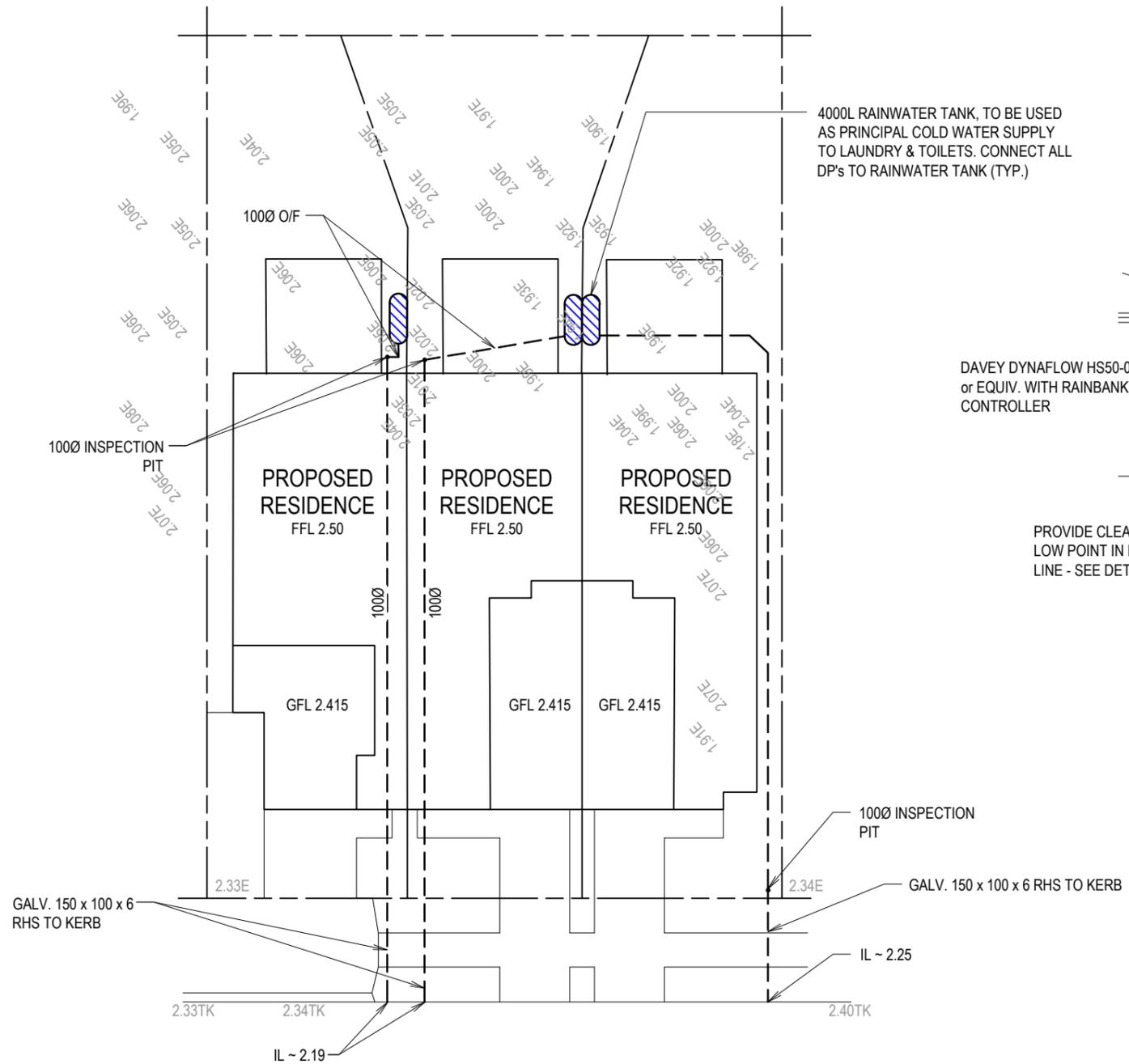
LEGEND

- RL REDUCED LEVEL
- IL INVERT LEVEL
- GP GRATED PIT, LIGHT DUTY IN LANDSCAPED AREAS, MEDIUM DUTY IN TRAFFICABLE AREAS
- FFL 10.91 FINISHED FLOOR LEVEL
- GFL 10.82 FINISHED GARAGE LEVEL
- x 10.83 FINISHED SURFACE LEVEL
- 11.30E EXISTING SURFACE LEVEL, CONTOURS SHOWN ALSO EXISTING
- O/F OVERFLOW FROM RAINWATER TANK
- APPROX EXTENTS OF RETAINING WALL, APPROX HEIGHT SHOWN [600]
- INDICATES DIRECTION OF SURFACE FLOW
- 4000L RAINWATER HARVESTING TANK

4000L RAINWATER TANK, TO BE USED AS PRINCIPAL COLD WATER SUPPLY TO LAUNDRY & TOILETS. CONNECT ALL DP's TO RAINWATER TANK (TYP.)



SCHEMATIC SECTION
NTS



NORTHUMBERLAND STREET

STORMWATER MANAGEMENT PLAN

1:200

CONNECT ALL DOWNPIPES TO ASSIGNED RAINWATER TANK

THE STORMWATER SYSTEM HAS BEEN DESIGNED FOR DRAINING OF THE PROPOSED NEW RESIDENCE ONLY. IT HAS NOT BEEN DESIGNED FOR CONNECTION OF EXISTING PIPES, HARDSTAND AREAS, BUILDINGS OR ANY FUTURE IMPROVEMENTS

Rev.	By	Date	Description	Des'd
B	ER	12.09.19	AMENDED	G.H
A	MD	17.01.18	ORIGINAL ISSUE	AH

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PO BOX 261 WICKHAM 2293 | 67 McMICHAEL ST MARYVILLE 2293
T: 02 4961 4980 | F: 02 4969 1282 | E: admin@forumengs.com.au
A.B.N. 48 157 853 677

Client	DICKSON		
Project	PROPOSED TOWNHOUSES LOTS 33 & 34 NORTHUMBERLAND STREET MARYVILLE		
Approved by		Drawing No.	71775-SWD - 01 OF 01
	B.E. MIE (Aust) CPEng	Revision	B
		Sheet	A3



PUBLIC VOICE COMMITTEE MEETING

21 APRIL 2020

PV 21/04/2020

DA2019/01097 - 15 NORTHUMBERLAND STREET MARYVILLE

Attachment B: Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER

PROCESSING CHRONOLOGY

DA2019/01097 – 15 Northumberland Street Maryville

16 October 2019	Development Application lodged with CN
21 October 2019	Public notification (14 days)
21 November 2019	CN request for additional information
13 February 2020	Additional information received
17 February 2020	Public notification (14 days)
21 April 2020	Public Voice committee meeting

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

ITEM **DA2019/01000 - 142 DARBY STREET COOKS HILL**

Pub - Alterations and additions

Attachment A - Submitted Plans

Attachment B - Processing Chronology

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PUBLIC VOICE COMMITTEE MEETING

21 APRIL 2020

PV 21/04/2020

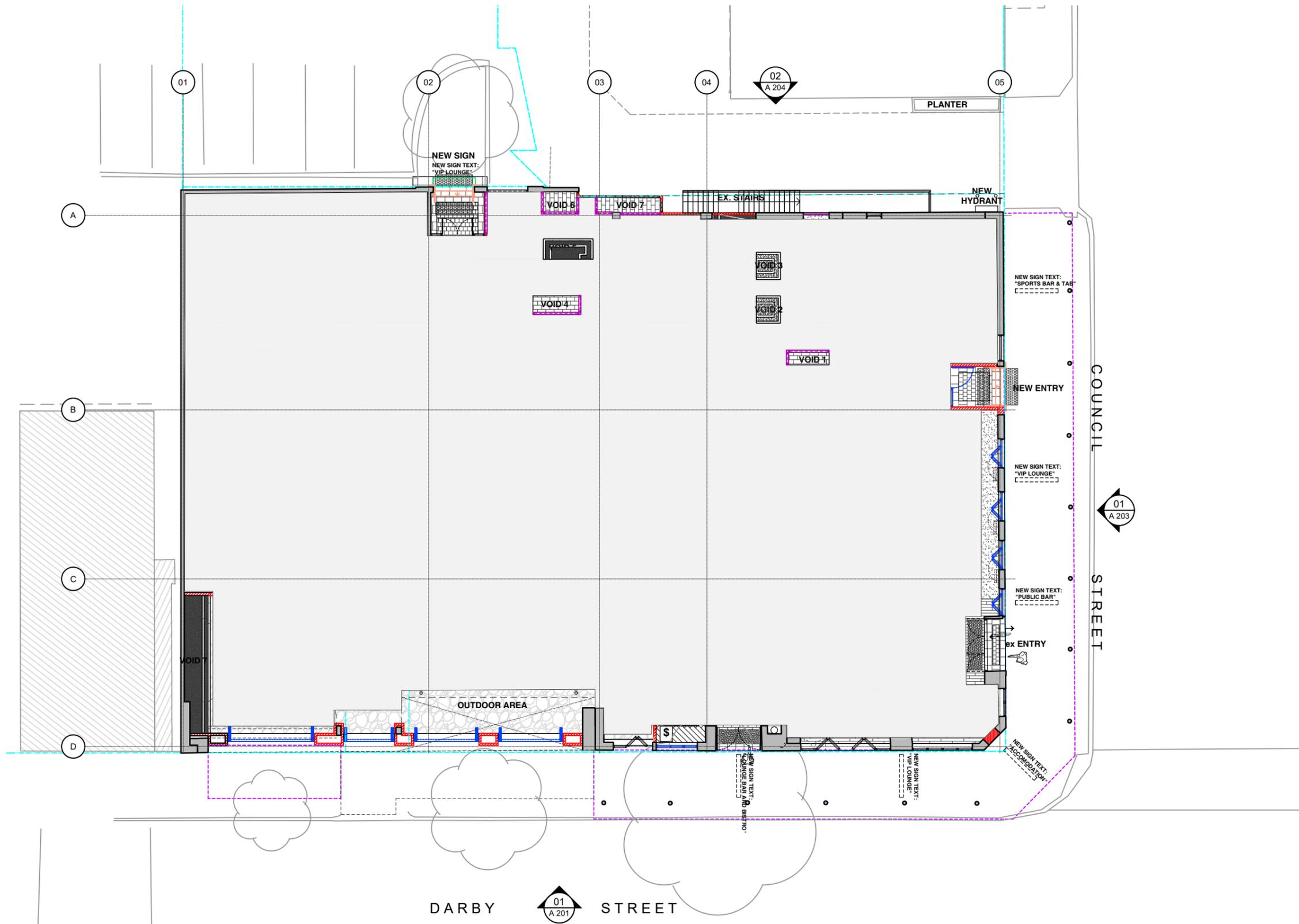
DA2019/01000 - 142 DARBY STREET COOKS HILL

Attachment A: Submitted Plans

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Legend

- EXISTING WALLS TO BE RETAINED
- NEW WALLS
- NEW WINDOWS & DOORS
- NEW LOUVRES
- NEW JOINERY
- NEW SIGNAGE
- NEW STAIR
- NEW ROOF
- NEW LANDSCAPING

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

Ground Proposed Plan

Status	DEVELOPMENTAPPLICATION
Scale	1:200@A3
Drawn	DL
Project No.	559

Drawing No.	DA 00 1 02 A			
Discipline Code	Level	Type	No.	Revision

503 / 50 Holt Street
 Surry Hills NSW 2010
 phone: 02 9660 8299
 www.paulkellydesign.com.au



01 Ground Proposed Plan
 1:200 @ A3

DEVELOPMENT APPLICATION

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Demolition Legend

-  EXISTING WALLS TO BE RETAINED
-  EXISTING TO BE DEMOLISHED
-  WORKS NOT IN SCOPE

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

Ground Existing / Demolition Plan

Status: DEVELOPMENT APPLICATION
 Scale: 1:200@A3
 Drawn: DL
 Project No.: 559

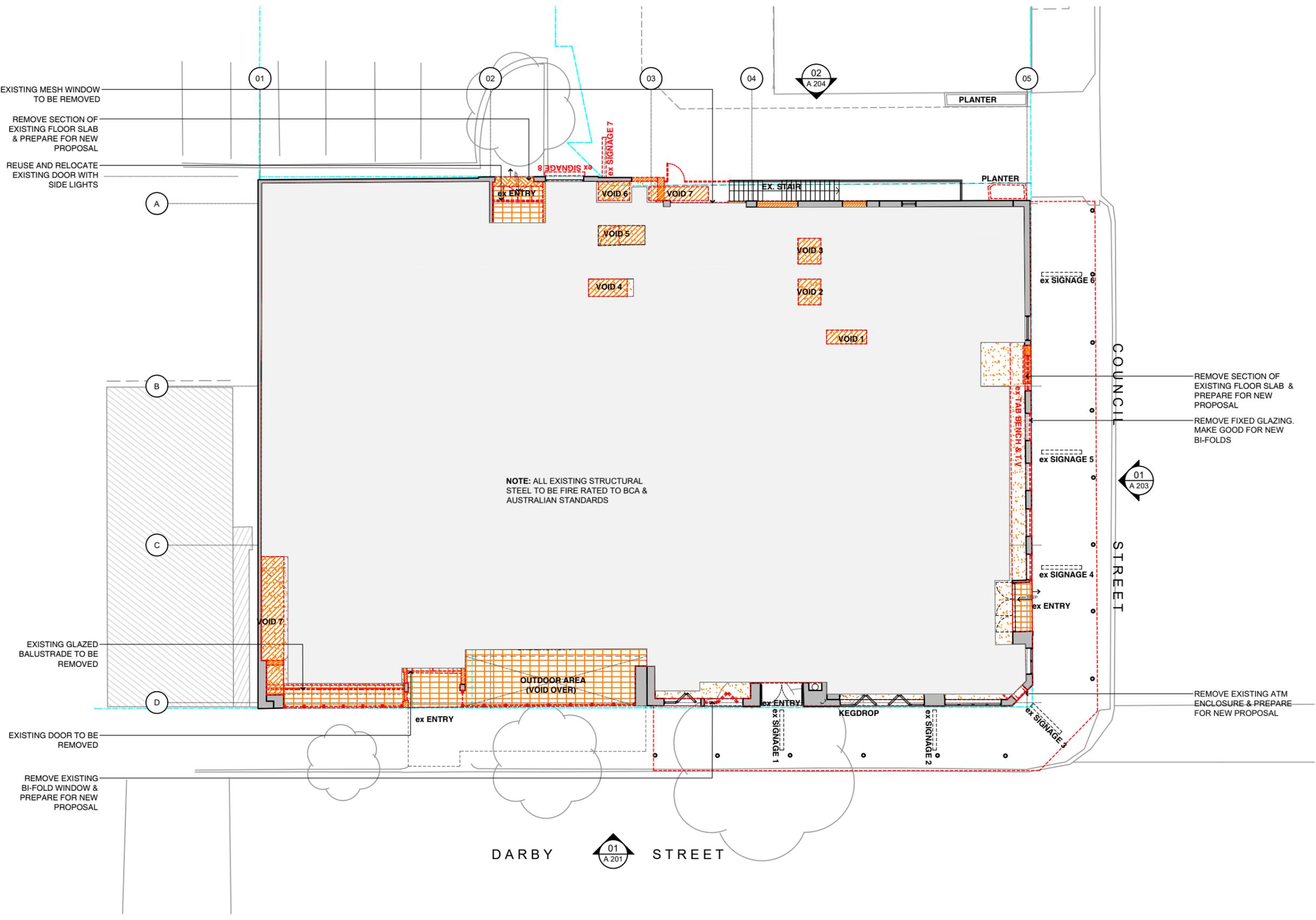
Drawing No. **DA 00 1 01 A**

Discipline Code	Level	Type	No.	Revision

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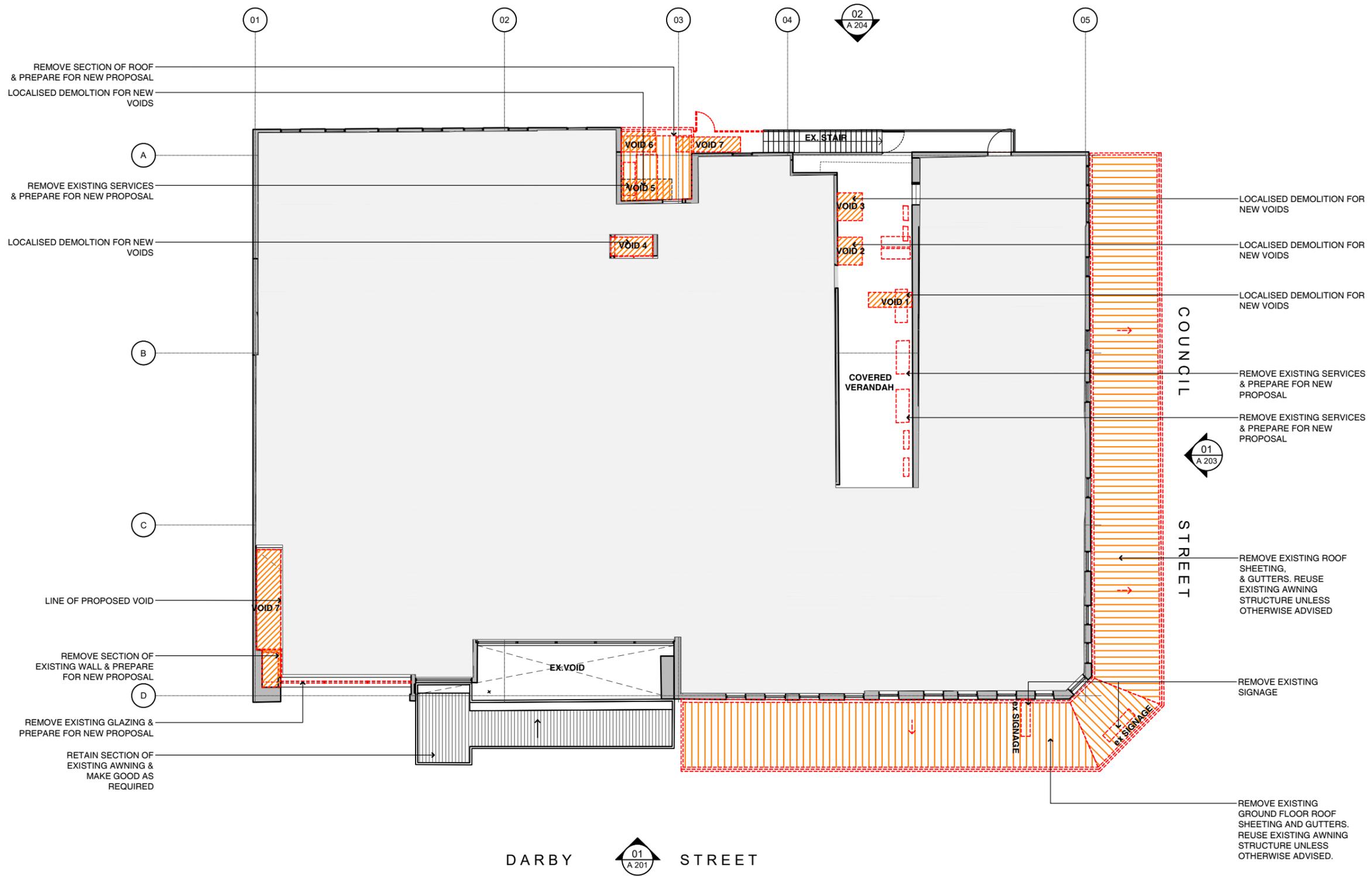
DEVELOPMENT APPLICATION



01 Ground Existing / Demolition Plan
 1:200 @ A3

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Demolition Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED
- WORKS NOT IN SCOPE

Rev	Date	Description	Checked

A 07.06.19 DEVELOPMENT APPLICATION ISSUE PK
 Rev Date Description Checked

Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

Level 01 Existing / Demolition Plan

Status DEVELOPMENT APPLICATION
 Scale 1:100@A3
 Drawn DL
 Project No. 559

Drawing No. DA 01 1 01 A
 Discipline Level Type No. Revision

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01 Level 01 Existing / Demolition Plan
 1:200 @ A3

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Legend

- EXISTING WALLS TO BE RETAINED
- NEW WALLS
- NEW WINDOWS & DOORS
- NEW LOUVRES
- NEW JOINERY
- NEW SIGNAGE
- NEW STAIR
- NEW ROOF
- NEW LANDSCAPING

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

Level 01 Proposed Plan

Status	DEVELOPMENTAPPLICATION
Scale	1:200@A3
Drawn	DL
Project No.	559

Drawing No.	DA 01 1 02 A			
Discipline Code	Level	Type	No.	Revision

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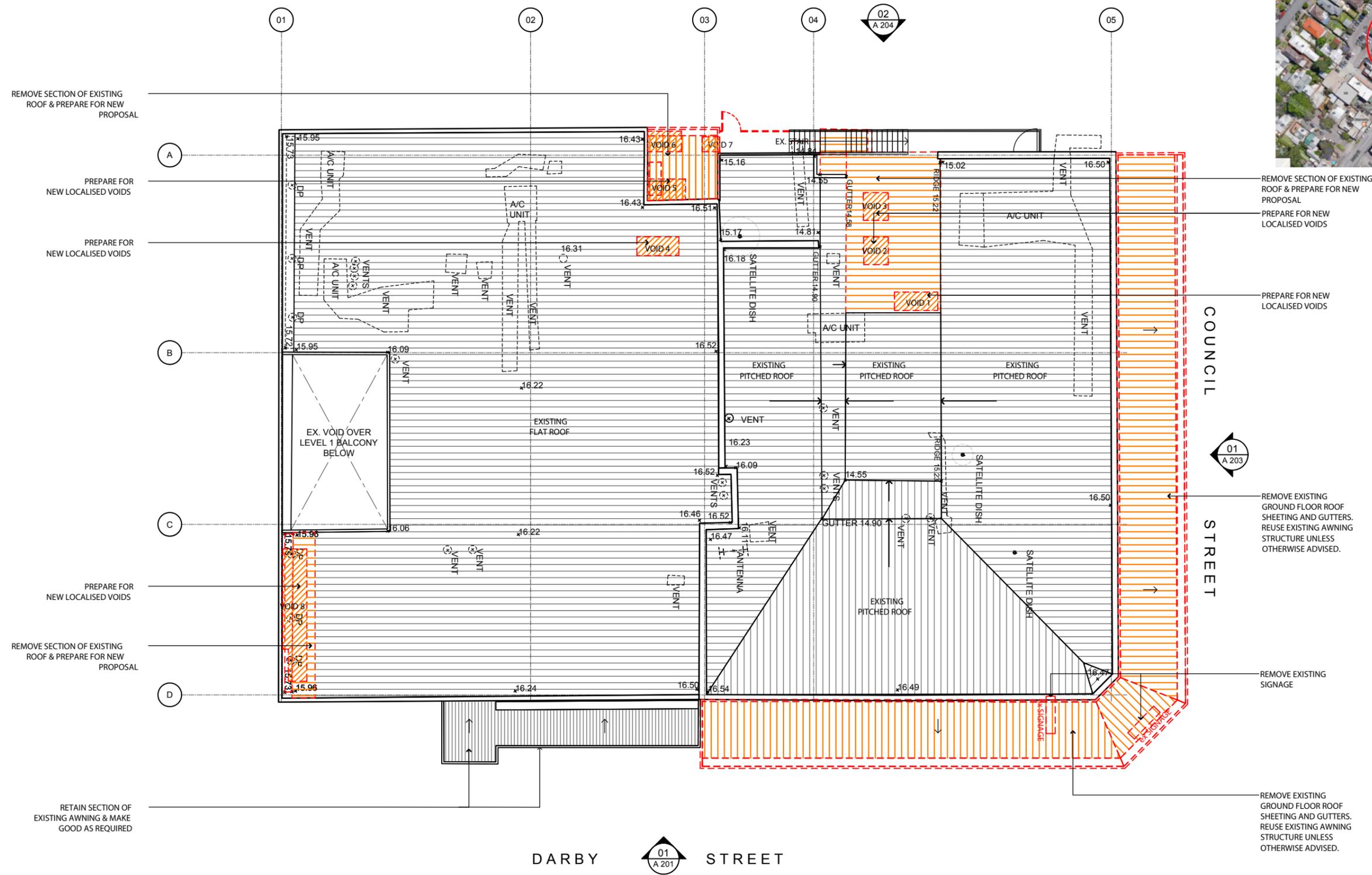


01 Level 01 Proposed Plan
 1:200 @ A3

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Demolition Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED
- WORKS NOT IN SCOPE

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

Roof Existing and Demolition Plan

Status	DEVELOPMENT APPLICATION
Scale	1:100@A3
Drawn	DL
Project No.	559

Drawing No.	DA 02 1 01 A			
Discipline Code	Level	Type	No.	Revision

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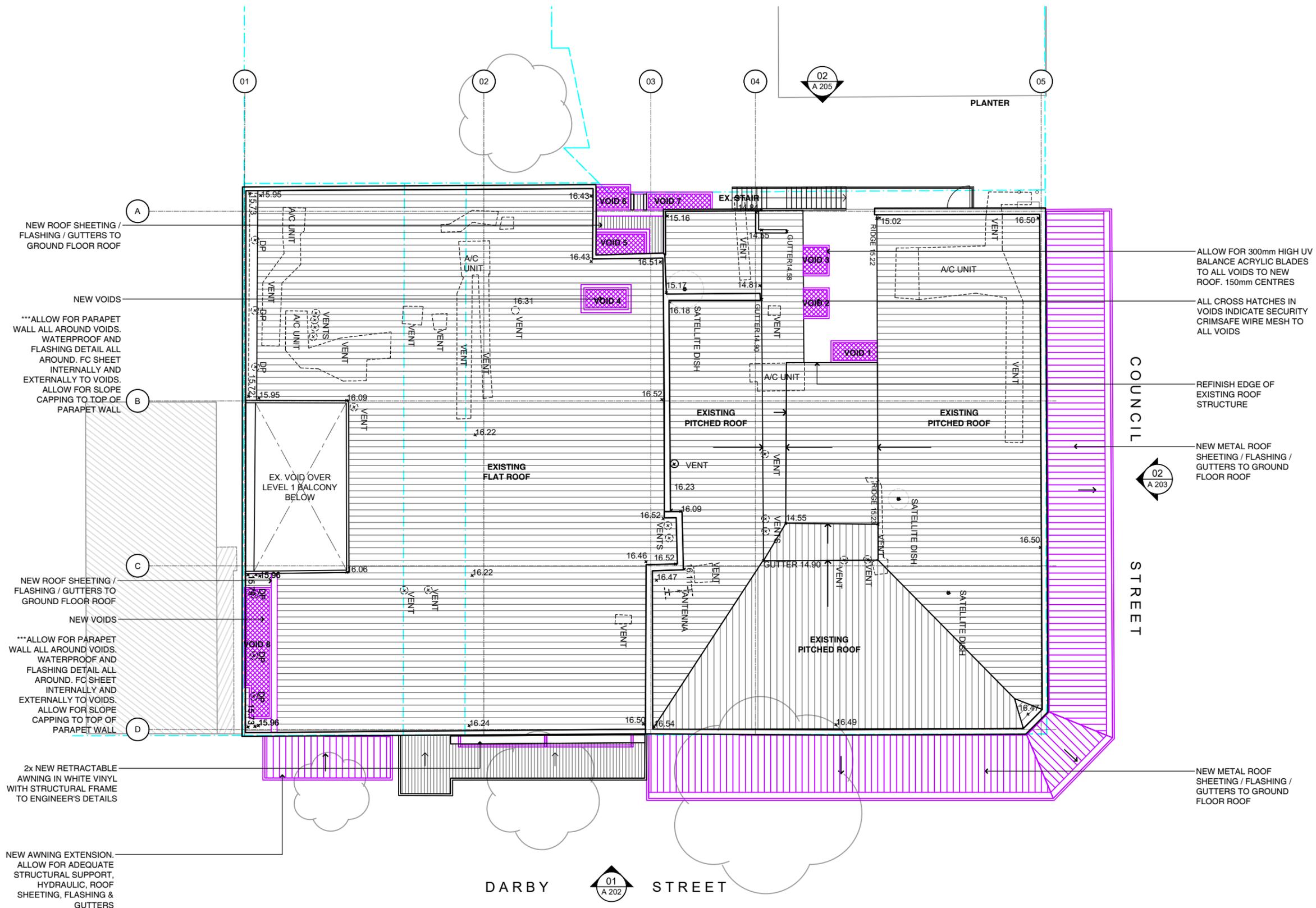


01 Roof Existing and Demolition Plan
 1:200 @ A3

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Legend

- EXISTING WALLS TO BE RETAINED
- NEW WALLS
- NEW WINDOWS & DOORS
- NEW LOUVRES
- NEW JOINERY
- NEW SIGNAGE
- NEW STAIR
- NEW ROOF
- NEW LANDSCAPING

ALLOW FOR 300mm HIGH UV BALANCE ACRYLIC BLADES TO ALL VOIDS TO NEW ROOF. 150mm CENTRES

ALL CROSS HATCHES IN VOIDS INDICATE SECURITY CRIMS SAFE WIRE MESH TO ALL VOIDS

REFINISH EDGE OF EXISTING ROOF STRUCTURE

NEW METAL ROOF SHEETING / FLASHING / GUTTERS TO GROUND FLOOR ROOF

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

Roof Proposed Plan

Status: DEVELOPMENT APPLICATION
 Scale: 1:100@A3
 Drawn: DL
 Project No.: 559

Discipline Code	Level	Type	No.	Revision
DA	02	1	02	A

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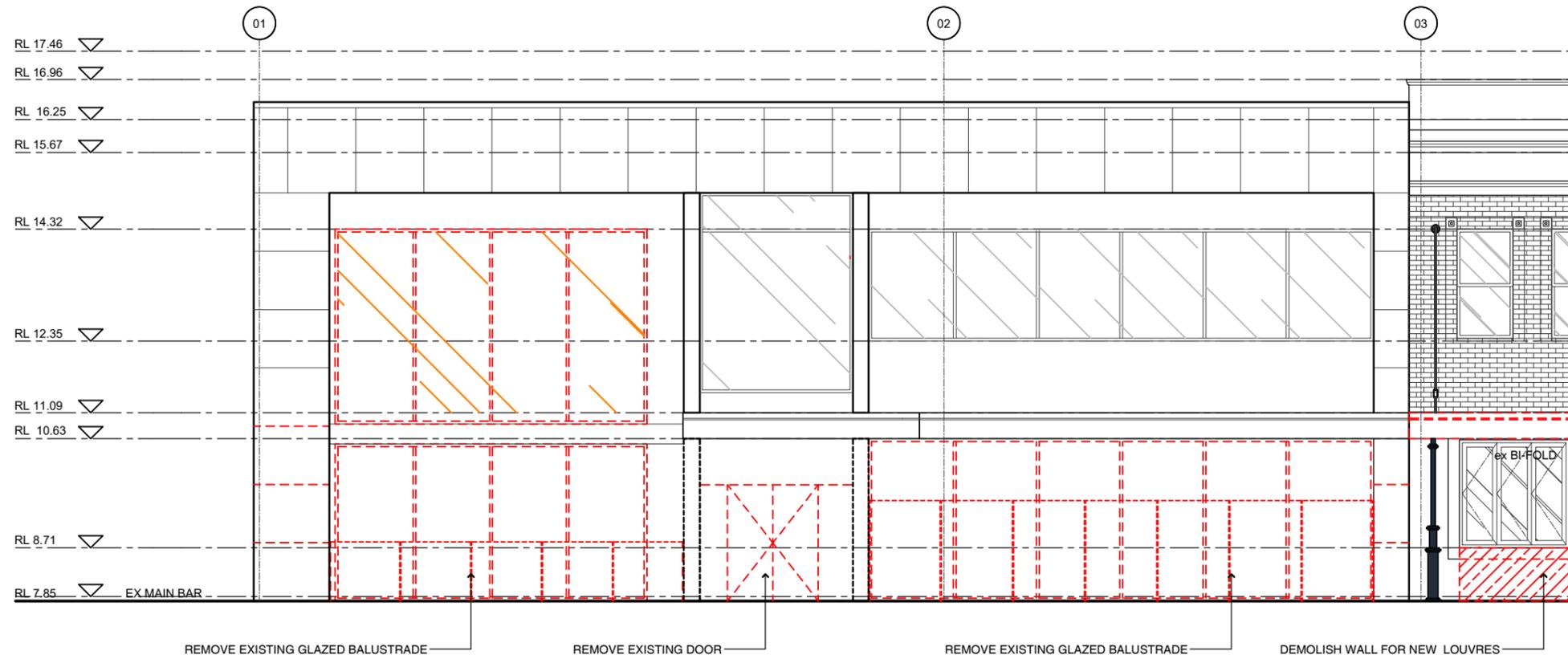


01 Roof Proposed Plan 1:200 @ A3

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01 Darby Street Elevation (Part 1 of 2)
 Existing 1:200 @ A3

Demolition Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED
- WORKS NOT IN SCOPE

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

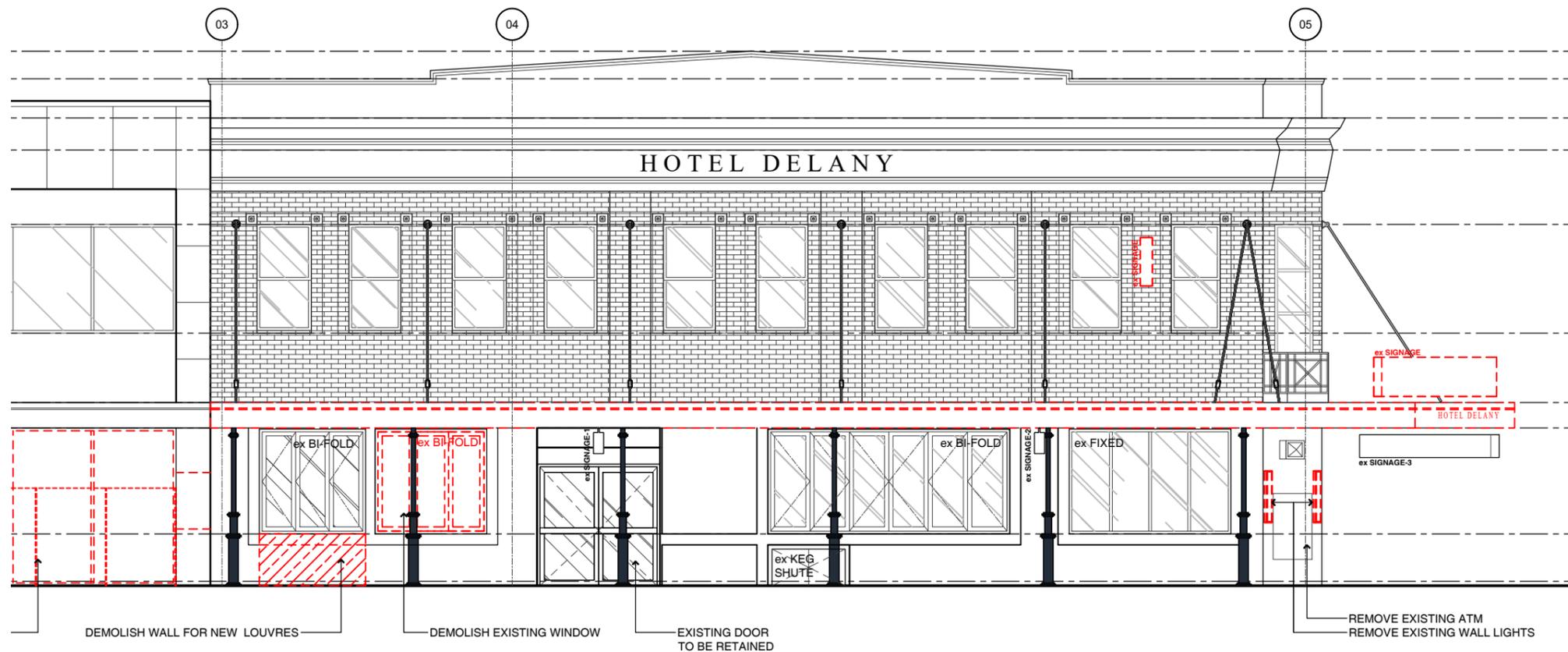
Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

**Darby Street
 External Elevations
 Existing**

Status	DEVELOPMENT APPLICATION
Scale	1:100 @ A3
Drawn	DL
Project No.	559

Drawing No.	DA	2	01	A
Discipline Code	Level	Type	No.	Revision

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01 Darby Street Elevation (Part 2 of 2)
 Existing 1:200 @ A3

DEVELOPMENT APPLICATION

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Proposed External Finishes

- ① NEW WALL TILE (GLOSS)
RANGE: COLORE & COLORE
SIZE: 100 X 100MM
COLOUR: DARK BLUE (C&C D6) (GLOSS)
SUPPLIER: CLASSIC CERAMICS (02 9560 6555)
- ①a NEW WALL TILE (GLOSS)
SIZE: 100 X 100MM
COLOUR: 3X3-1433 (GLOSS)
SUPPLIER: THREE BY THREE (02 8084 3784)
- ①b NEW WALL TILE (STRIPED DETAIL) - (GLOSS)
RANGE: VOGUE NERO
SIZE: 10 X 200MM
COLOUR: BLACK (GLOSS)
SUPPLIER: CLASSIC CERAMICS (02 9560 6555)
- ①c NEW WALL TILE - CAPPING TILE
SIZE: 30 X 200MM (SG - TONEG)
COLOUR: BLACK (GLOSS)
SUPPLIER: SURFACE GALLERY (02) 9566 2002
- ② NEW PAINT FINISH (WALLS AND AWNING FACIA) DULUX: PALMER
- ③ NEW PAINT FINISH (AWNING ROOF SHEETING, CABLE TIES, COLUMNS AND L1 WINDOWS) DULUX: OOLONG
- ④ NEW POWDERCOATED FINISH (NEW WINDOWS - DARBY ST) DULUX: BLACK
- ⑤ NEW PAINT FINISH (HIGH LEVEL DETAILING AND AWNING SOFFIT) DULUX: BLEACHES QUATER
- ⑥ NEW POWDERCOAT FINISH (NEW LOUVRES) COLOUR: BLACK
- ⑦ NEW PAINT FINISH (L1 ROSETTES) DULUX: CALANDRE
- ⑧ NEW PAINT FINISH (REAR ENTRY LOW LEVEL) DULUX: VIBRANT VINE
- ⑨ NEW PAINT FINISH (REAR FACADE HIGH LEVEL) DULUX: ASHLITE
- ⑩ NEW PAINT FINISH (REAR FACADE LOW LEVEL) DULUX: PACIFIC LINE

Rev	Date	Description	Checked
B	25.11.19	DEVELOPMENT APPLICATION ISSUE	PK
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

Hotel Delany

134 - 142 Darby St Newcastle NSW 2300

Darby Street External Elevations Proposed

Status: DEVELOPMENTAPPLICATION

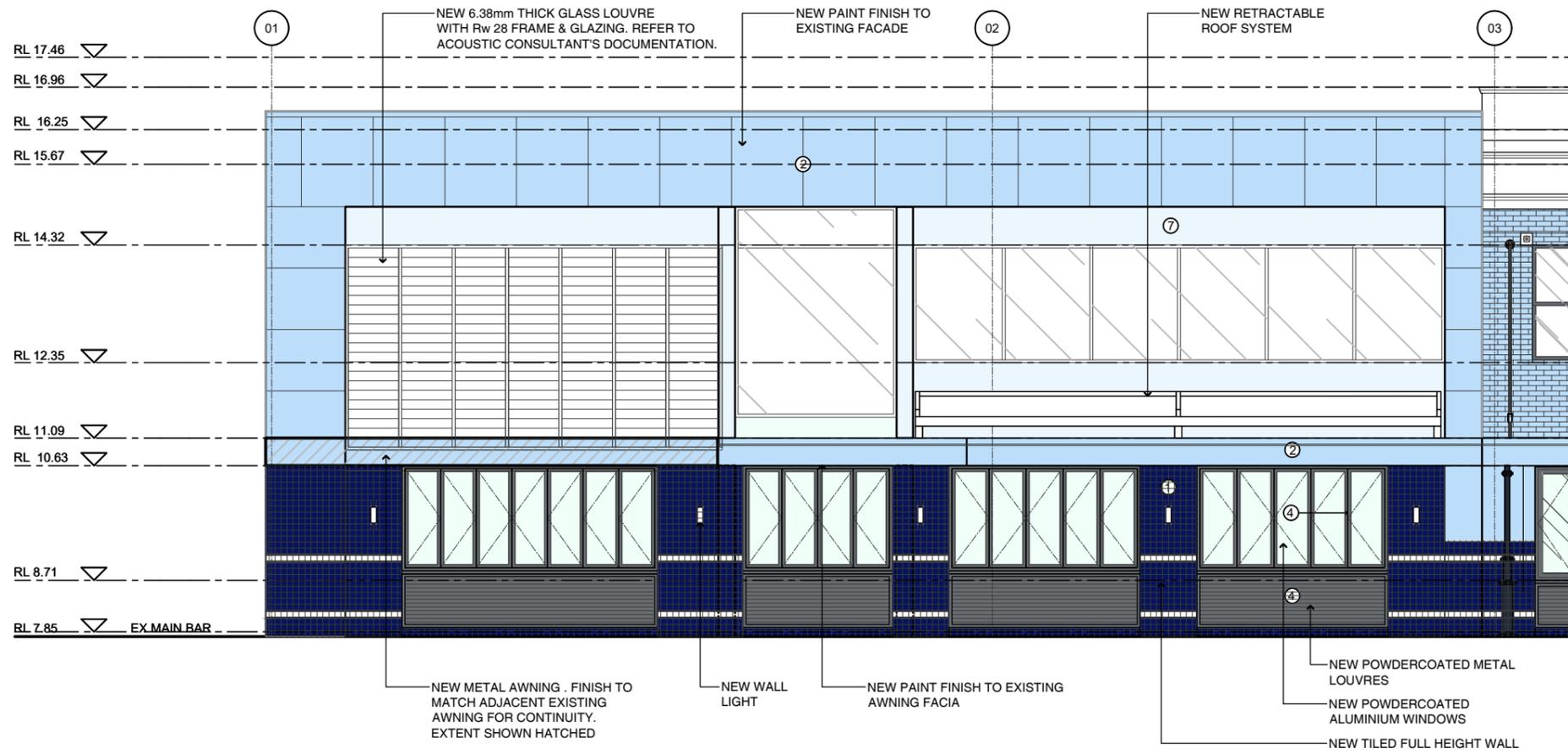
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Drawn: DL

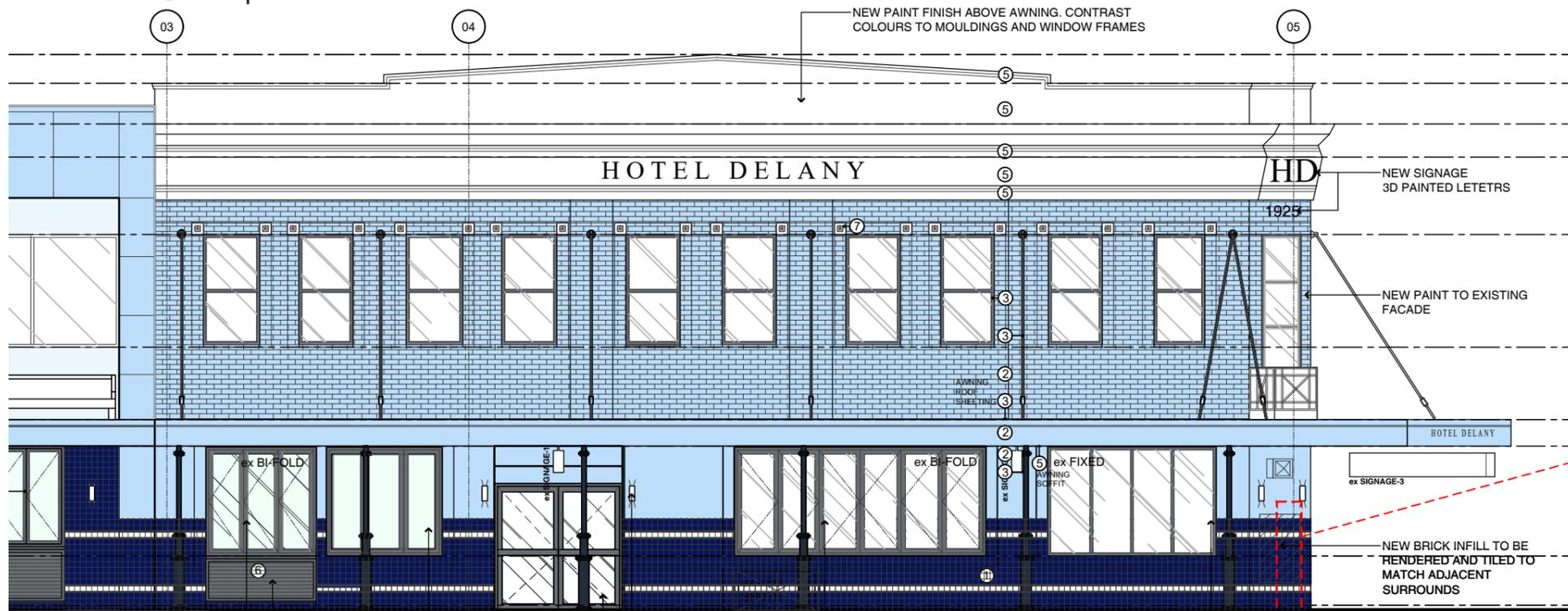
Project No.: 559

Discipline Code	Level	Type	No.	Revision
DA	2	02	B	

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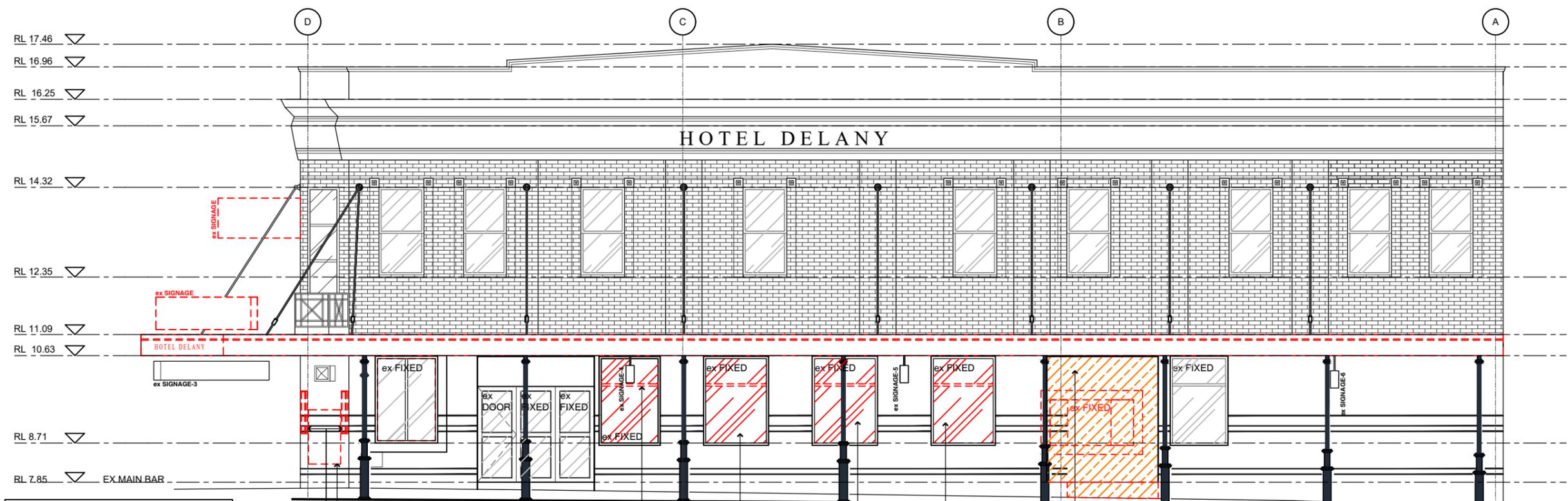


01 Darby Street Elevation (Part 1 of 2) Proposed
1:200 @ A3



01 Darby Street Elevation (Part 2 of 2) Proposed
1:200 @ A3

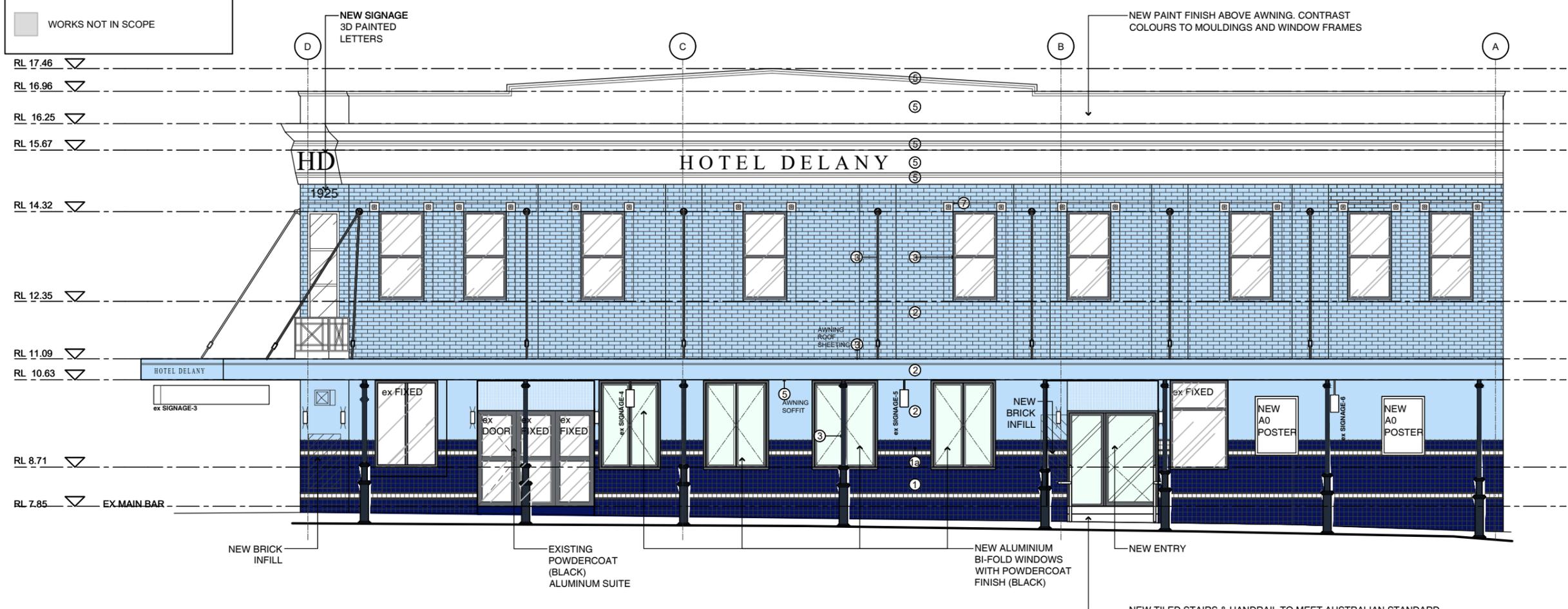
DEVELOPMENT APPLICATION



Demolition Legend

- EXISTING WALLS TO BE RETAINED
- EXISTING TO BE DEMOLISHED
- WORKS NOT IN SCOPE

01 Council Street Elevation Existing
1:200 @ A3



02 Council Street Elevation Proposed
1:200 @ A3

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Proposed External Finishes

1	NEW WALL TILE (GLOSS) RANGE: COLORE & COLORE SIZE: 100 X 100MM COLOUR: DARK BLUE (C&C D6) (GLOSS) SUPPLIER: CLASSIC CERAMICS (02 9560 6555)
1a	NEW WALL TILE (GLOSS) SIZE: 100 X 100MM COLOUR: 3X3-1433 (GLOSS) SUPPLIER: THREE BY THREE (02 8084 3784)
1b	NEW WALL TILE (STRIPED DETAIL) - (GLOSS) RANGE: VOGUE NERO SIZE: 10 X 200MM COLOUR: BLACK (GLOSS) SUPPLIER: CLASSIC CERAMICS (02 9560 6555)
1c	NEW WALL TILE - CAPPING TILE SIZE: 30 X 200MM (SG - TONEG) COLOUR: BLACK (GLOSS) SUPPLIER: SURFACE GALLERY (02) 9566 2002
2	NEW PAINT FINISH (WALLS AND AWNING FACIA) DULUX: PALMER
3	NEW PAINT FINISH (AWNING ROOF SHEETING, CABLE TIES, COLUMNS AND L1 WINDOWS) DULUX: OOLONG
4	NEW POWDERCOAT FINISH (NEW WINDOWS - DARBY ST) DULUX: BLACK
5	NEW PAINT FINISH (HIGH LEVEL DETAILING AND AWNING SOFFIT) DULUX: BLEACHES QUATER
6	NEW POWDERCOAT FINISH (NEW LOUVRES) COLOUR: BLACK
7	NEW PAINT FINISH (L1 ROSETTES) DULUX: CALANDRE
8	NEW PAINT FINISH (REAR ENTRY LOW LEVEL) DULUX: VIBRANT VINE
9	NEW PAINT FINISH (REAR FACADE HIGH LEVEL) DULUX: ASHLITE
10	NEW PAINT FINISH (REAR FACADE LOW LEVEL) DULUX: PACIFIC LINE

B	25.11.19	DEVELOPMENT APPLICATION ISSUE	PK
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK
Rev	Date	Description	Checked

Hotel Delany
134 - 142 Darby St Newcastle NSW 2300

Council Street External Elevations Existing and Proposed

Status: DEVELOPMENT APPLICATION
Scale: 1:100 @ A3
Drawn: DL
Project No.: 559

Drawing No. **DA 2 03 B**
Discipline Code Level Type No. Revision

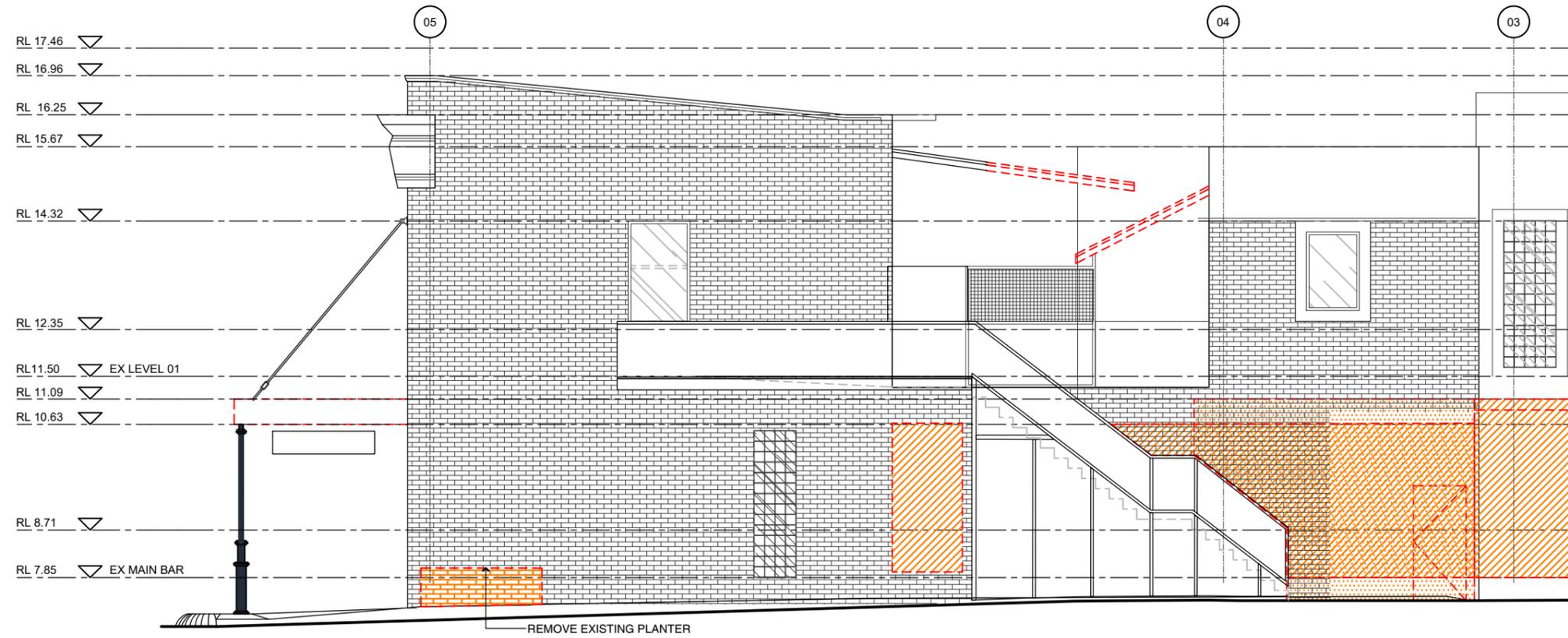
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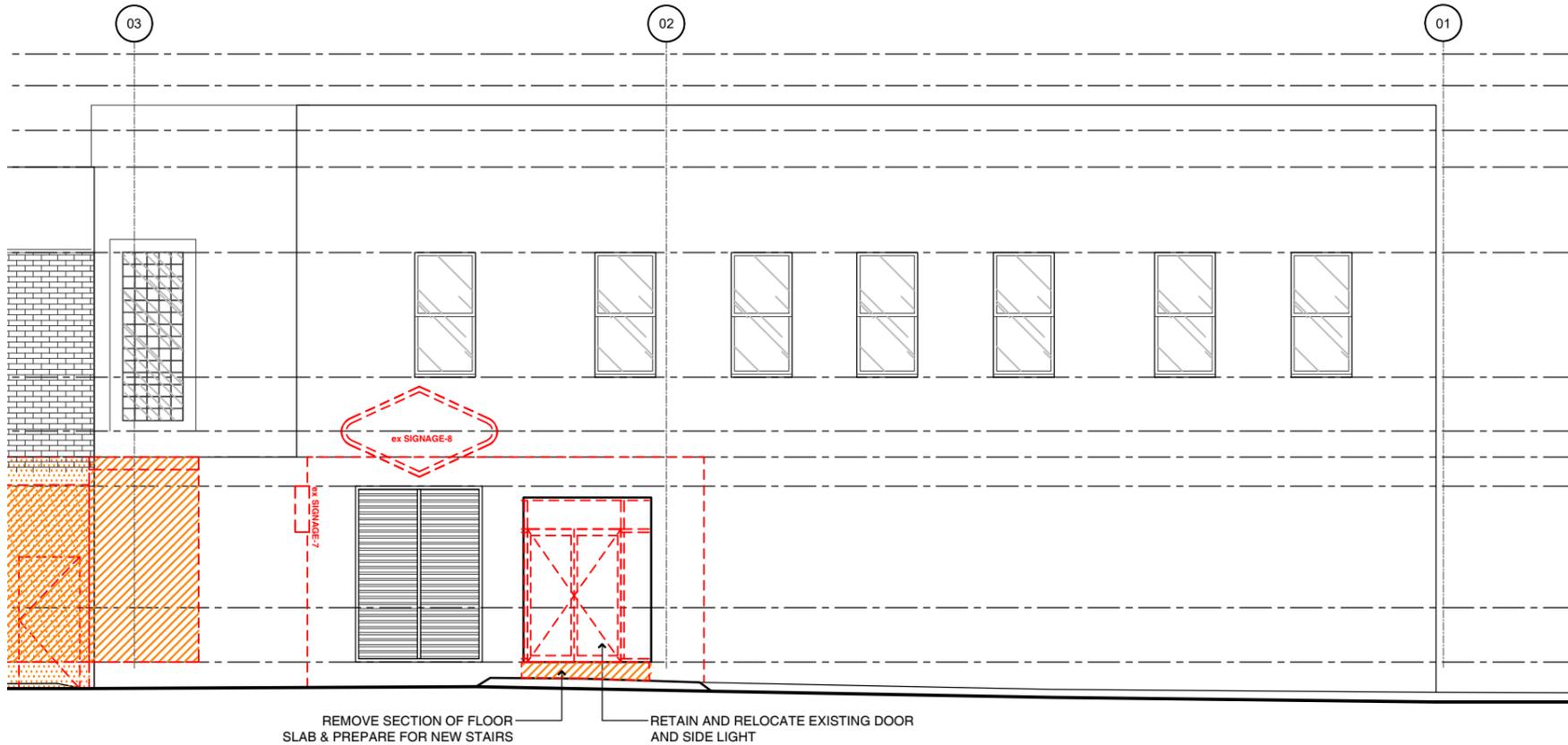
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01 Rear Lineway Elevation (Part 1 of 2)
 Existing 1:100 @ A3

Demolition Legend

-  EXISTING WALLS TO BE RETAINED
-  EXISTING TO BE DEMOLISHED
-  WORKS NOT IN SCOPE



01 Rear Lineway Elevation (Part 2 of 2)
 Existing 1:100 @ A3

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

**Rear Laneway
 External Elevation
 Existing**

Status	DEVELOPMENTAPPLICATION
Scale	1:100@A3
Drawn	DL
Project No.	559

Discipline Code	Level	Type	No.	Revision
DA			2 04	A

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Proposed External Finishes

①	NEW WALL TILE (GLOSS) RANGE: COLORE & COLORE SIZE: 100 X 100MM COLOUR: DARK BLUE (C&C D6) (GLOSS) SUPPLIER: CLASSIC CERAMICS (02 9560 6555)
①a	NEW WALL TILE (GLOSS) SIZE: 100 X 100MM COLOUR: 3X3-1433 (GLOSS) SUPPLIER: THREE BY THREE (02 8084 3784)
①b	NEW WALL TILE (STRIFE DETAIL) - (GLOSS) RANGE: VOGUE NERO SIZE: 10 X 200MM COLOUR: BLACK (GLOSS) SUPPLIER: CLASSIC CERAMICS (02 9560 6555)
①c	NEW WALL TILE - CAPPING TILE SIZE: 30 X 200MM (SG - TONEG) COLOUR: BLACK (GLOSS) SUPPLIER: SURFACE GALLERY (02) 9566 2002
②	NEW PAINT FINISH (WALLS AND AWNING FACIA) DULUX: PALMER
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④	NEW POWDERCOAT FINISH (NEW WINDOWS - DARBY ST) DULUX: BLACK
⑤	NEW PAINT FINISH (HIGH LEVEL DETAILING AND AWNING SOFFIT) DULUX: BLEACHES QUATER
⑥	NEW POWDERCOAT FINISH (NEW LOUVRES) COLOUR: BLACK
⑦	NEW PAINT FINISH (L1 ROSETTES) DULUX: CALANDRE
⑧	NEW PAINT FINISH (REAR ENTRY LOW LEVEL) DULUX: VIBRANT VINE
⑨	NEW PAINT FINISH (REAR FACADE HIGH LEVEL) DULUX: ASHLITE
⑩	NEW PAINT FINISH (REAR FACADE LOW LEVEL) DULUX: PACIFIC LINE

Rev	Date	Description	Checked
A	07.06.19	DEVELOPMENT APPLICATION ISSUE	PK

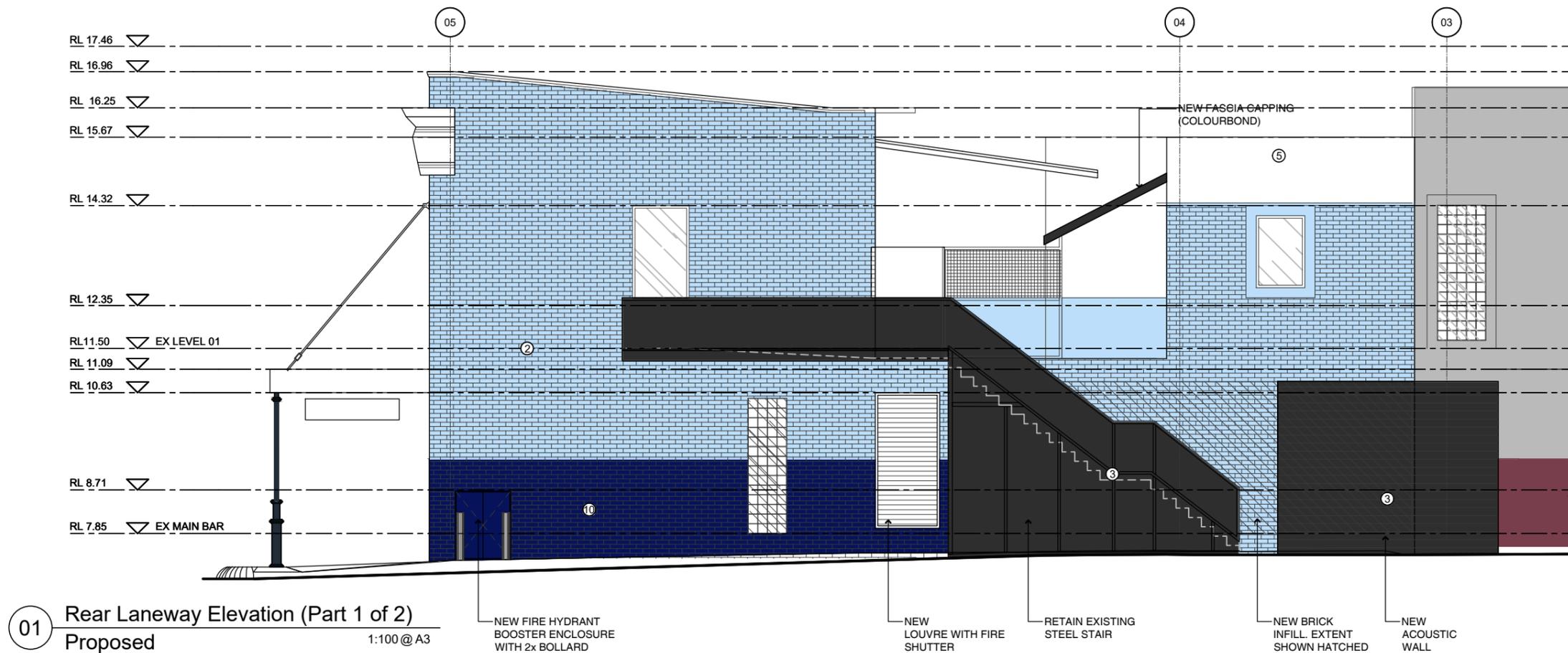
Hotel Delany
 134 - 142 Darby St Newcastle NSW 2300

Rear Laneway External Elevation Proposed

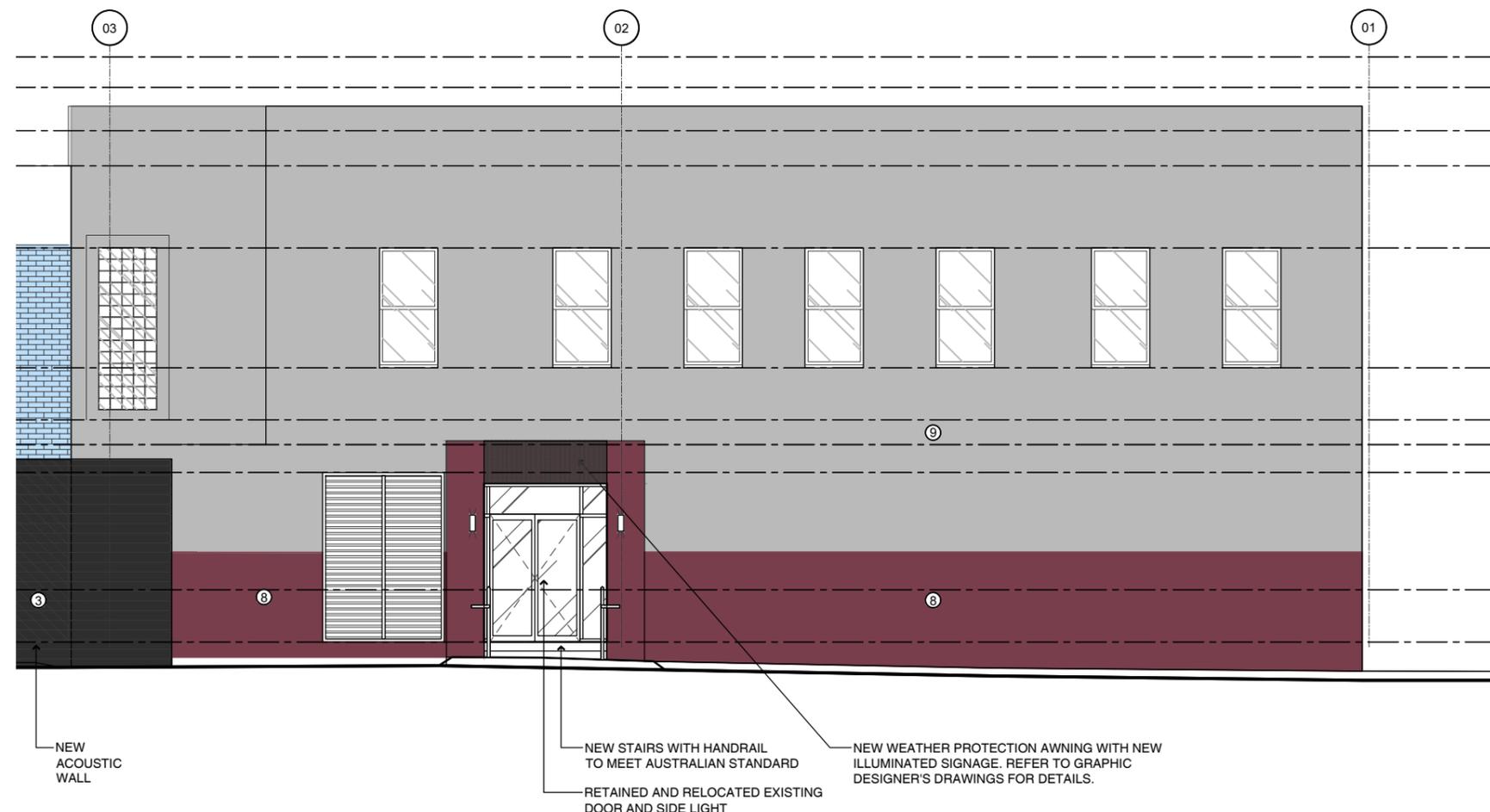
Status	DEVELOPMENTAPPLICATION
Scale	1:100@A3
Drawn	DL
Project No.	559

Drawing No.	DA	2	05	A
Discipline Code	Level	Type	No.	Revision

503 / 50 Holt Street
 Surry Hills NSW 2010
 phone: 02 9660 8299
 www.paulkellydesign.com.au



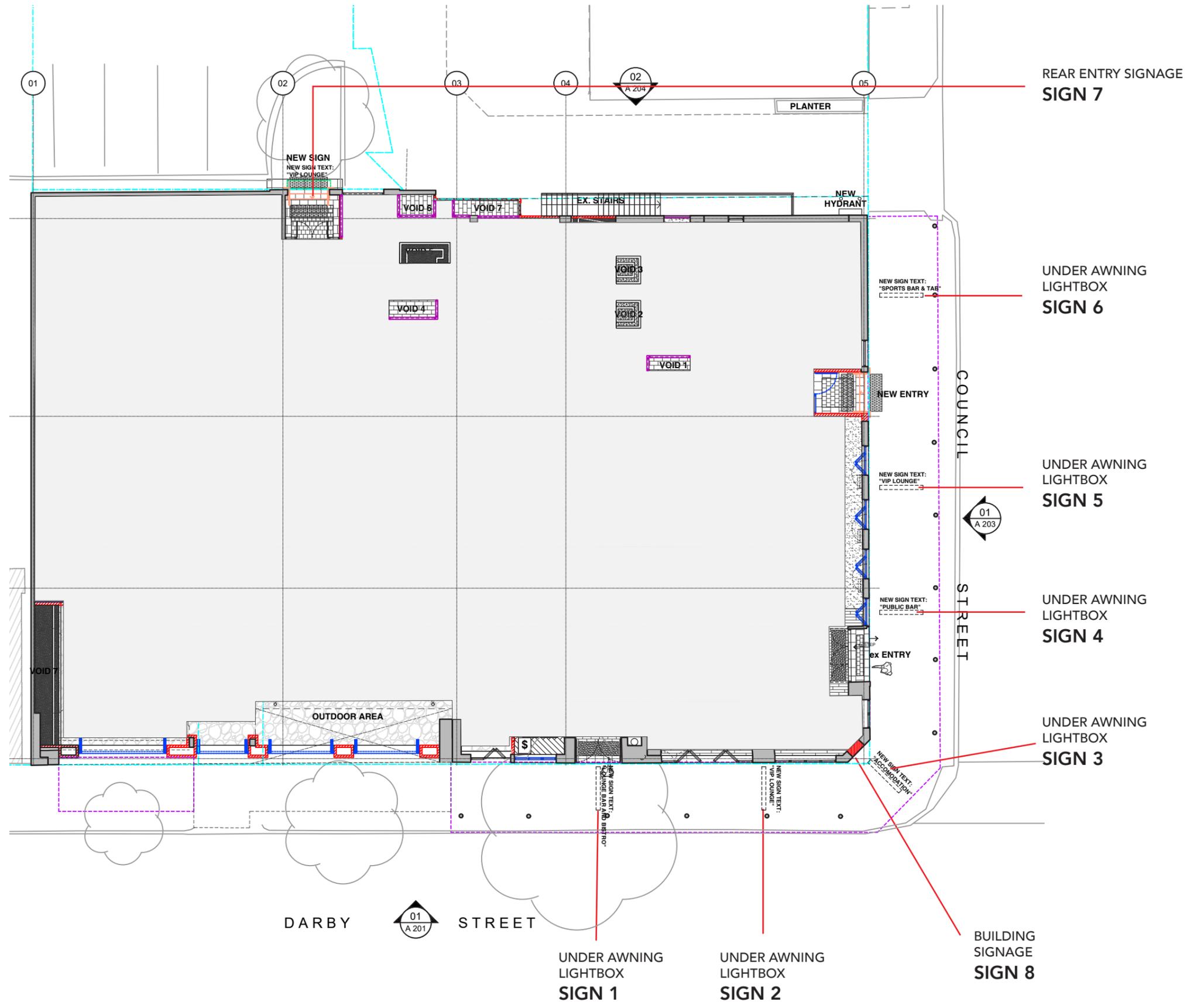
01 Rear Laneway Elevation (Part 1 of 2)
 Proposed 1:100 @ A3



01 Rear Laneway Elevation (Part 2 of 2)
 Proposed 1:100 @ A3

DEVELOPMENT APPLICATION

LOCATIONS



CLIENT TO ORGANISE POWER
VISUAL ONLY - NOT TO EXACT SCALE
LIGHTING, COLOURS AND DESIGNS ARE INDICATIVE ONLY

CLIENT
Delany Hotel

PROJECT
Exterior signage

DATE
13.06.2019

DESIGN	REVISION
BD4350	0

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SIGN 1-6

DETAILS
- Signage artwork

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CLIENT
Delany Hotel

PROJECT
Exterior signage

DATE
13.06.2019

DESIGN	REVISION
BD4350	0

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SIGN 1



SIGN 2



SIGN 3



SIGN 4



SIGN 5



SIGN 6

SIGN 1,3,4,6

DETAILS

- Under awning lightboxes
- Double sided
- Aluminium sub frame
- Fab acrylic faces
- Internal LED lighting
- Vinyl graphics
- Matt laminate
- 2440mm x 330mm

CLIENT TO ORGANISE POWER

VISUAL ONLY - NOT TO EXACT SCALE
LIGHTING, COLOURS AND DESIGNS ARE INDICATIVE ONLY

CLIENT

Delany Hotel

PROJECT

Exterior signage

DATE

13.06.2019

DESIGN

BD4350

REVISION

0

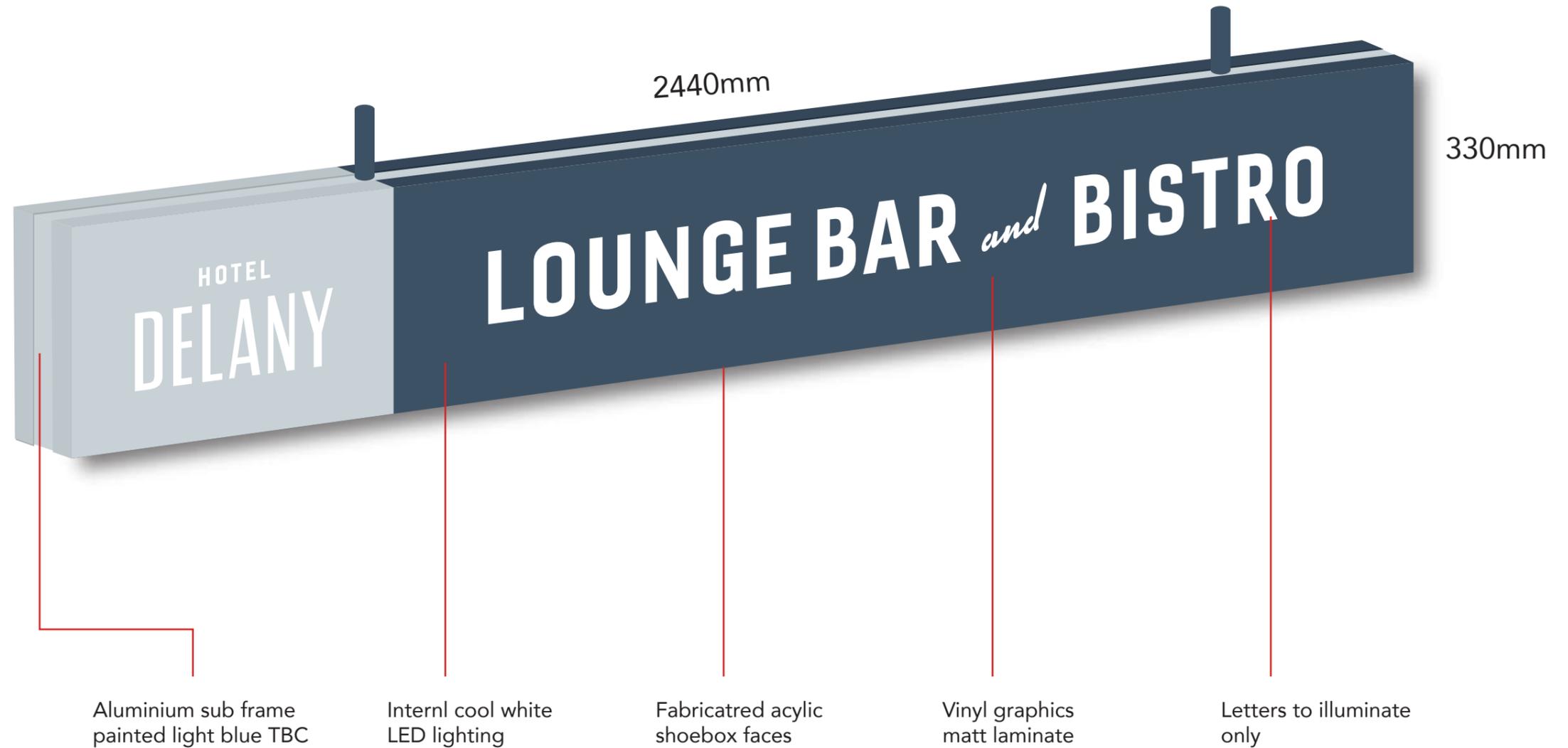
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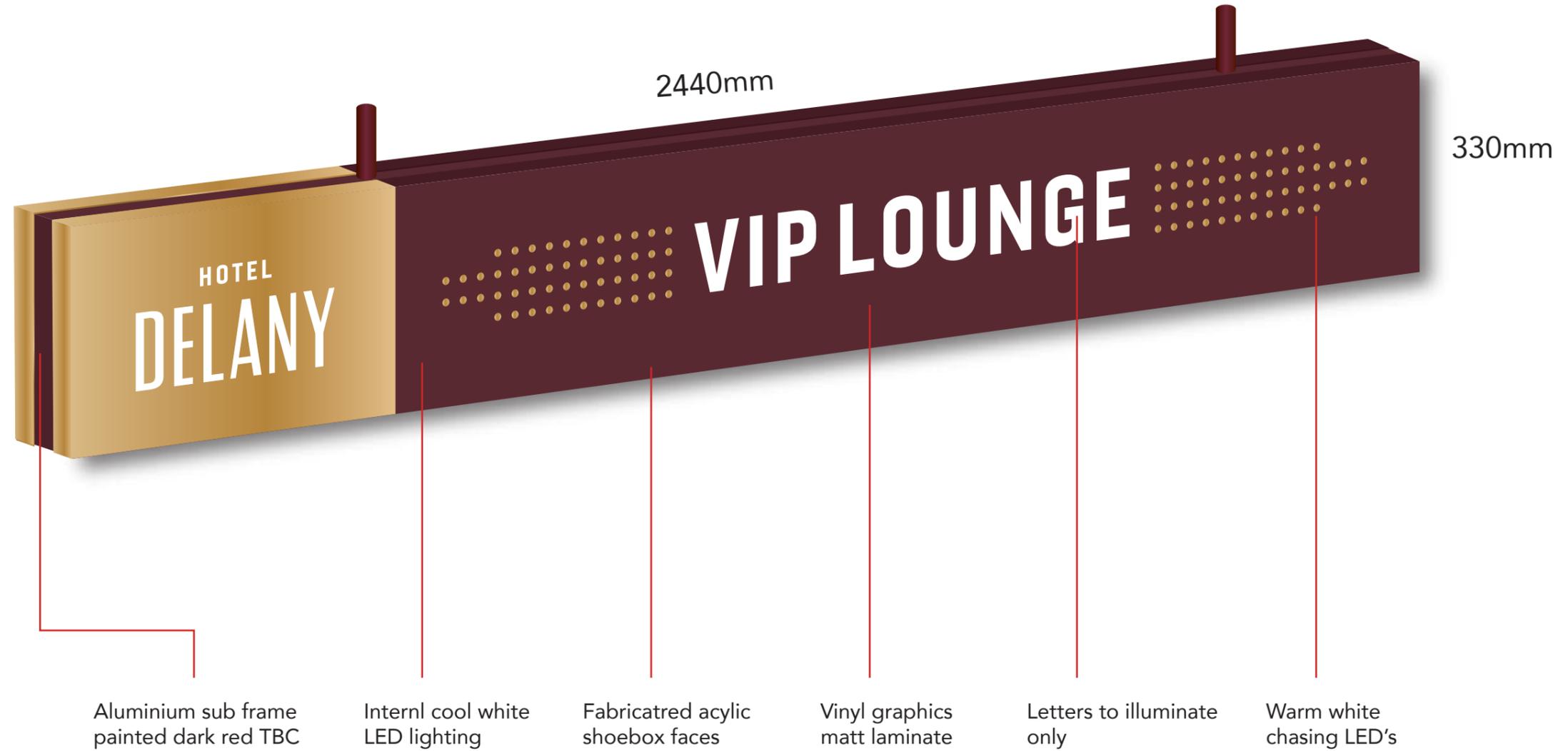
6/12-14 NORMAN STREET, PEAKHURST, AUSTRALIA 2210. HELLO@FREMONT.CO



SIGN 2+5

DETAILS

- Under awning lightboxes
- Double sided
- Aluminium sub frame
- Fabric acrylic faces
- Internal LED lighting
- Vinyl graphics
- Matt laminate
- 2440mm x 330mm
- Warm white chasing LED's



CLIENT TO ORGANISE POWER

VISUAL ONLY - NOT TO EXACT SCALE
LIGHTING, COLOURS AND DESIGNS ARE INDICATIVE ONLY

CLIENT

Delany Hotel

PROJECT

Exterior signage

DATE

13.06.2019

DESIGN

BD4350

REVISION

0

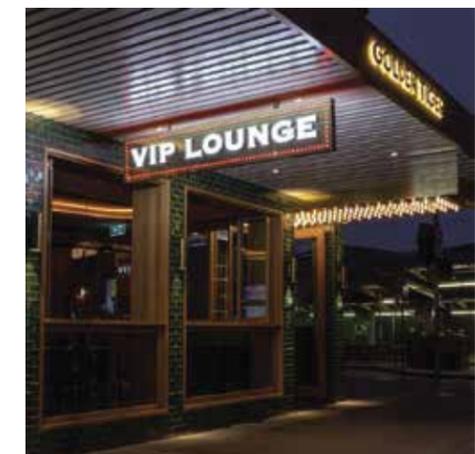
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SIGN 7

DETAILS

- VIP Feature entry point

CLIENT TO ORGANISE POWER

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CLIENT

Delany Hotel

PROJECT

VIP Lounge entry awning

DATE

30.04.2019

DESIGN

BD4344

REVISION

0

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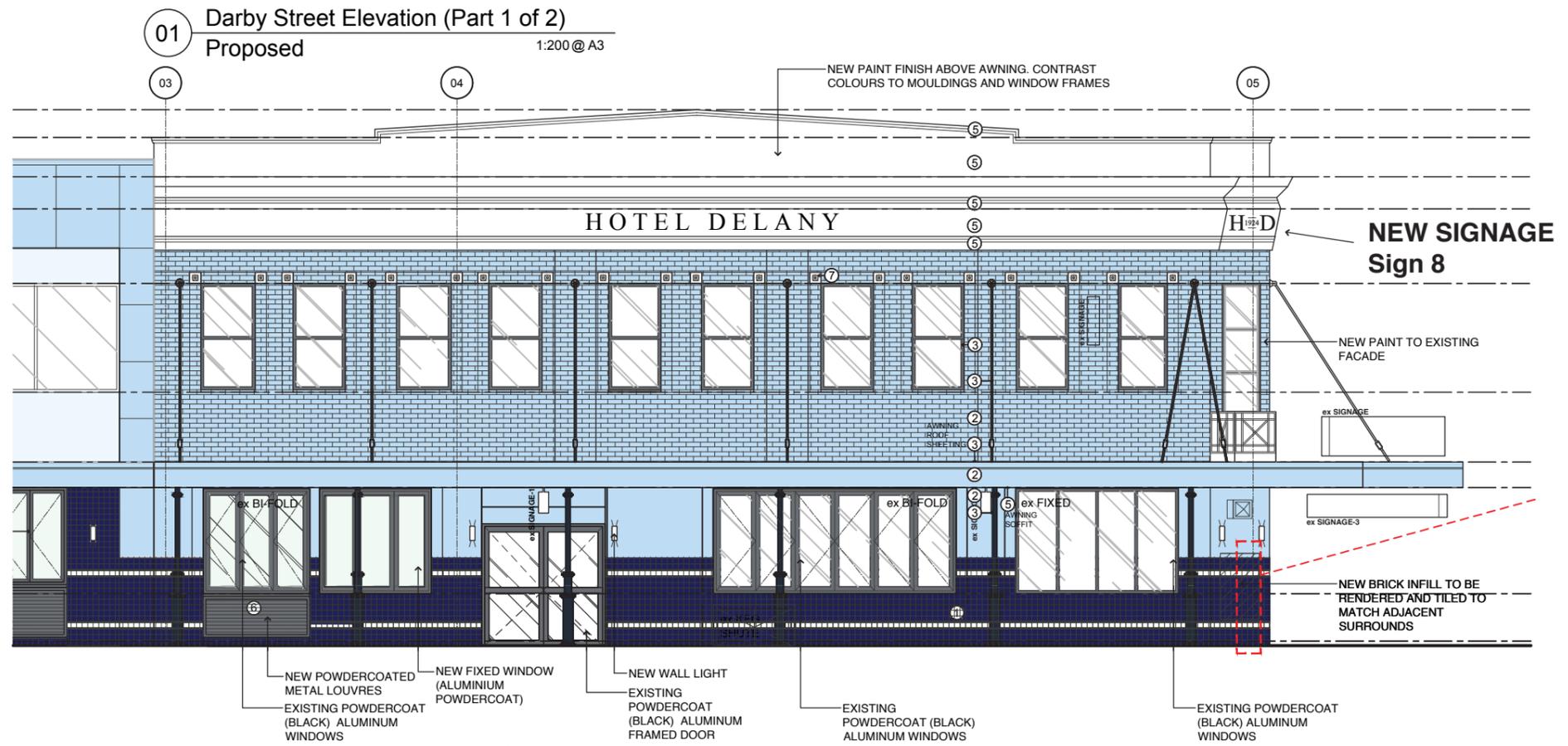
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CURRENT SIGNAGE TO BE REMOVED

SIGN 8

DETAILS
-HD 1924 signage



01 Darby Street Elevation (Part 2 of 2)
Proposed 1:200 @ A3

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CLIENT
Delany Hotel

PROJECT
Exterior signage

DATE
13.06.2019

DESIGN	REVISION
BD4350	0

FREMONT

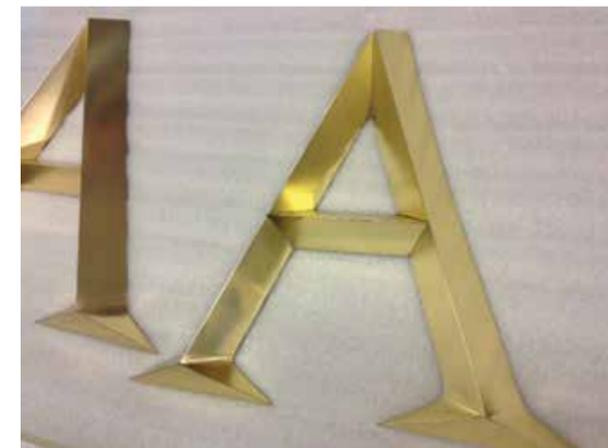
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H 1924 D



SAMPLE LETTERS

PUBLIC VOICE COMMITTEE MEETING

21 APRIL 2020

PV 21/04/2020

DA2019/01000 - 142 DARBY STREET COOKS HILL

Attachment B: Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER

PROCESSING CHRONOLOGY

DA2019/01000- 142 Darby Street Cooks Hill

13 September 2019	Development Application lodged
23 September 2019	Application publicly notified (14 days)
13 November 2019	Additional information requested
19 December 2019	Additional information received
26 February 2020	Application called in to DAC for determination
21 April 2020	Application scheduled for Public Voice

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

ITEM **DA2019/00852 - 6 KING STREET STOCKTON**

Demolition of outbuilding, alterations and additions to dwelling, erection of two attached two storey dwellings and strata subdivision

Attachment A - Submitted Plans

Attachment B - Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER

PUBLIC VOICE COMMITTEE MEETING

21 APRIL 2020

PV 21/04/2020

DA2019/00852 - 6 KING STREET STOCKTON

Attachment A: Submitted Plans

DISTRIBUTED UNDER SEPARATE COVER



Mackenzie King Development

6 King Street Stockton NSW
2295

Development Application

Project Brief

Project brief for Mackenzie King Development at 6 King Street Stockton

1 Development Goal

- Retain existing home fronting King Street
- Construction of 2 x 2storey attached dwellings.

2 Existing Home Works

- Minor internal modifications.

3 New Development Type

- Attached strata titled townhouses
- 120m² GFA per unit
- 3 bedrooms
- Carparking: 1 enclose garage + 1 carpark per unit.

Development Statistics

1 Proposal

- 1 single dwelling on King Street (existing house)
- 2 x 2storey attached dwellings facing laneway

2 Statistics

- Site area: 620.5m²
- GFA:
 - Single dwelling (3 bed): 98m²
 - Unit 01 (3 bed): 125m²
 - Unit 02 (3 bed): 124.5m²
 - Total: 347.5m²
- FSR: 0.56:1 (7.5:1 permitted)
- Landscape: 163.5m² (26%) - minimum required 155m² (25%)
- Deep Soil: 119m² (19%) - minimum required 75m² (12%)
- Carparking: 1 to existing house + 2 per townhouse provided.
- P.O.S (16m² minimum - incl. 12m² paved):
 - Single dwelling: >16m²
 - Unit 01: >16m²
 - Unit 02: >16m²

BASIX Requirements

6 King Street Stockton				
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT				
<i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au</i>				
WATER COMMITMENTS				
Fixtures				
3 Star Shower Heads	Yes			
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes	
Alternative Water				
Minimum Tank Size (L)	3000	Collected from Roof Area (m2)	30	
Tank Connected To:				
All Toilets	Yes	Laundry W/M Cold Tap	Yes	
One Outdoor Tap	Yes			
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Gas Instantaneous	6 Star		
Cooling System	Living	1 Phase A/C Zoned	EER 2.5 - 3.0	
	Bedrooms	1 Phase A/C Zoned	EER 2.5 - 3.0	
Heating System	Living	1 Phase A/C Zoned	EER 2.5 - 3.0	
	Bedrooms	1 Phase A/C Zoned	EER 2.5 - 3.0	
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off	
	Kitchen	Fan ducted to exterior	Manual on/off	
	Laundry	Fan ducted to exterior	Manual on/off	
Natural Lighting	Window/Skylight in Kitchen	Yes		
	Window/Skylight in Bathrooms/Toilets	Yes to	2	
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	3	Dedicated	Yes
	Number of Living/Dining rooms	3	Dedicated	Yes
	Kitchen	Yes	Dedicated	Yes
	All Bathrms/Toilets	Yes	Dedicated	Yes
	All Hallways	Yes	Dedicated	Yes
OTHER COMMITMENTS				
Outdoor clothes line	Yes	Ventilated refrigerator space	Yes	
Stove/Oven	Gas cooktop & electric oven			
Alternative Energy	Photovoltaic System: 0.7kW to U1 only			

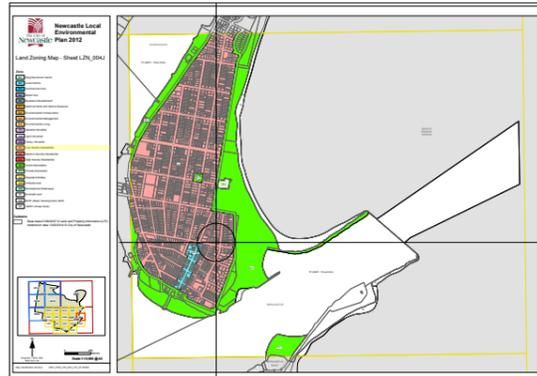
January 2020		BSA Reference: 14865	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
<i>The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification. If different construction elements are applied then the Assessor Certificate is no longer valid.</i>			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Brick Veneer & Lightweight		R2.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		R2.0 to walls adjacent to garage	
Plasterboard + studs + shaft liner + studs + Plasterboard (party walls)		R2.0 + R2.0	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adjacent to roof space	
Roof Construction		Colour	
Metal		Any	
		Foil + R1.0 blanket	
Floor Construction		Covering	
Concrete		As drawn	
Timber		As drawn	
		None	
Windows		Glass and frame type	
ALM-001-01 A		Aluminium Type A Single clear	
ALM-002-01 A		Aluminium Type B Single clear	
		U Value	
		SHGC Range	
		Area sq m	
		As drawn	
		As drawn	
<i>Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors</i>			
<i>Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres</i>			
Skylights		Glass and frame type	
		U Value	
		SHGC	
		Area sq m	
<i>U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified</i>			
External Window Shading		(eaves, verandahs, pergolas, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
No adjustment has been made for losses to insulation arising from ceiling penetrations.			

04

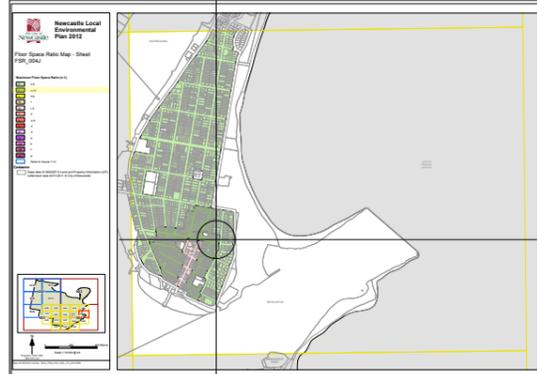
Development Application



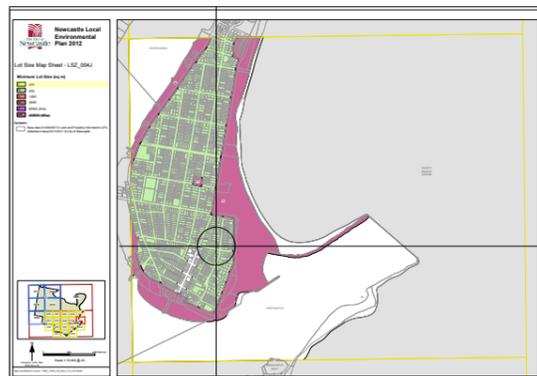
Height of Building - 8.5m



Land Zoning - R2 Low Density Residential - Moderate Growth Precinct



Floor Space Ratio - 0.75:1



Minimum Lot Size

Preliminary Summary

Preliminary Authority Control Information subject to planner and council review and further investigation.

LEP

Zone: R2 Low Density Residential

1 Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To accommodate a diversity of housing forms that respects the amenity, heritage and character of surrounding development and the quality of the environment.

2 Permitted without consent

Environmental protection works; Home occupations

3 Permitted with consent

Boarding houses; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Exhibition homes; Exhibition villages; Flood mitigation works; Group homes; Home-based child care; Hospitals; Neighbourhood shops; Recreation areas; Residential accommodation; Respite day care centres; Roads; Tourist and visitor accommodation

4 Prohibited

Backpackers' accommodation; Hostels; Rural workers' dwellings; Serviced apartments; Any other development not specified in item 2 or 3

4.4 Floor space ratio

(1) The objectives of this clause are as follows:
 (a) to provide an appropriate density of development consistent with the established centres hierarchy,
 (b) to ensure building density, bulk and scale makes a positive contribution towards the desired built form as identified by the established centres hierarchy.

(2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map. (2A) Despite subclause (2), the maximum floor space ratio for a building on land in any zone in this Plan is to be determined as if the area of the access laneway of a battle-axe lot were not part of the area of the lot.

4.3 Height of buildings

(1) The objectives of this clause are as follows:
 (a) to ensure the scale of development makes a positive contribution towards the desired built form, consistent with the established centres hierarchy,
 (b) to allow reasonable daylight access to all developments and the public domain.

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

4.1 Minimum subdivision lot size

(1) The objectives of this clause are as follows:
 (a) to provide subdivision lot sizes that meet community and economic needs, while ensuring that environmental and social values are safeguarded,
 (b) to facilitate greater diversity in housing choice,
 (c) to ensure that lots are of sufficient size to meet user requirements and to facilitate energy efficiency of the future built form,
 (d) to ensure that the subdivision of land in Zone E4 Environmental Living:
 (i) will not prejudice its possible future development for urban purposes or its environmental conservation, and
 (ii) will conserve the rural or bushland character, and the biodiversity values or other conservation values, of the land.

(2) This clause applies to a subdivision of any land shown on the Lot Size Map that requires development consent and that is carried out after the commencement of this Plan. (3) The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the Lot Size Map in relation to that land. (4) This clause does not apply in relation to the subdivision of any land:

(a) by the registration of a strata plan or strata plan of subdivision under the Strata Schemes Development Act 2015, or
 (b) by any kind of subdivision under the Community Land Development Act 1989.

(4A) If a lot is a battle-axe lot or other lot with an access handle, the area of the access handle is not to be included in calculating the lot size for the purposes of subclause (3).

PERMITTED SITE FSR RESIDENTIAL: 7.5:1

SITE HEIGHT LIMIT: 8.5m

SITE AREA: 620.5m²

DCP

B. Front setbacks

Performance criteria

- Setbacks are consistent with the existing or intended local streetscape.
- Garages and carports are integrated into a development and do not dominate the streetscape.
- Setbacks provide suitable space for site landscaping.
- Setbacks provide suitable privacy and amenity for the building occupants.

Acceptable Solutions

The following controls apply to all forms of residential development

- Compliance with the locality specific controls in section 6 of this DCP. Where there are no locality specific controls front setbacks are:
 - In established areas the proposed building is setback the average distance of buildings within 40m either side of the lot on the same primary road (see Figure 1). The setback on a corner lot (secondary road) is 2m.
 - If there is no established building line, the front setback is:

Road Type	Front Setback	
	Zone R2	R3, R4 or B4
Primary road	4.5m	4.5 m
Corner lot (secondary road)	2m	2m
Classified road	As defined in any applicable Environmental Planning Instrument, or if none exists 9m.	

C. Side and rear setbacks

Performance criteria

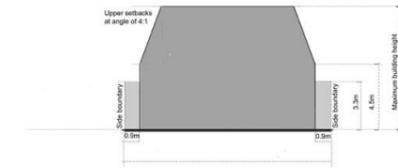
- Development is consistent with and complements the desired built form prevailing in the street and local area.
- Setbacks maintain the amenity and privacy of public spaces and adjoining dwellings and their private open space.
- Significant views from adjoining properties are maintained.
- Sufficient landscape and deep soil areas are provided around the development to conserve existing trees and to accommodate intensive new landscaping.

Acceptable solutions

The following controls apply to all forms of residential development

- Compliance with the locality specific controls in section 6 of the DCP. Where there are no locality specific controls, side and rear setbacks are:
 - In the R2 Low Density Residential Zone:
 - Side setbacks are a minimum of 900mm from each boundary up to a height of 4.5m, then at an angle of 4:1 up to the maximum permitted height under Newcastle Local Environmental Plan 2012 (see Figure 3).
 - Rear setbacks are a minimum of 3m for walls up to 4.5m in height and 6m for walls greater than 4.5m height.

Figure 3: Side setbacks in the R2 Low Density Residential Zone



D. Landscaped Area

Performance criteria

- New development integrates into established streetscapes and neighbourhoods.
- Landscaped areas are sized and located so that the amenity and privacy of adjoining dwellings is maintained.
- Landscaped areas are of usable size and proportions to add value and quality of life for occupants within a development in terms of privacy, outlook, views and recreational opportunities.
- New development respects and incorporates existing established trees and provides appropriate sized places and soil depths for the planting of new medium and large sized trees.

Acceptable solutions

The following controls apply to all forms of residential development

- Landscaped areas are provided as follows:

Zone	Minimum landscaped area (% of site area)	Minimum deep soil zone (% of site area)
R2 zone	30%	15%
R2 zone - Moderate Growth Precinct	25%	12%
R3 zone	25%	12%
R4 and B4 zones	20%	10%

Note: The moderate growth precinct covers areas within a SAFE 5 minute walk of local or neighbourhood centres and is considered suitable for increased residential density. While a wide range of housing is expected to be undertaken, residential flat buildings and multi dwelling housing are encouraged. This precinct also forms a transition between the limited and substantial precincts. Refer to Section 6.13 of the DCP for the Residential Growth Precinct Maps.

Further information about the Residential Growth Precincts and the SAFE criteria can be found in Newcastle Local Planning Strategy www.newcastle.nsw.gov.au

- Landscaped areas have a minimum width of 1.5m and the following items are excluded from the landscaped area calculation:
 - paving wider than 1m, impervious or otherwise
 - structures such as air conditioning units, awnings, decks, patios, garden sheds, hot water systems, LPG storage tanks, water tanks and the like.
- A minimum 25% of the front setback is landscaped area.
- A minimum 3m wide landscaped area is located along the rear boundary.

3.03.03 Amenity

A. Solar and daylight access

Performance criteria

- The number of dwellings receiving sunlight to habitable rooms and private open space is maximised.
- Solar access enables passive solar heating in winter and provides a healthy indoor environment.
- Access to daylight is suited to the function of the room and artificial lighting is minimised.

The following controls apply to all forms of residential development

- The living room and private open space receives a minimum of 2 hours direct sunlight between 9am and 3pm at the winter solstice for:
 - Each dwelling in a dual occupancy or attached dwelling
 - At least 70% of dwellings in all other forms of residential development.
- Direct sunlight is achieved when 1m² of direct sunlight on the glass is achieved for at least 15 minutes. To satisfy 2 hours direct sunlight, 8 periods of 15 minutes will need to be achieved - the periods do not need to be consecutive.
- Every habitable room has a window in an external wall with a total minimum glass area of at least 15% of the floor area of the room.
- Daylight is not borrowed from other rooms, except where a room has a frontage to a classified road.
- No part of a habitable room is more than 8m from a window.
- No part of a kitchen work surface is more than 6m from a window or skylight.
- Courtyards are fully open to the sky, have a minimum dimension of one third of the perimeter wall height and a minimum area of 3m².

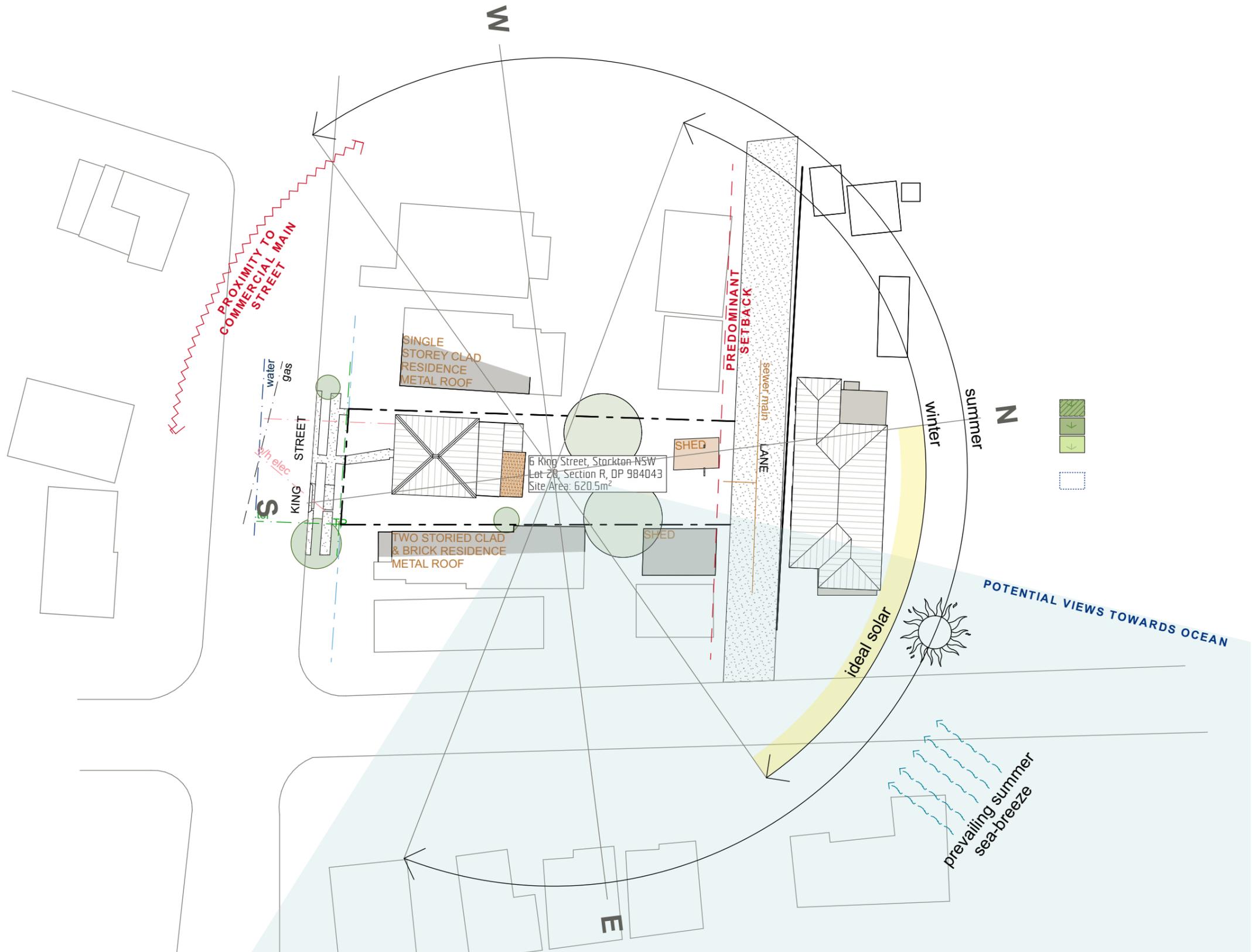
E. Private open space

Performance criteria

- Private open space and balconies are located and sized to enhance residential amenity and liveability.

The following controls apply to all other forms of residential development

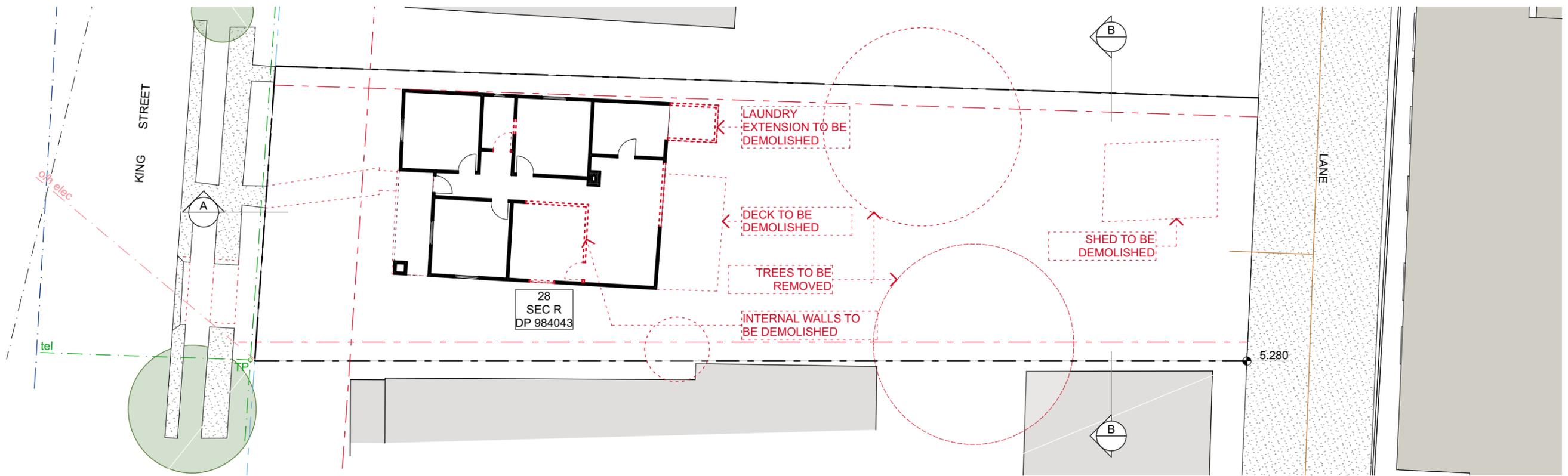
- Compliance with the standards for 'private open space' in State Environmental Planning Policy (Affordable Rental Housing) 2009 for all boarding houses.
- For all other residential development:
 - All dwellings have at least 16m² private open space.
 - The minimum dimension of the included area is 3m, excluding any storage space, rainwater tanks, air-conditioning units or other similar structures.
 - Primary private open space and balconies are located adjacent to the living room, dining room or kitchen.
 - 50% of the minimum required private open space is covered to provide shade and protection from rain.



GENERAL NOTES:
 1. Refer to Survey 36511 TS by NORTH POINT SURVEYS for existing site/lot layout information.

Development Application

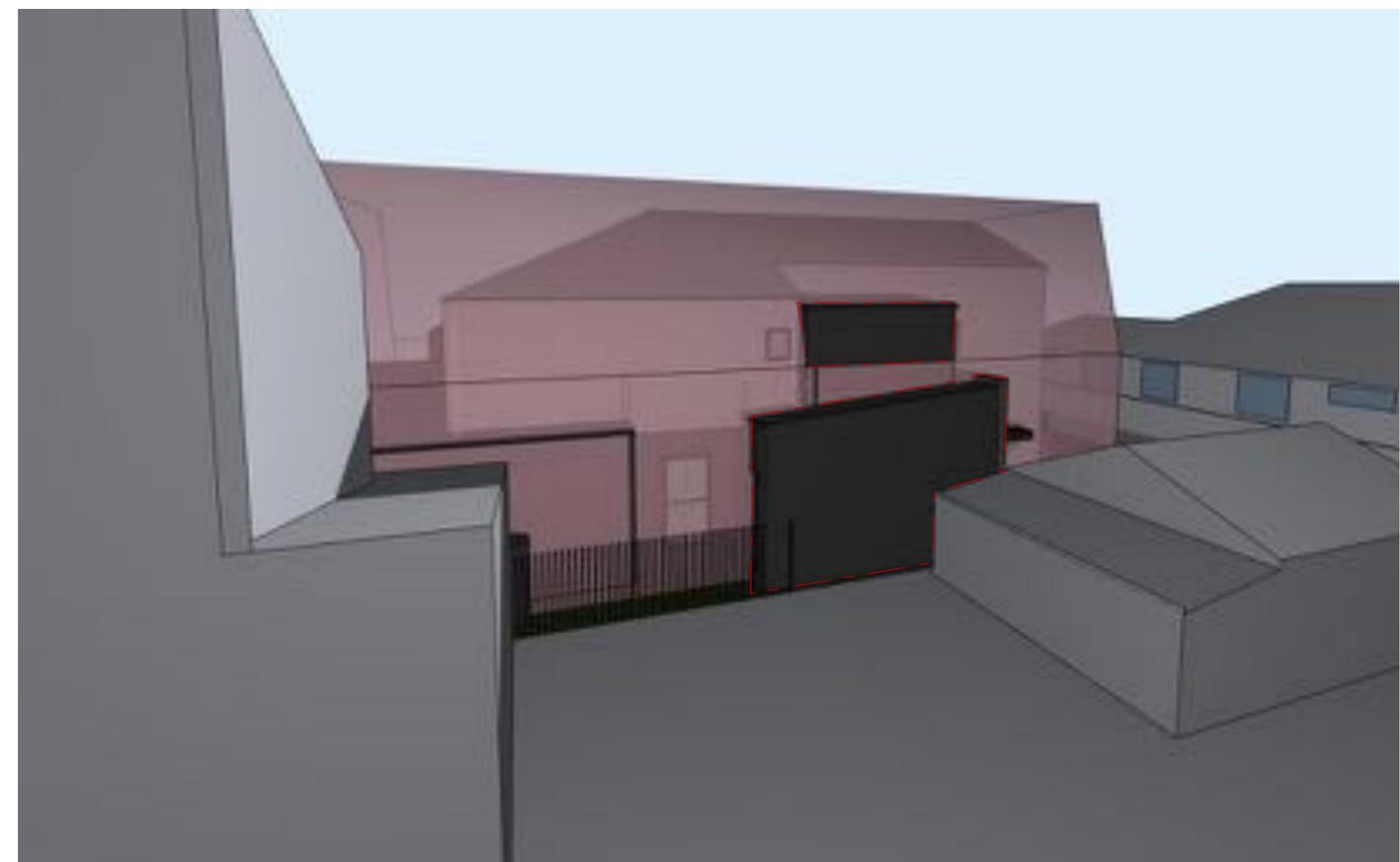
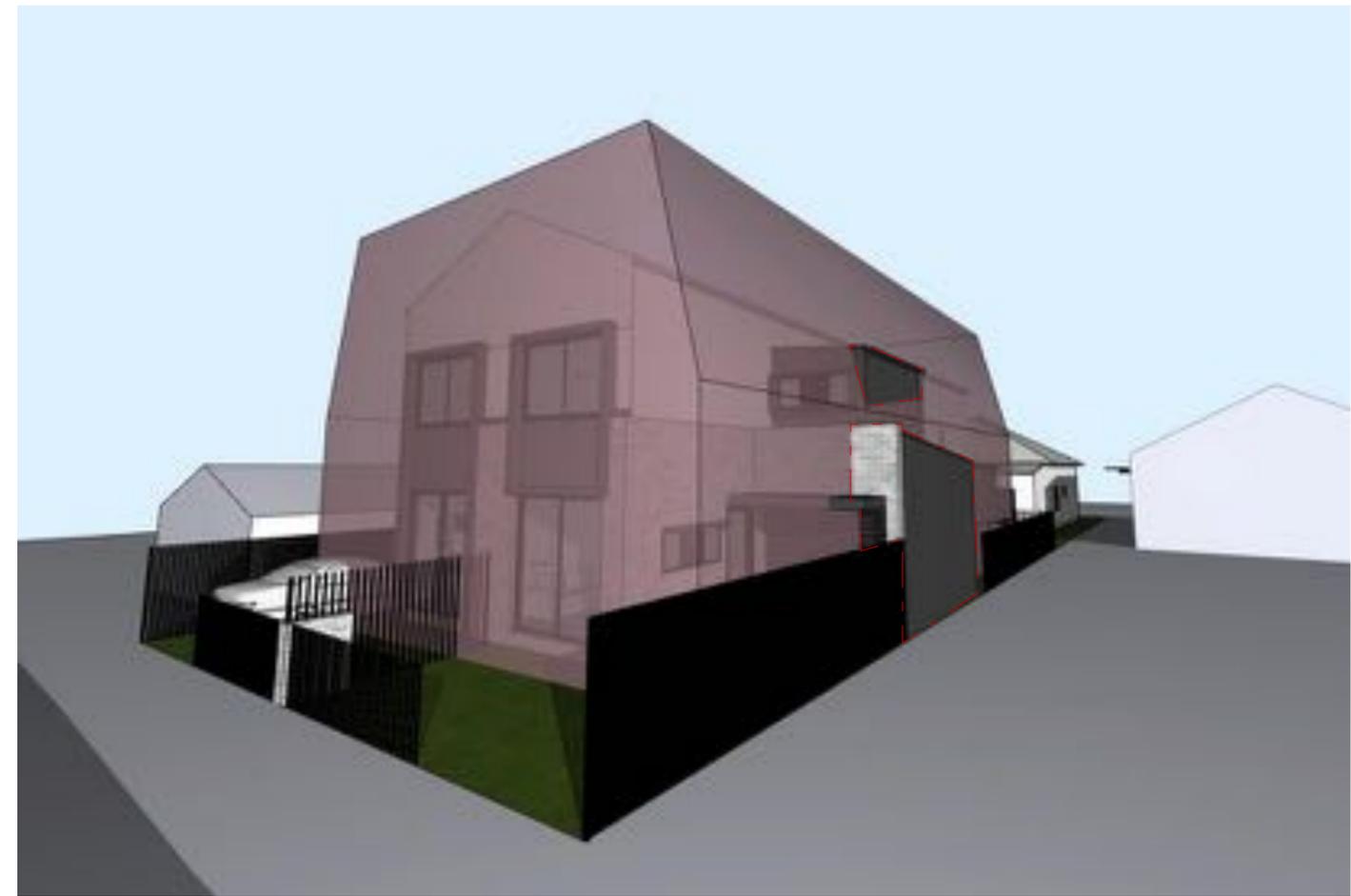
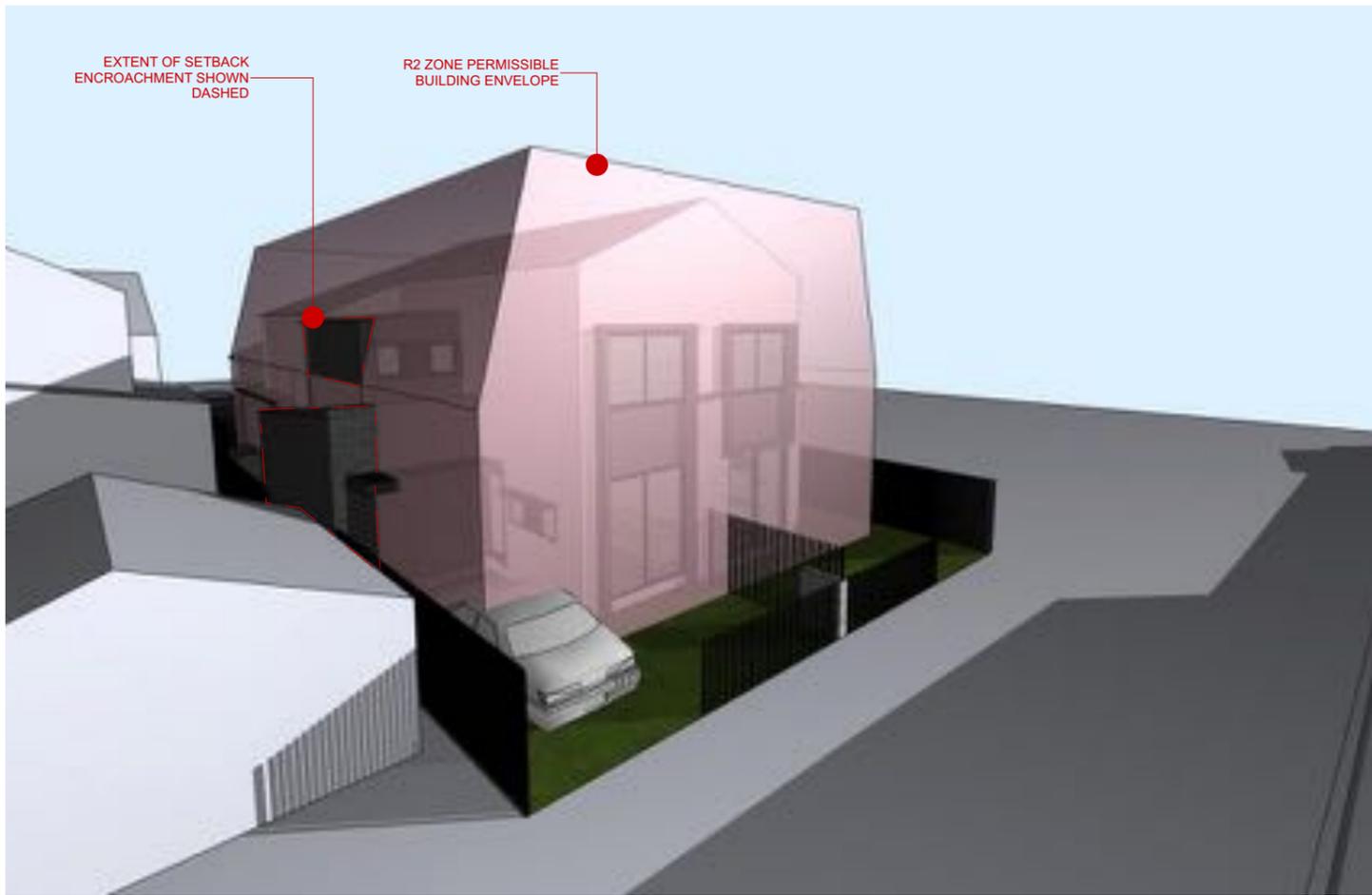


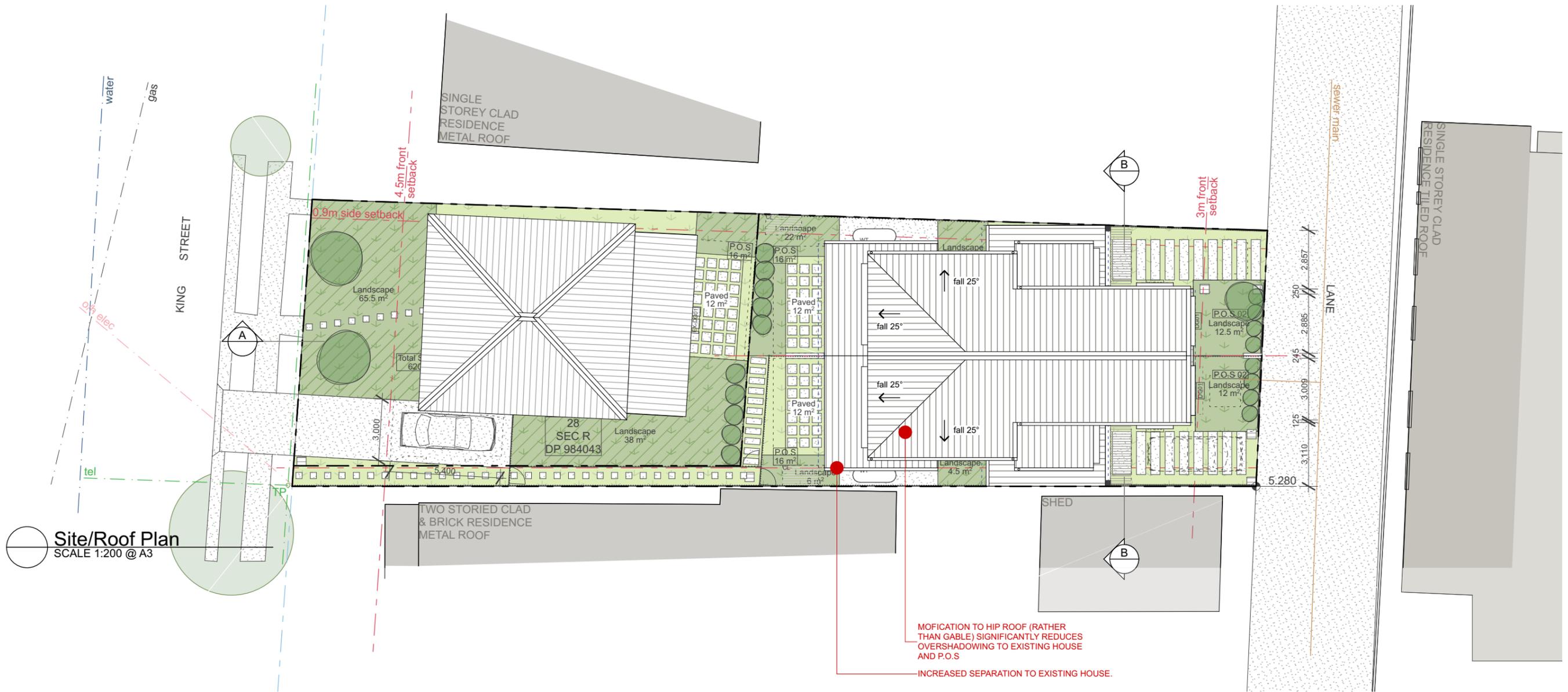


GENERAL NOTES:
 1. Refer to Survey 36511 TS by NORTH POINT SURVEYS for existing site/lot layout information.

Development Application





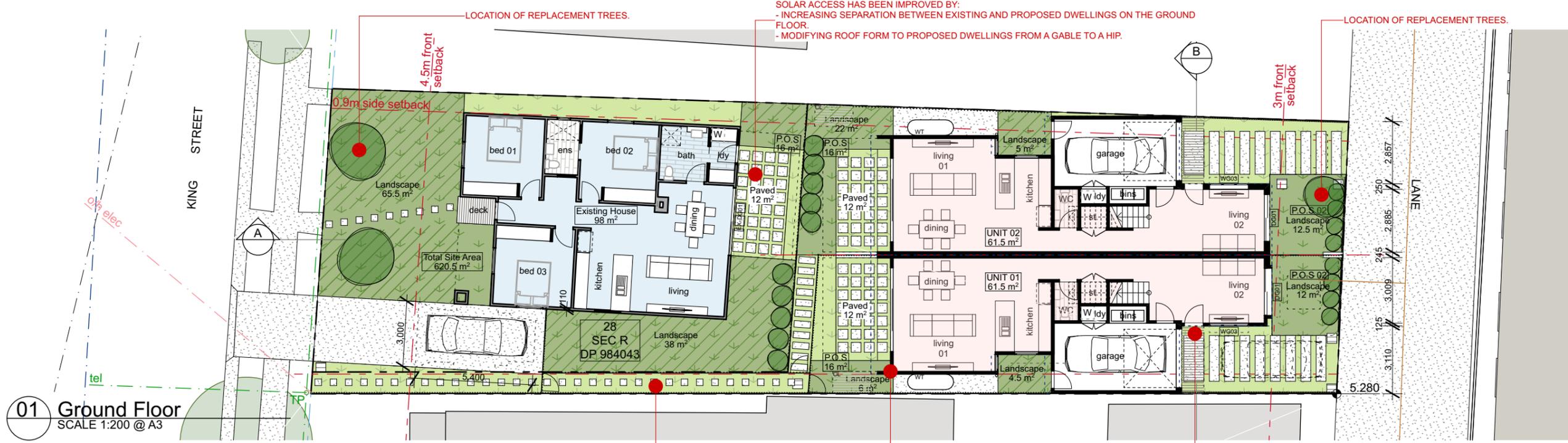


Site/Roof Plan
SCALE 1:200 @ A3

GENERAL NOTES:
1. Refer to Survey 36511 TS by NORTH POINT SURVEYS for existing site/lot layout information.

Development Application

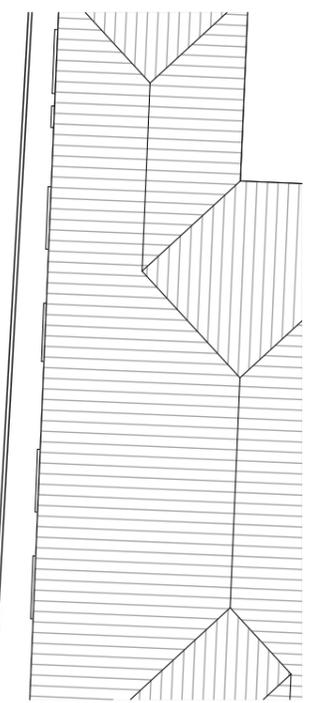
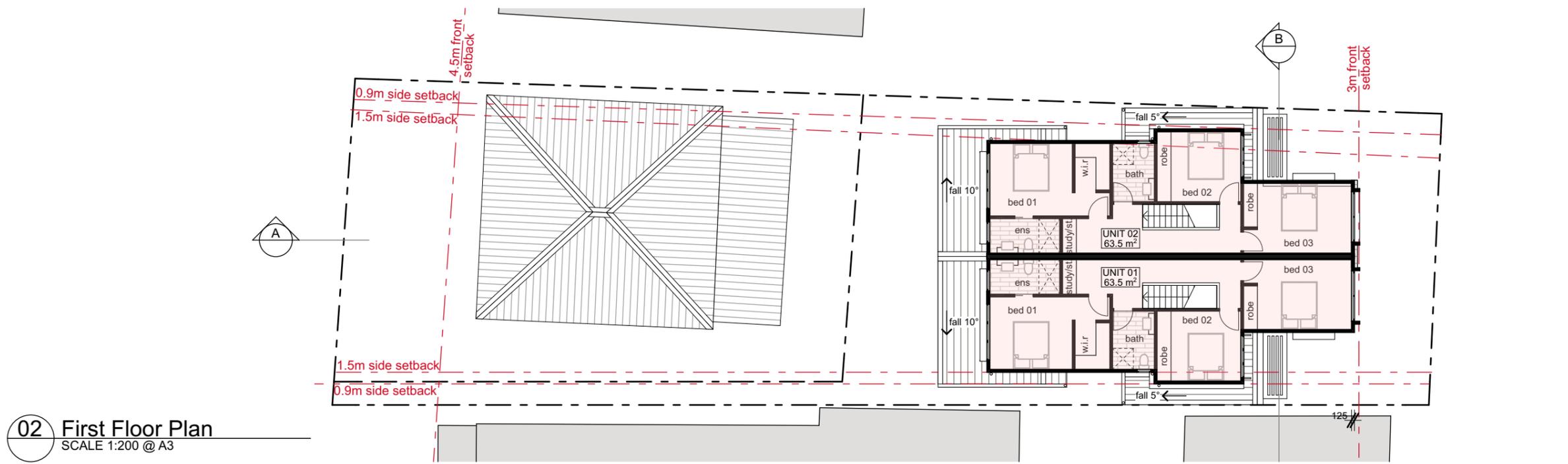




ACCESS HANDLE MODIFIED TO BE SHORTER AND MORE DIRECT ACCESS TO GATES TO EACH DWELLING.

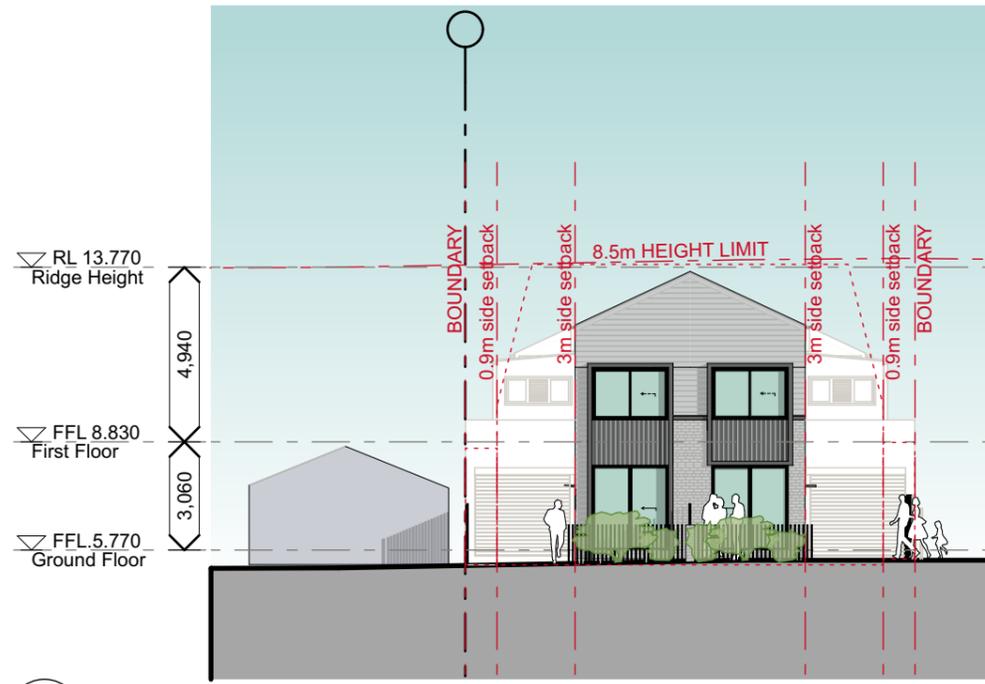
INCREASED SEPARATION FROM EXISTING HOUSE. FOOTPRINT OF EXISTING UNITS SHOWN WITH DASHED BLUE LINE

INCREASED VISIBILITY TO FRONT DOOR FROM THE PUBLIC DOMAIN.

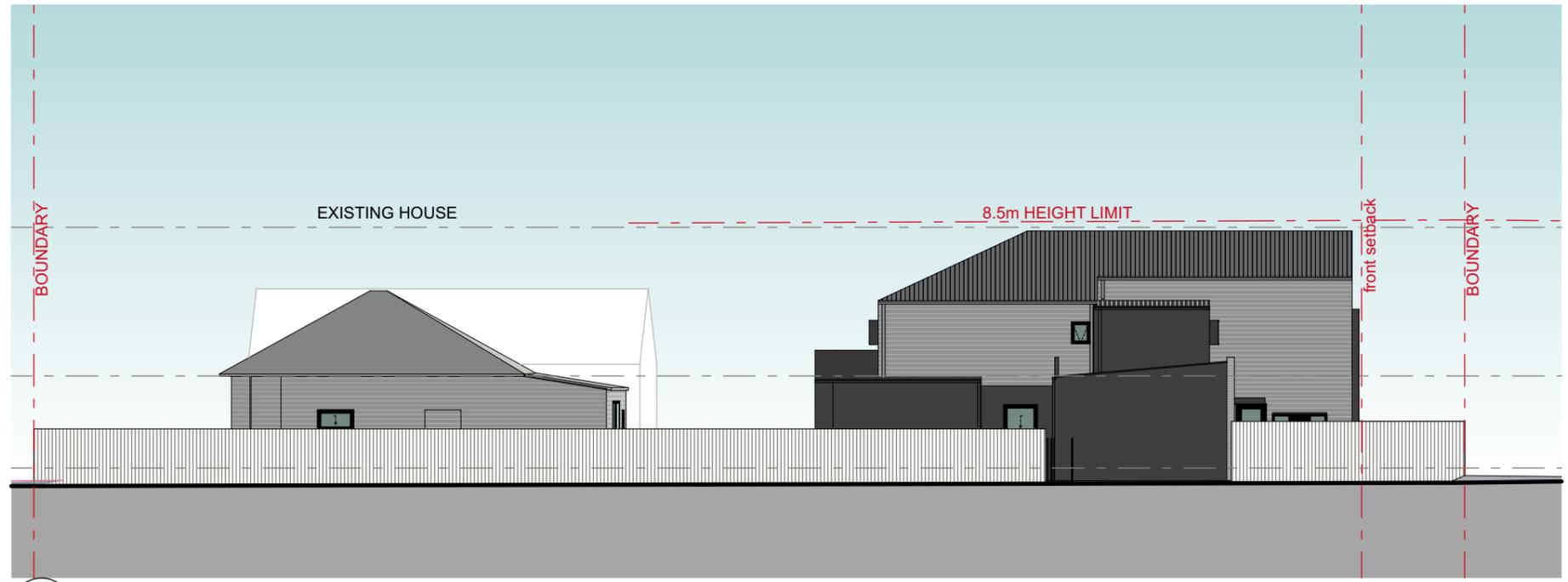


Development Application

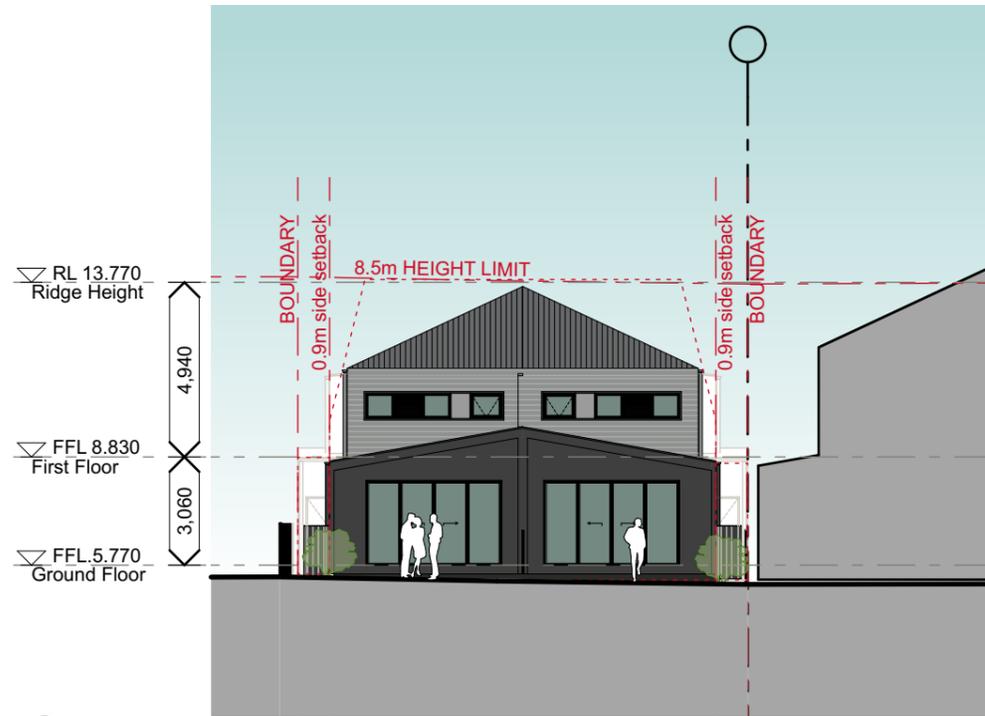




01 North Elevation
SCALE 1:200 @ A3



02 East Elevation
SCALE 1:200 @ A3



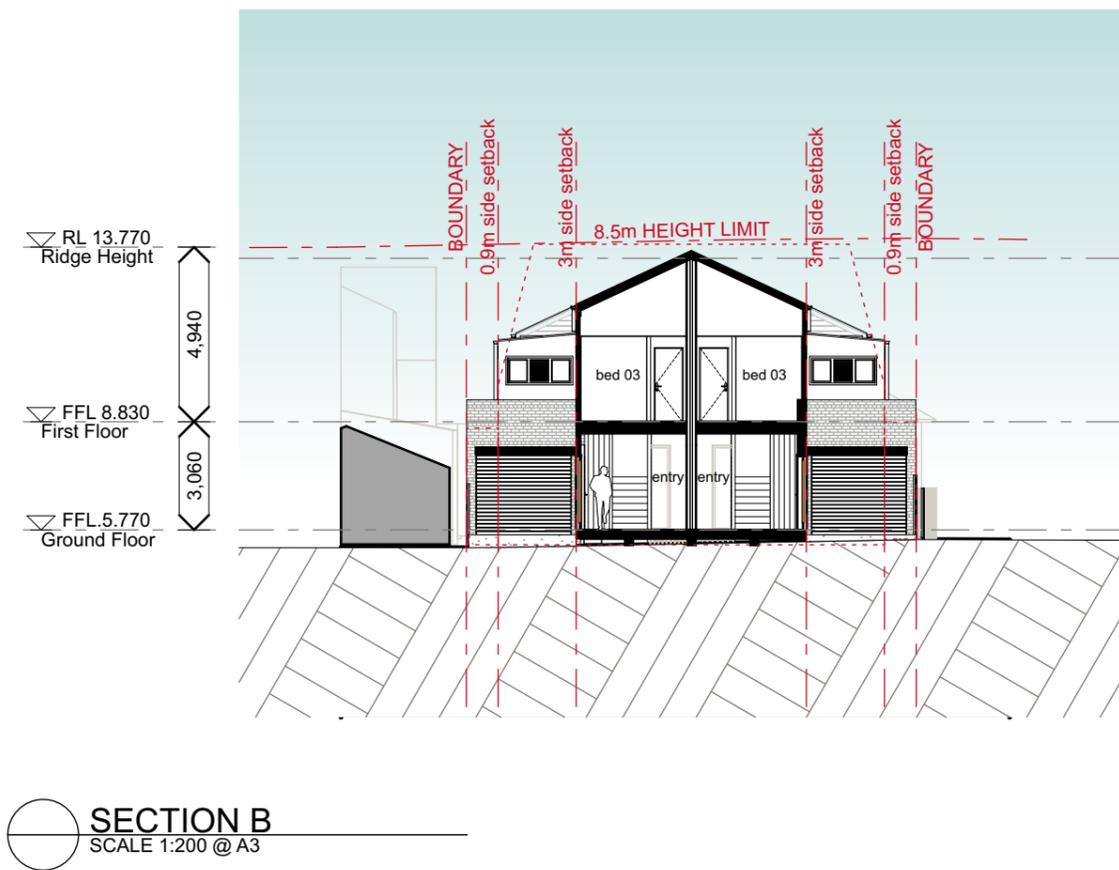
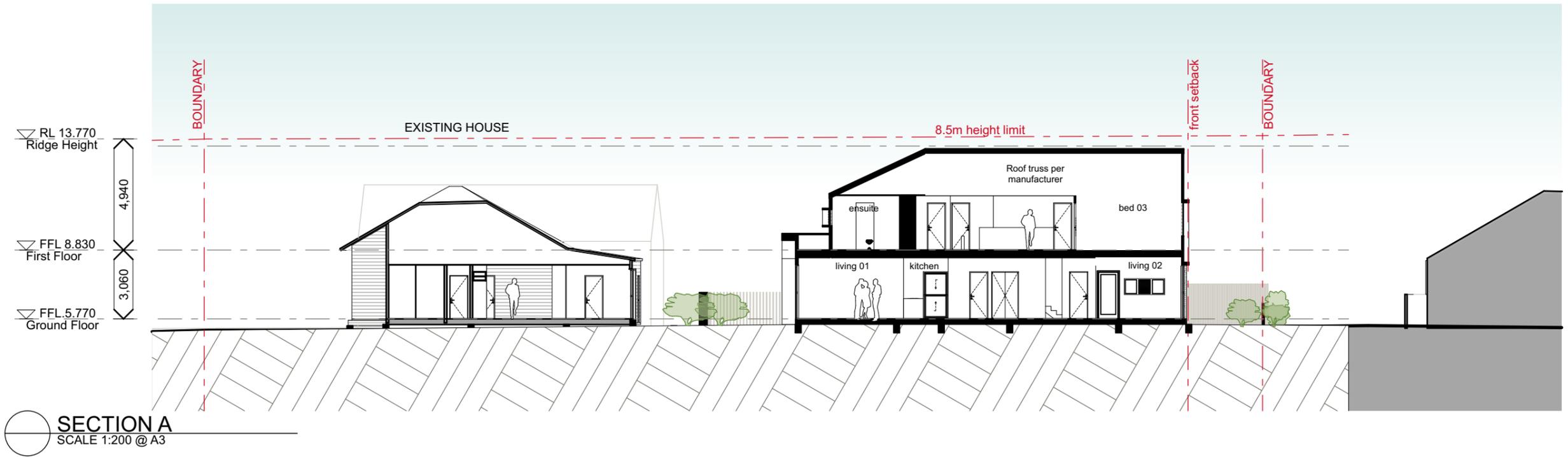
03 South Elevation
SCALE 1:200 @ A3

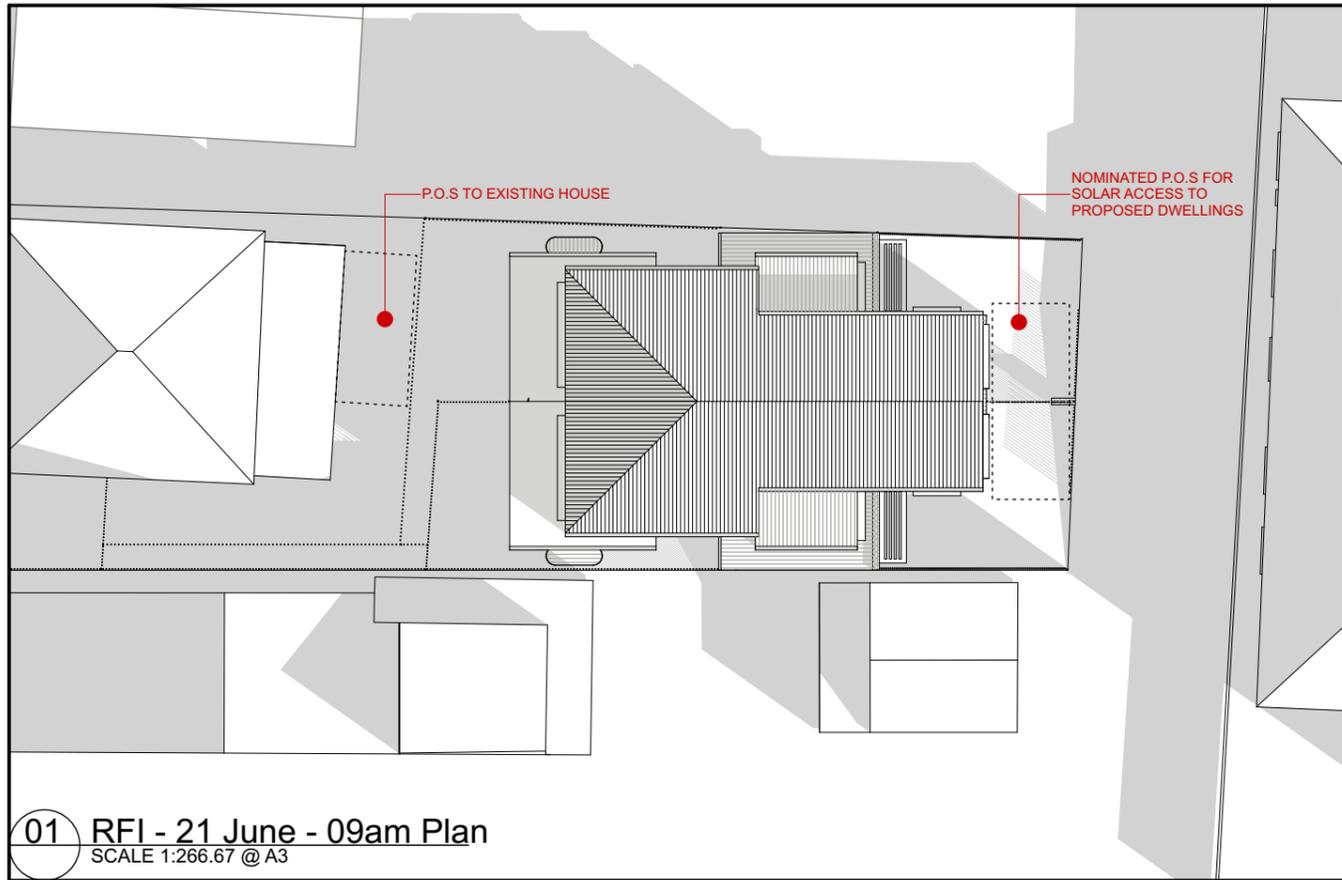


04 West Elevation
SCALE 1:200 @ A3

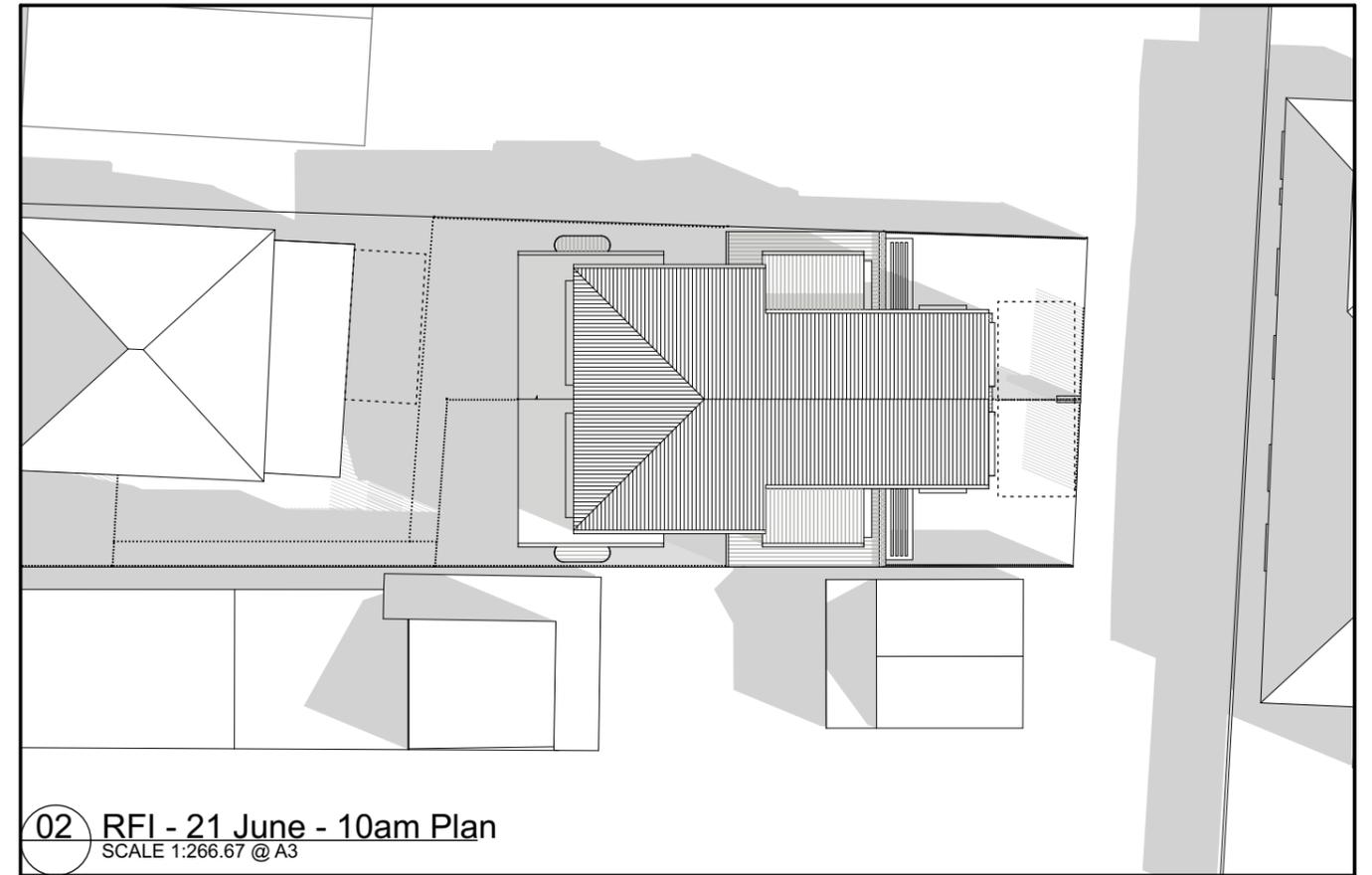
Development Application



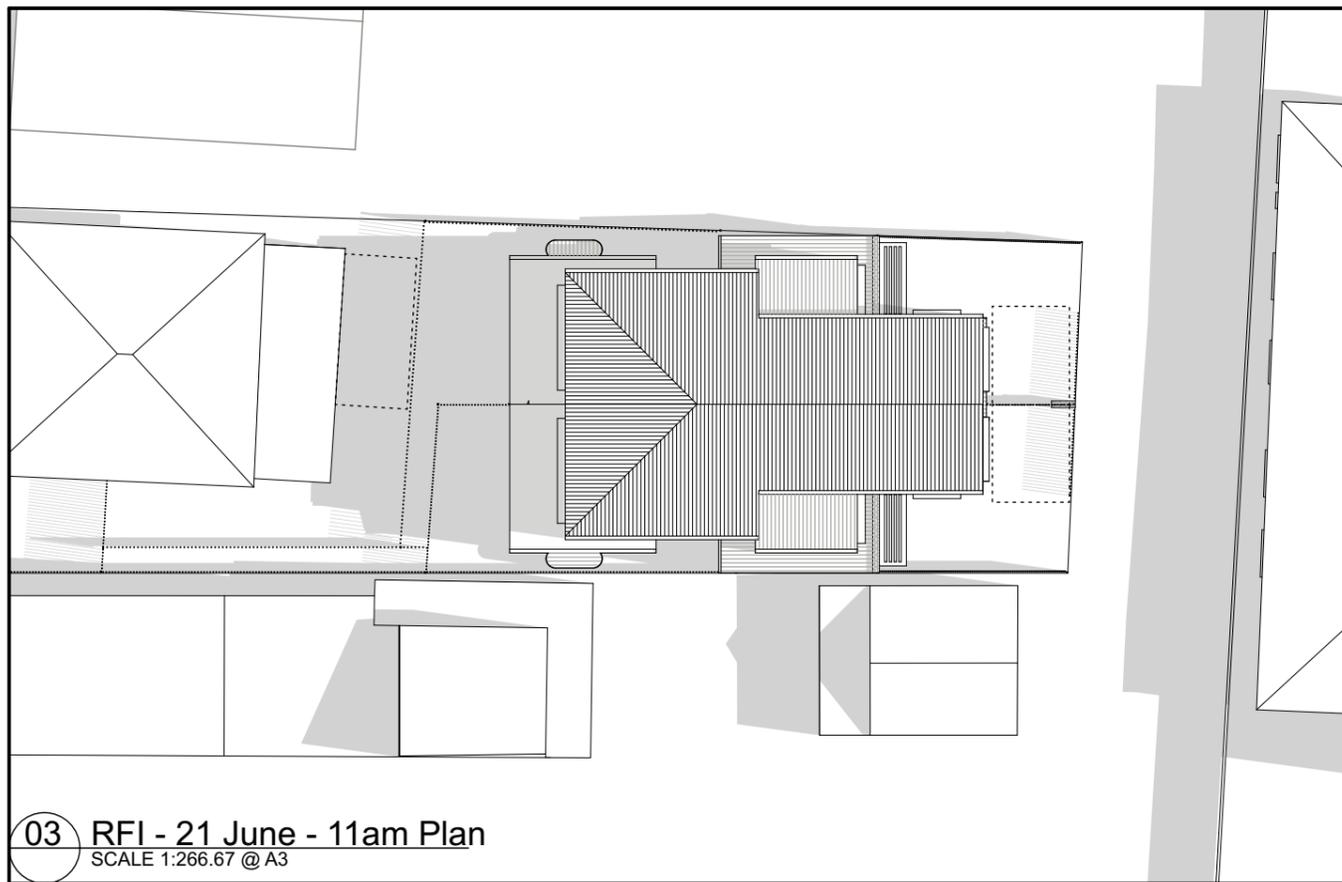




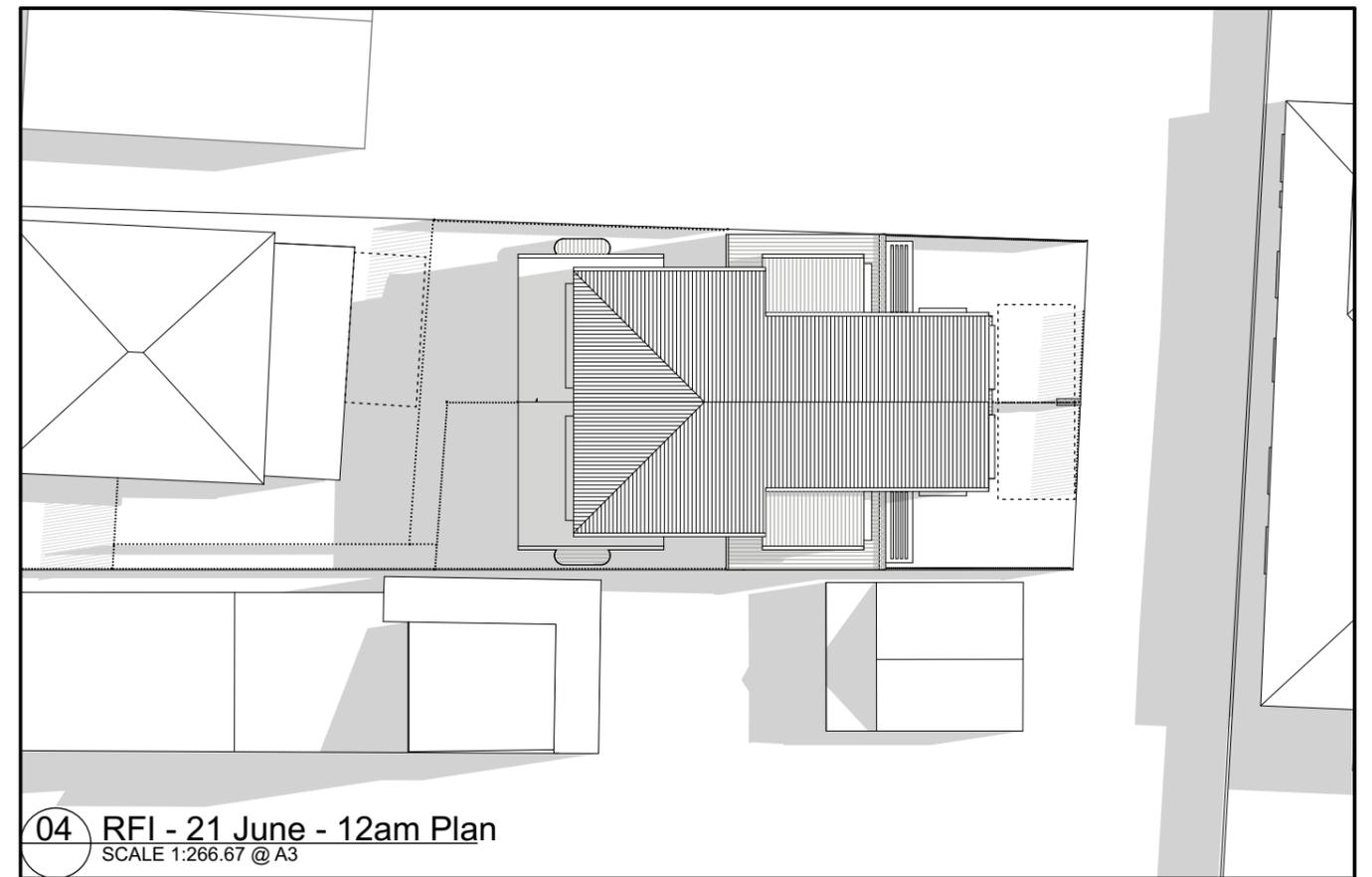
01 RFI - 21 June - 09am Plan
SCALE 1:266.67 @ A3



02 RFI - 21 June - 10am Plan
SCALE 1:266.67 @ A3



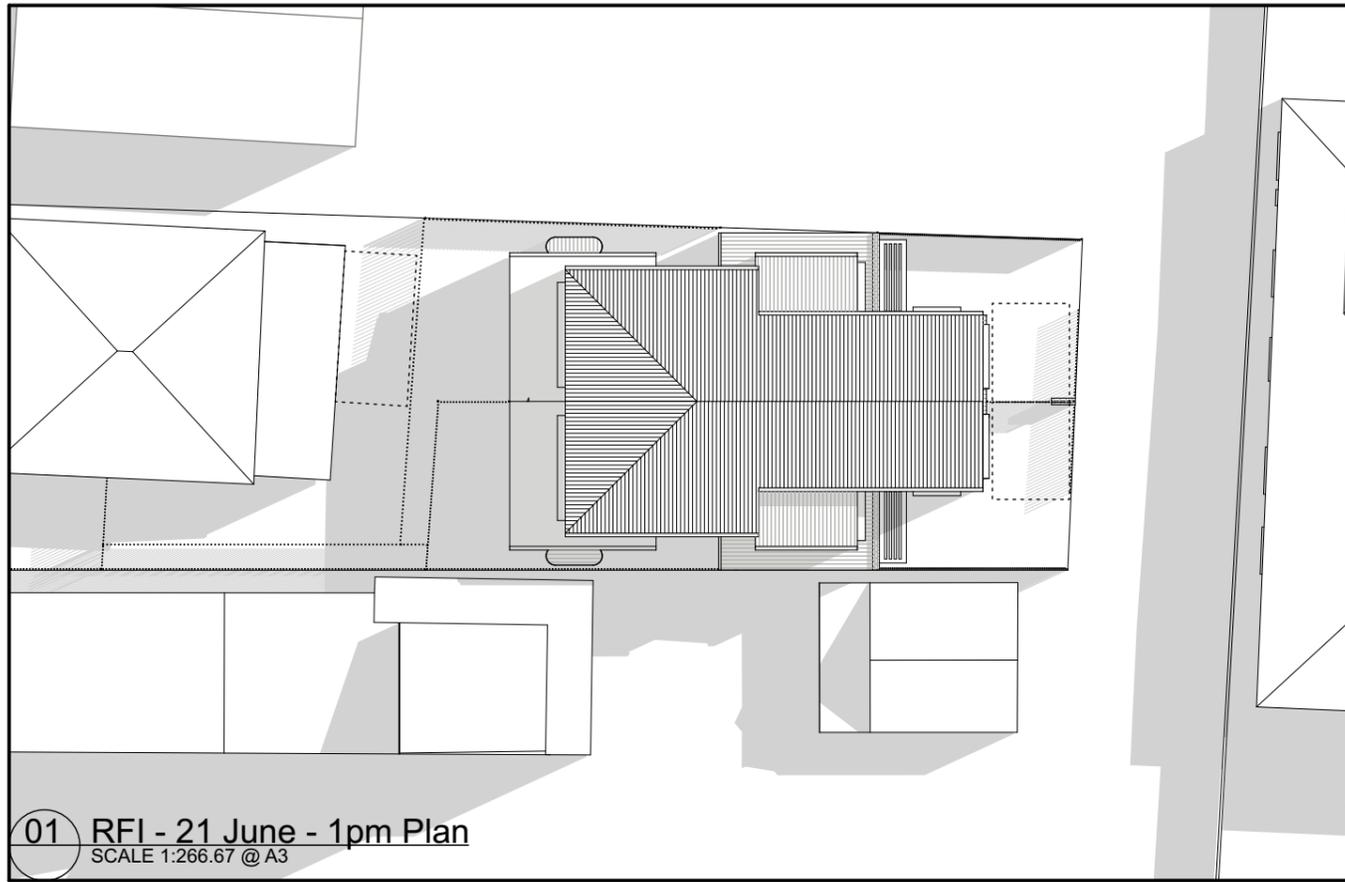
03 RFI - 21 June - 11am Plan
SCALE 1:266.67 @ A3



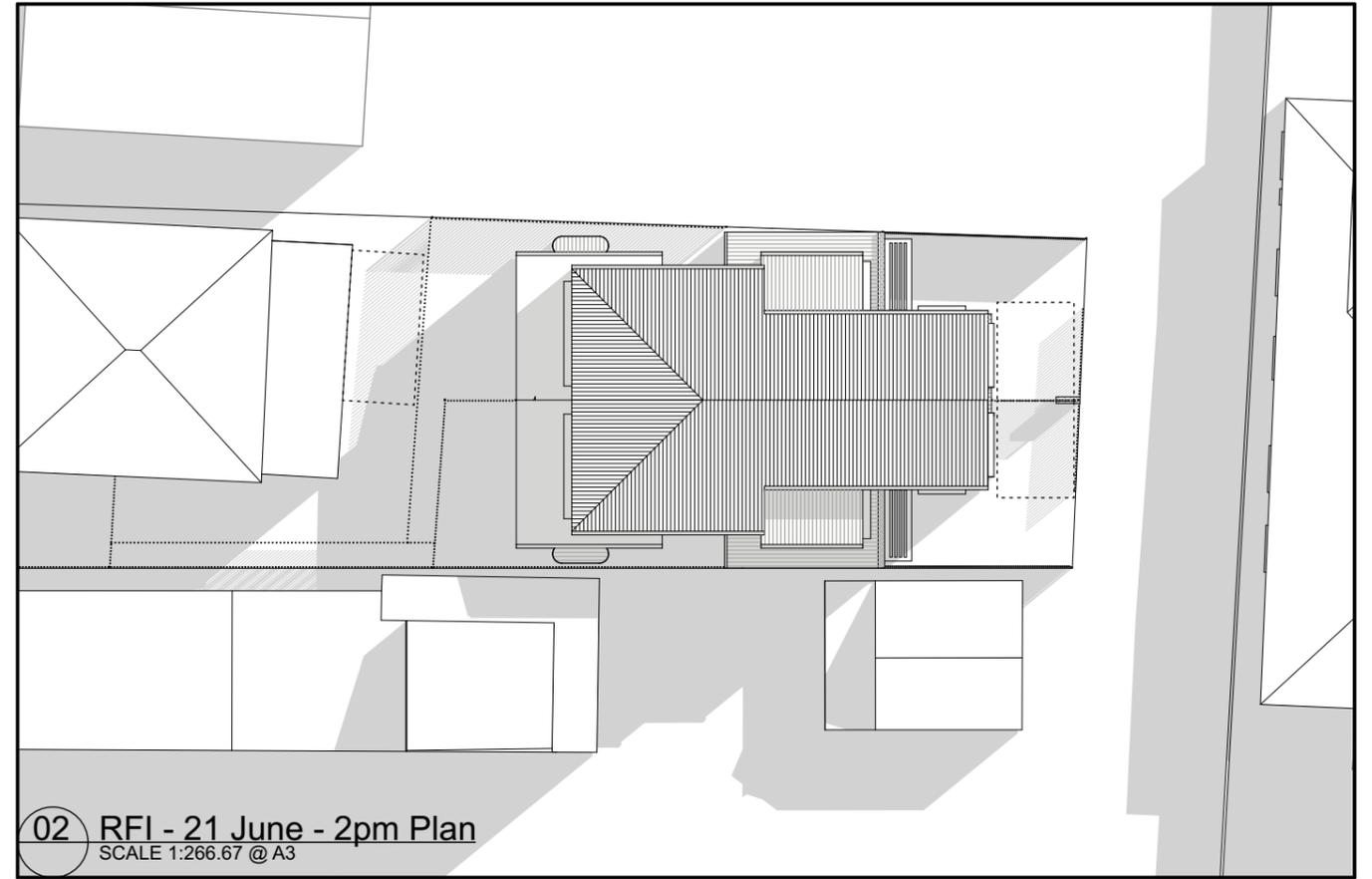
04 RFI - 21 June - 12am Plan
SCALE 1:266.67 @ A3

Development Application

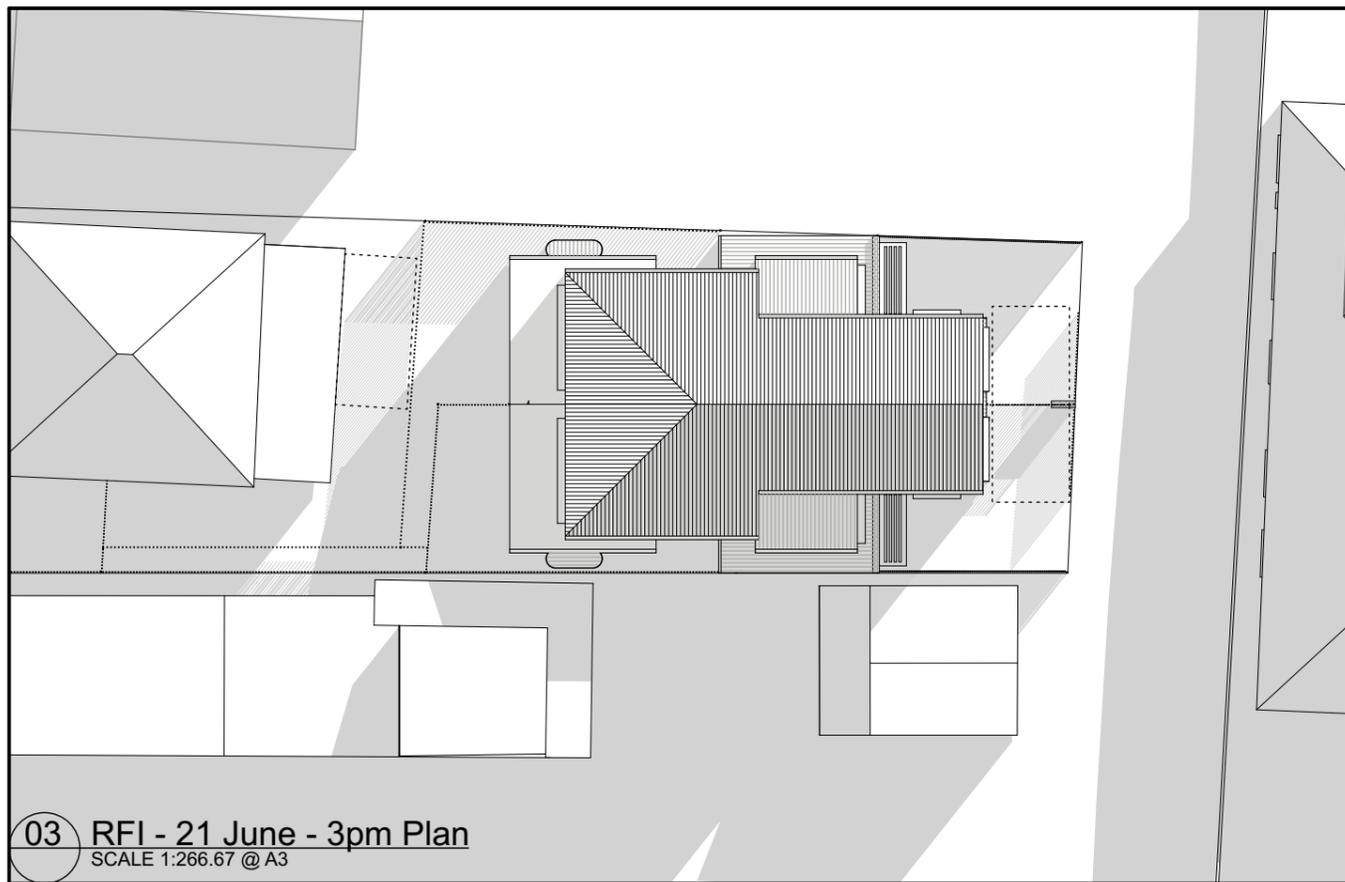




01 RFI - 21 June - 1pm Plan
SCALE 1:266.67 @ A3



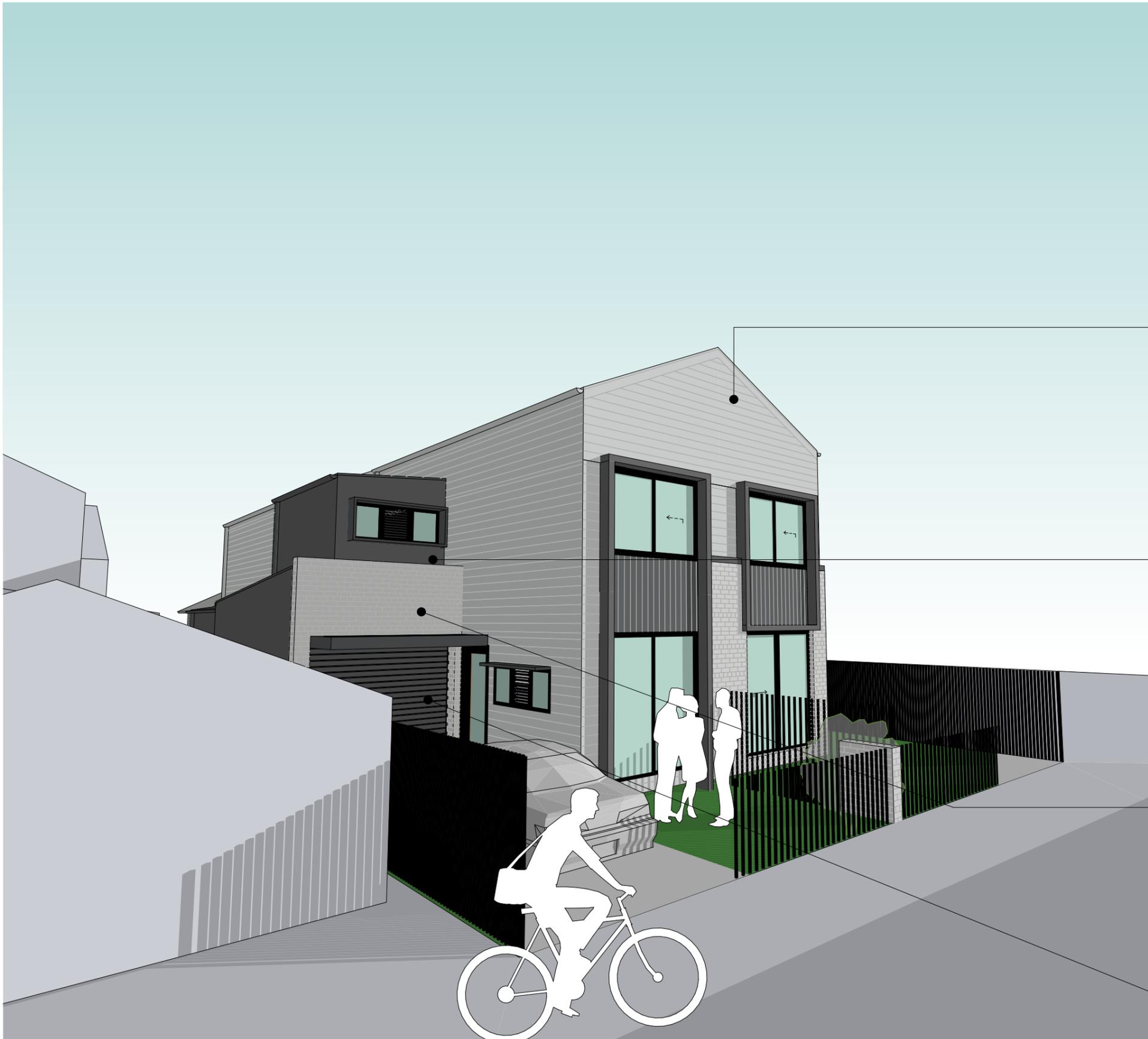
02 RFI - 21 June - 2pm Plan
SCALE 1:266.67 @ A3



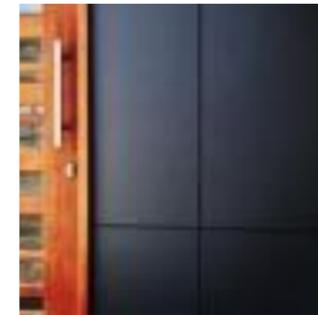
03 RFI - 21 June - 3pm Plan
SCALE 1:266.67 @ A3

Development Application

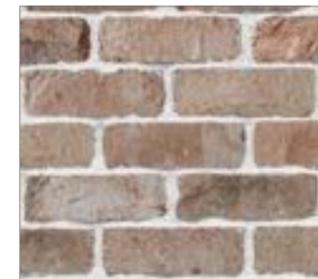




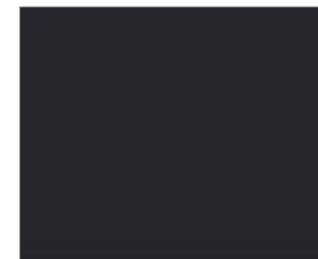
LC1
Lightweight horizontal FC cladding
Colour - Surfmist (or similar)



LC2
SCYON MATRIX CLADDING
Colour - Monument (or similar)



FB
FACE BRICK 'SAN SELMO' -
Colour - Original (or similar)



GD
GARAGE DOOR
Powdercoat - Monument

Development Application



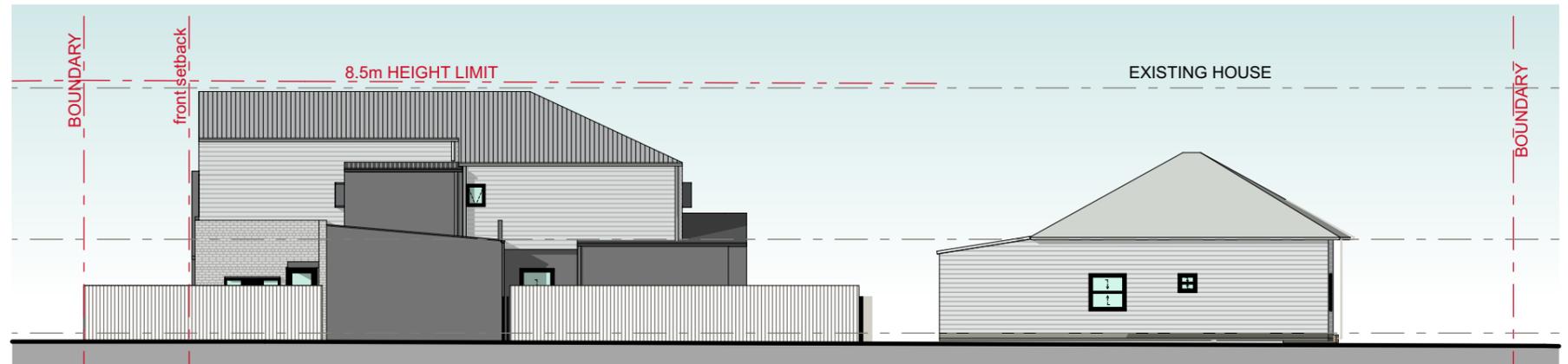




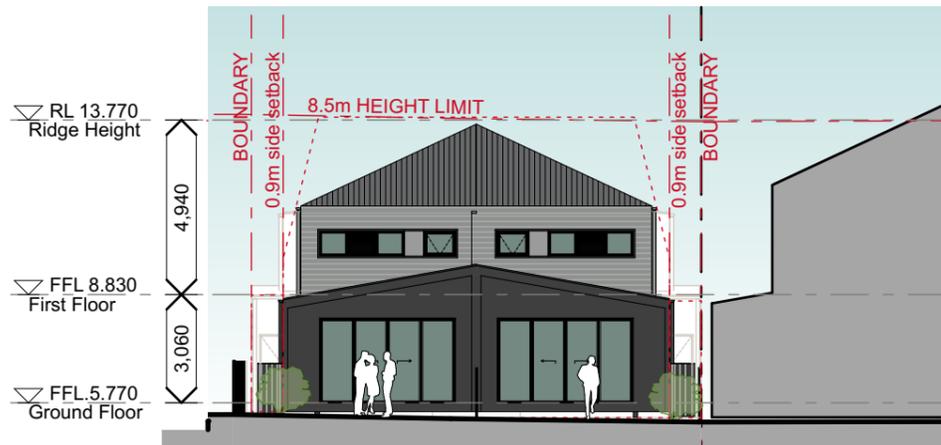
Site Plan - Notification
SCALE 1:200 @ A3



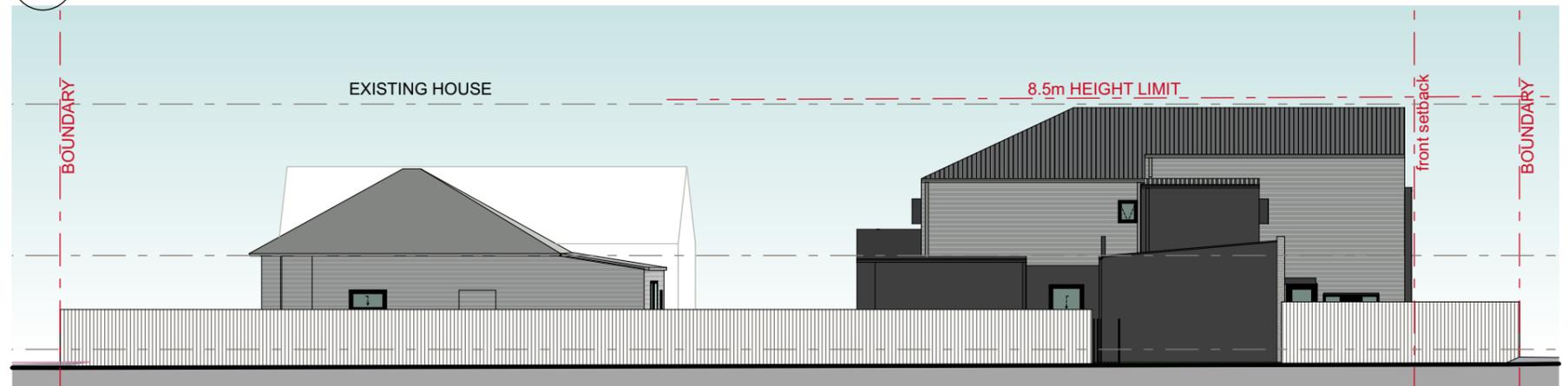
North Elevation - Notification
SCALE 1:200 @ A3



West Elevation - Notification
SCALE 1:200 @ A3



South Elevation - Notification
SCALE 1:200 @ A3



East Elevation - Notification
SCALE 1:200 @ A3

Development Application



UNIT 01

DOOR AND FRAME SCHEDULE			
MARK	DOOR		View from Side Opposite...
	SIZE		
	W	HT	
DG01	2,170	2,400	
DG02	920	2,100	
DG03	3,850	2,400	
W101	1,800	710	
W101	2,170	1,480	
W102	600	710	
W103	2,400	710	
W104	900	710	
WG01	1,108	2,100	
WG02	775	2,100	
WG03	1,800	710	

UNIT 02

DOOR AND FRAME SCHEDULE			
MARK	DOOR		View from Side Opposite...
	SIZE		
	W	HT	
DG01	2,170	2,400	
DG02	920	2,100	
DG03	3,850	2,400	
W101	1,800	710	
W101	2,170	1,480	
W102	600	710	
W103	2,400	710	
W104	900	710	
WG01	1,108	2,100	
WG02	775	2,100	
WG03	1,800	710	

EXISTING HOUSE

DOOR AND FRAME SCHEDULE			
MARK	DOOR		View from Side Opposite...
	SIZE		
	W	HT	
EX-DG01	3,100	2,400	



PUBLIC VOICE COMMITTEE MEETING

21 APRIL 2020

PV 21/04/2020

DA2019/00852 - 6 KING STREET STOCKTON

Attachment B: Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER

PROCESSING CHRONOLOGY

DA2019/00852 – 6 King Street, Stockton

12 August 2019	Application lodged
15 August – 2 September 2019	Public Notification
21 April 2020	Public Voice Committee