

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

ITEM-6 **DAC 18/06/19 - DA2018/00851 - 2 PARNELL PLACE, NEWCASTLE EAST -
ALTERATIONS AND ADDITIONS TO DWELLING**

Attachment A Submitted Plans - 2 Parnell Place Newcastle East

ITEM-7 **DAC 18/06/19 - DA2016/00982.01 - 70 AND 72 BLUE GUM ROAD, JESMOND -
MODIFICATION TO MULTIPLE DWELLING HOUSING (42 DWELLINGS)**

Attachment A Submitted Plans - 70 & 72 Blue Gum Road Jesmond

ITEM-8 **DAC 18/06/19 - DA2018/00968 - 37 ALFRED STREET, NEWCASTLE EAST -
ALTERATIONS AND ADDITIONS TO DWELLING**

Attachment A Submitted Plans - 37 Alfred Street Newcastle East

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

18 June 2019

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

REPORTS BY COUNCIL OFFICERS

Attachment A - Plans

DA2018/00851- 2 Parnell Place Newcastle East

Alterations and additions to dwelling

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Alterations and
Additions
17008





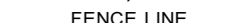

2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965 | Development Application

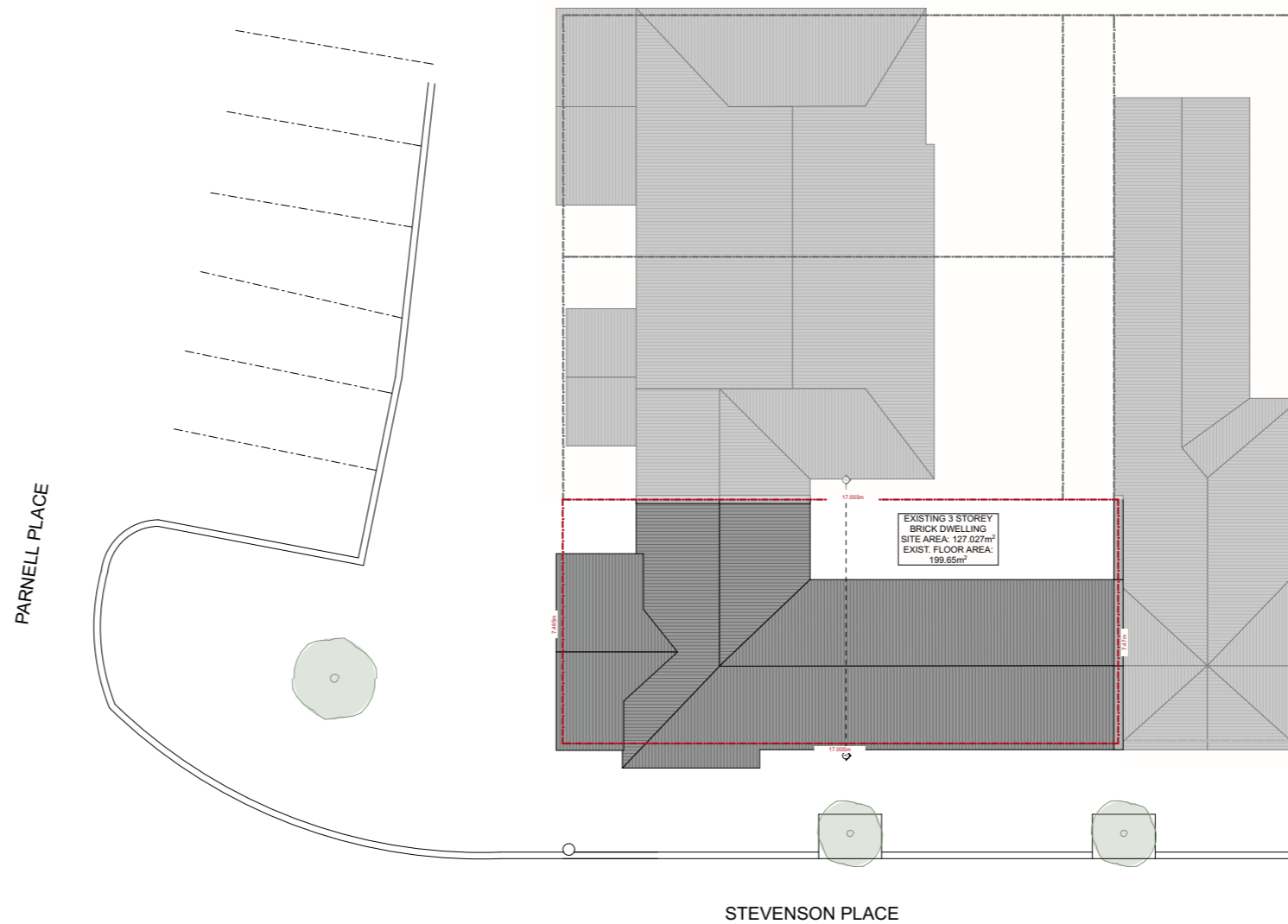
Cover Sheet	DA00
Existing Site Plan	DA01
Existing Floor Plans	DA02
Existing First Floor and Roof Plans	DA03
Existing Elevations	DA04
Proposed Site/Roof Plan	DA05
Proposed Basement Floor Plan	DA06
Proposed Ground Floor Plan	DA07
Proposed First Floor Plan	DA08
Proposed Elevation and Section	DA09
Proposed Elevations	DA10
Proposed Elevation and Section	DA11
Erosion and Sediment Control	DA12
Notification Plans	DA13
BASIX Requirements	DA14
Stevenson Place Gable	DA15
Stevenson Place Gable	DA15





Legend:

-  EXISTING TREES TO BE RETAINED
-  OVERHEAD ELECTRICITY
-  BOUNDARY
-  SEWER MAIN
-  FENCE LINE
-  WATER MAIN



Notes:

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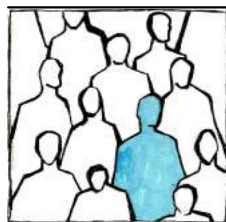
01

EXISTING SITE PLAN

1:200

Amendments:

Revision: D 13.03.19



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Project Number:
17008

Project Name:
Alterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

Proprietor:
Peter and Gail Cornish

Drawing:

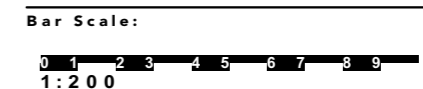
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Scale: 1:200 @ A3

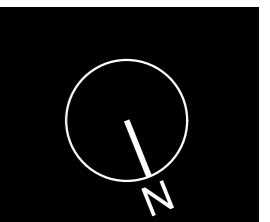
Status: Development Application

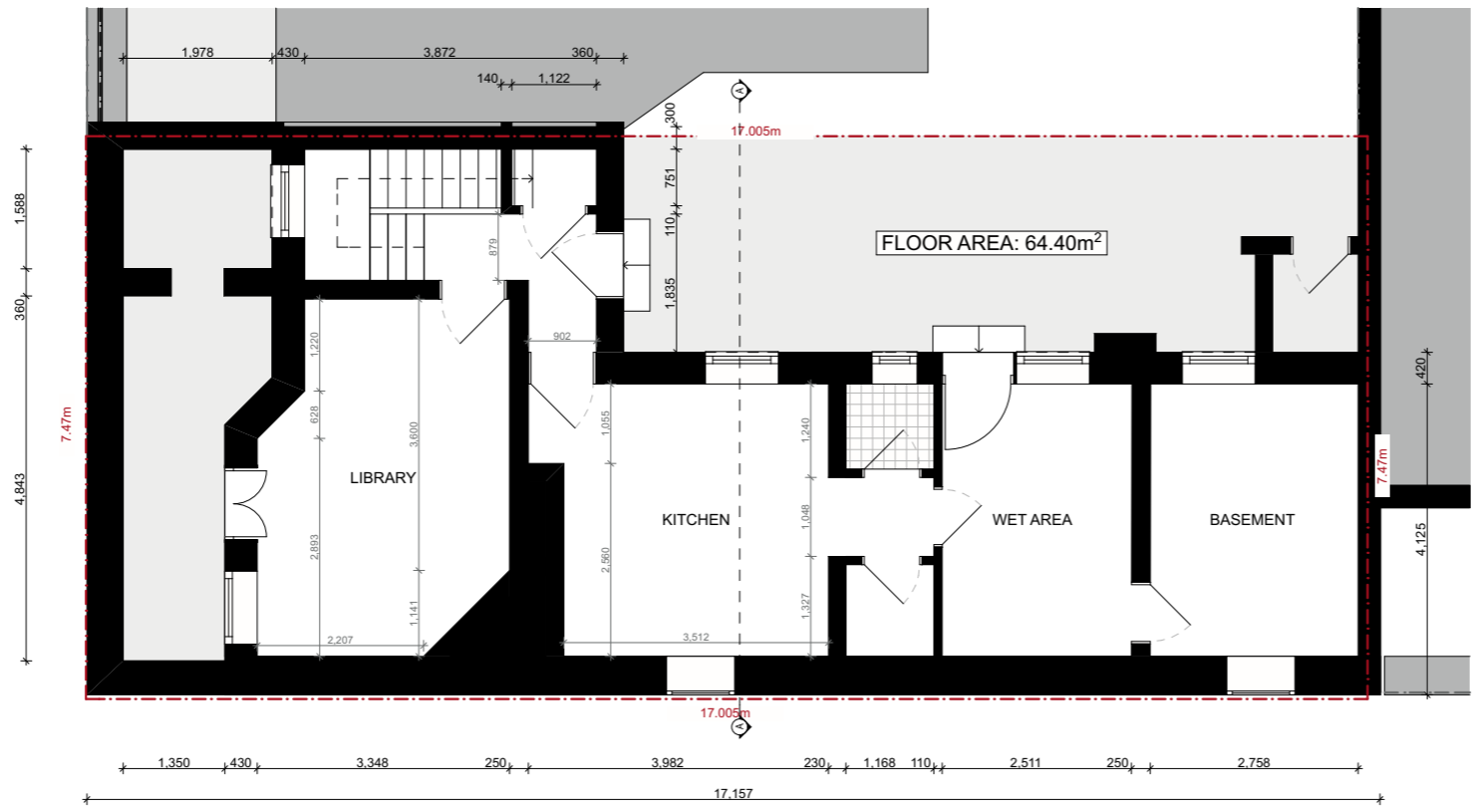
Drawn Date: Monday, 7 May 2018

Plot Date: Wednesday, 13 March 2019



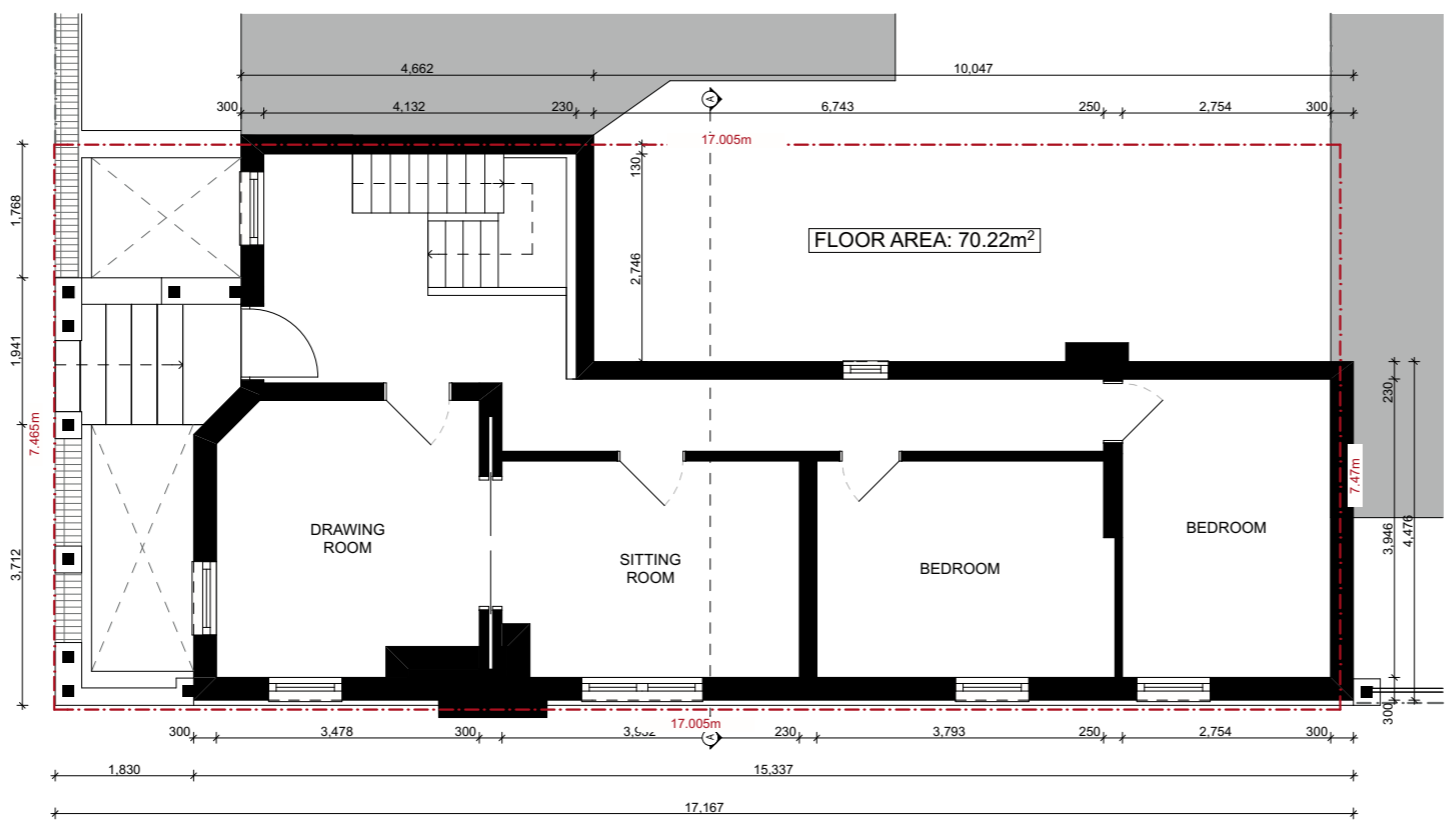
Drawing No: DA01
 Drawn By: JP





EXISTING BASEMENT PLAN

1:100



EXISTING FLOOR PLAN

1:100

Notes:

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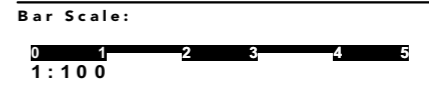
Project Number:
17 00 8

Project Name:
Aterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

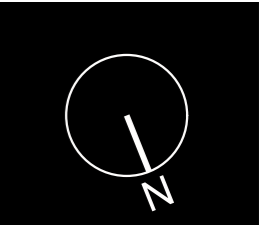
Proprietor:
Peter and Gail Cornish

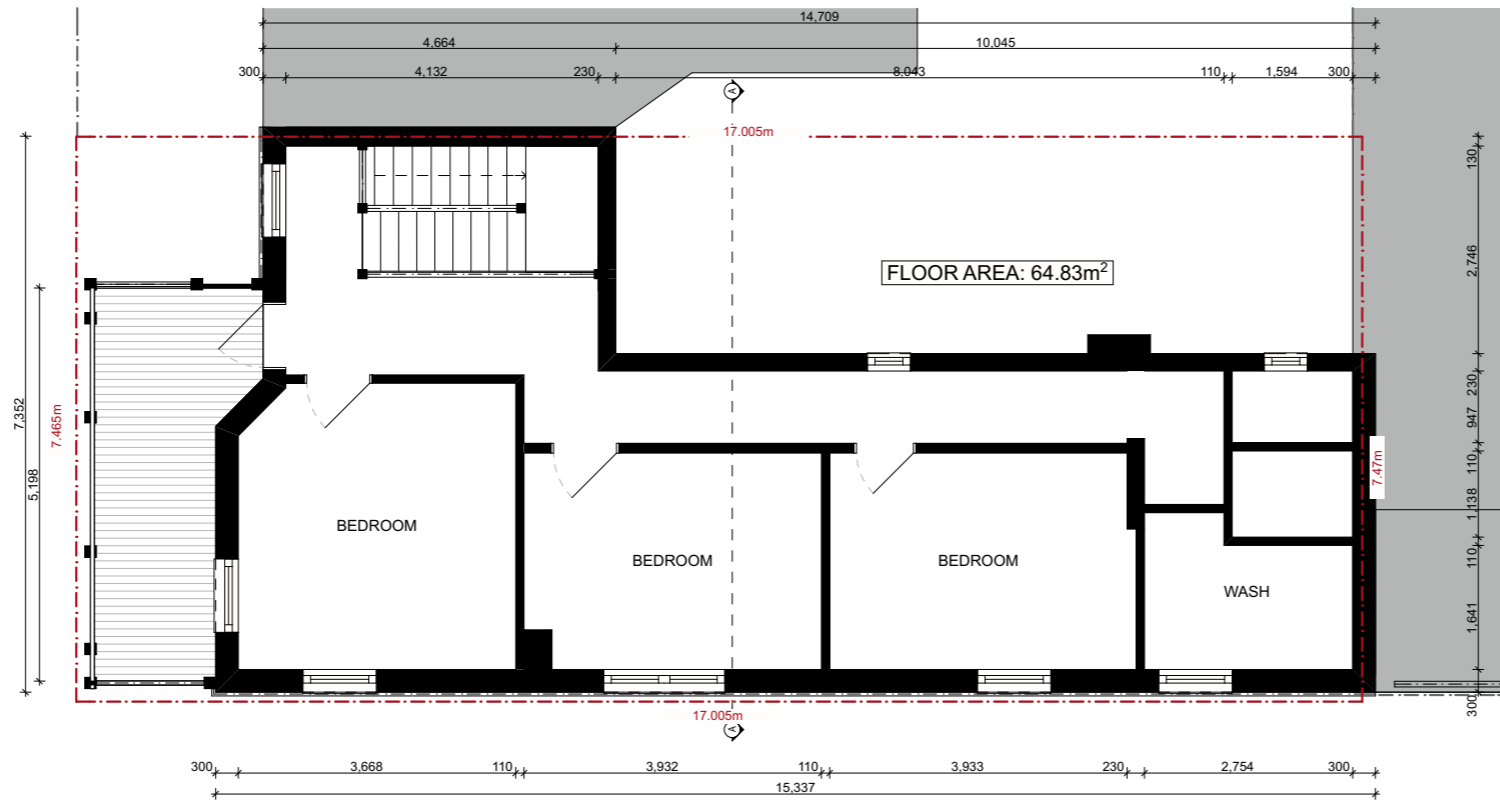
Drawing:

Title: Existing Floor Plans
 Scale: 1:100 @ A3
 Status: Development Application
 Drawn Date: Monday, 7 May 2018
 Plot Date: Wednesday, 13 March 2019

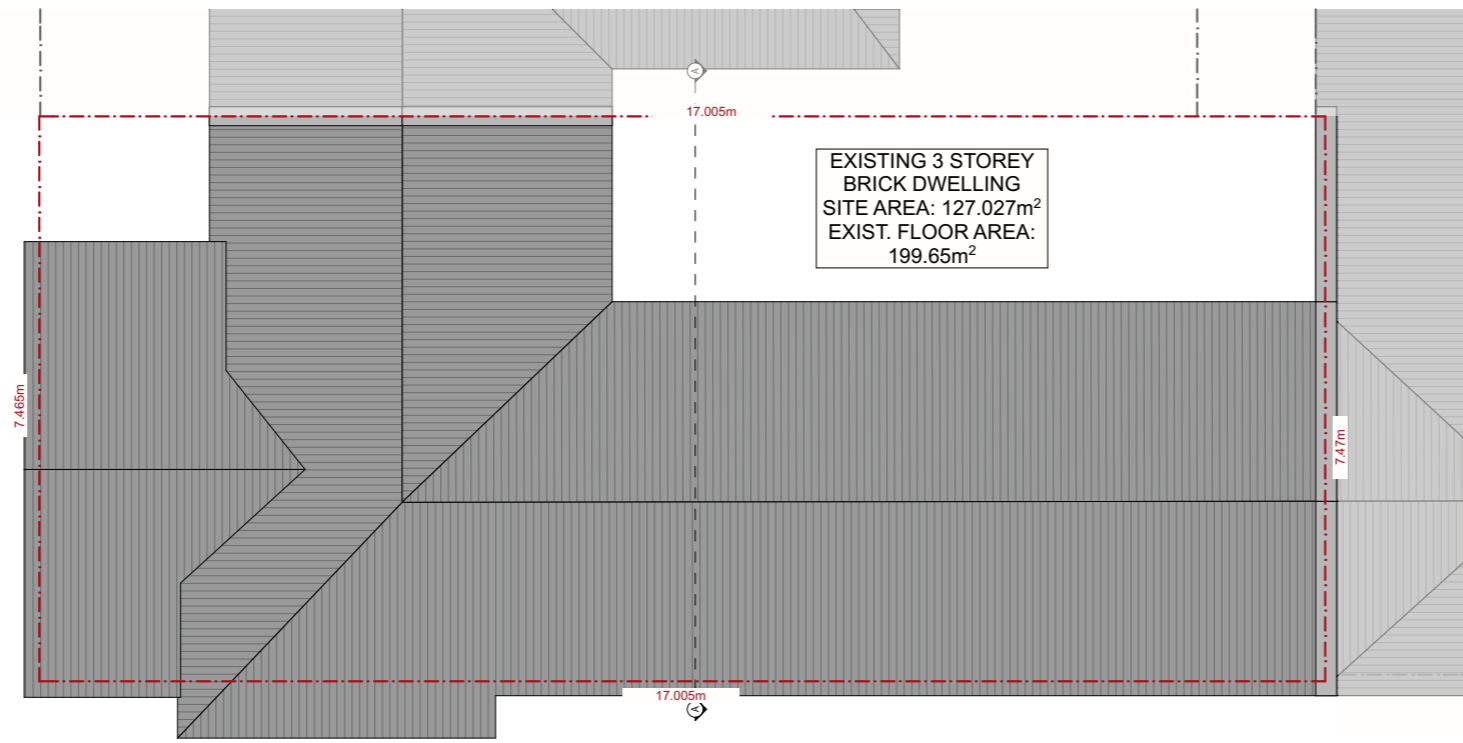


Drawing No: DA 02
 Drawn By: JP





1 EXISTING FIRST FLOOR PLAN 1:100



2 EXISTING ROOF PLAN 1:100

Notes:

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Project Name:
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Lot 5 / DP13965

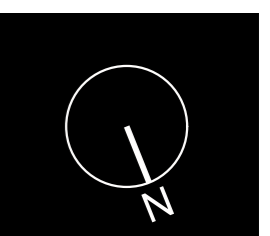
Proprietor:
Peter and Gail Cornish

Drawing:

Title: Existing First Floor and Roof Plans
 Scale: 1:100 @ A3
 Status: Development Application
 Drawn Date: Monday, 7 May 2018
 Plot Date: Wednesday, 13 March 2019

Bar Scale:
 0 1 2 3 4 5
 1:100

Drawing No: DA 03
 Drawn By: JP





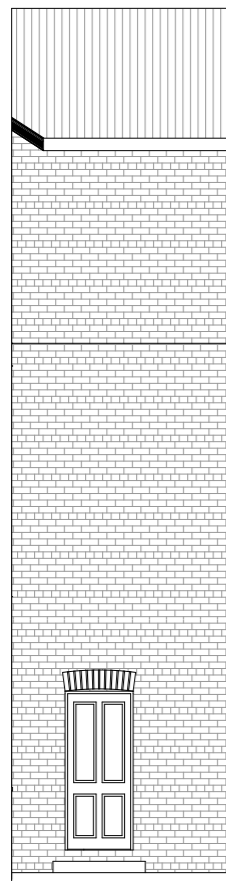
1 EXISTING EASTERN ELEVATION

1:100



2 EXISTING NORTHERN ELEVATION

1:100



3 EXISTING WESTERN ELEVATION 1:100



4 EXISTING SOUTHERN ELEVATION

1:100

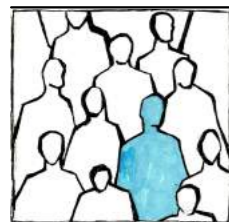
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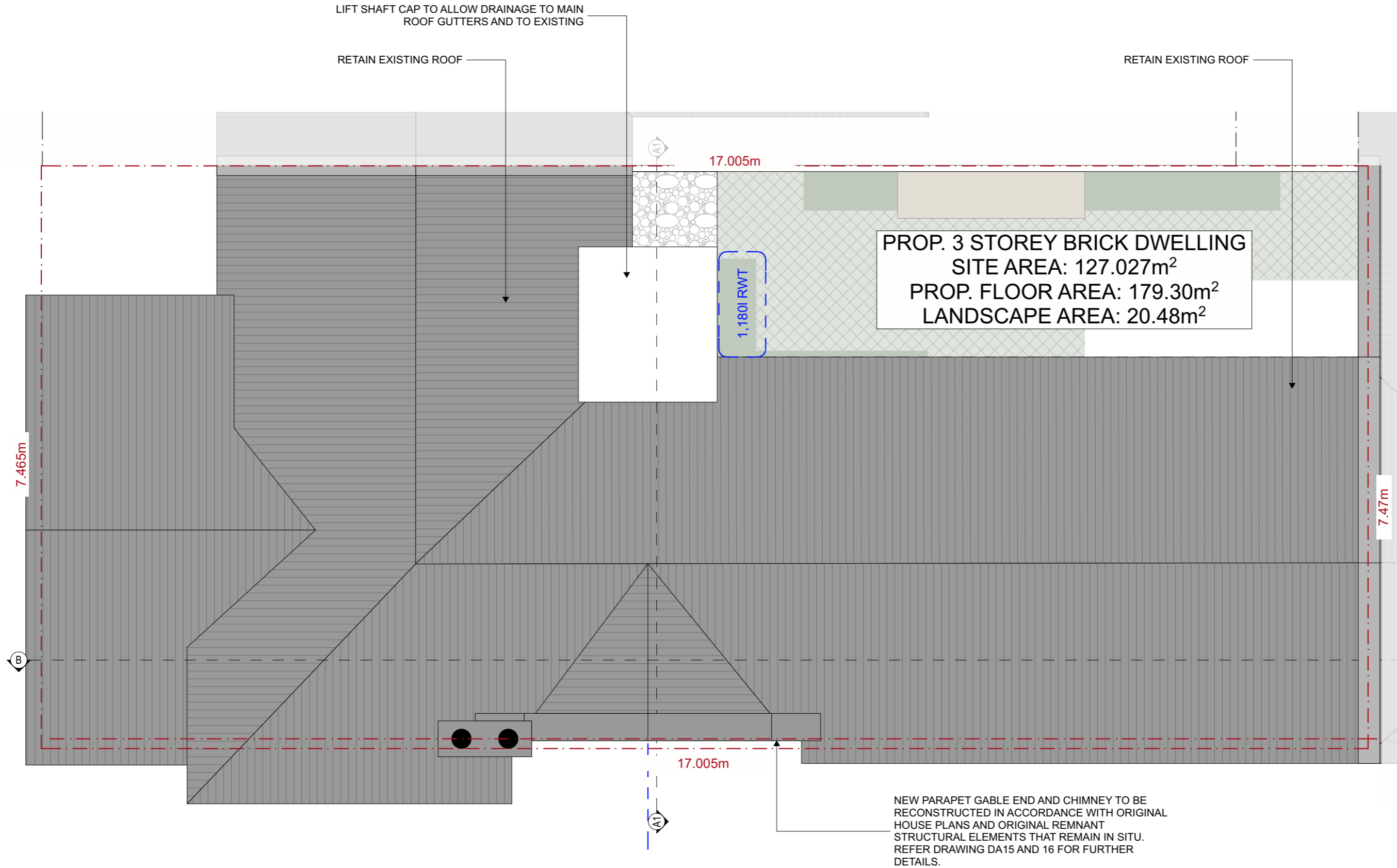
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Project Number:
17008
Project Name:
Alterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965
Proprietor:
Peter and Gail Cornish

Drawing:
Title: Existing Elevations
Scale: 1:100 @ A3
Status: Development Application
Drawn Date: Monday, 7 May 2018
Plot Date: Wednesday, 13 March 2019

Bar Scale:
0 1 2 3 4 5
1:100

Drawing No: DA04
Drawn By: JP



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Amendments:
Revision: D 13.03.19



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Project Number:
17 00 8

Project Name:
Alterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

Proprietor:
Peter and Gail Cornish

Drawing:

Title: Proposed Site/Roof Plan

Scale: 1:50 @ A3

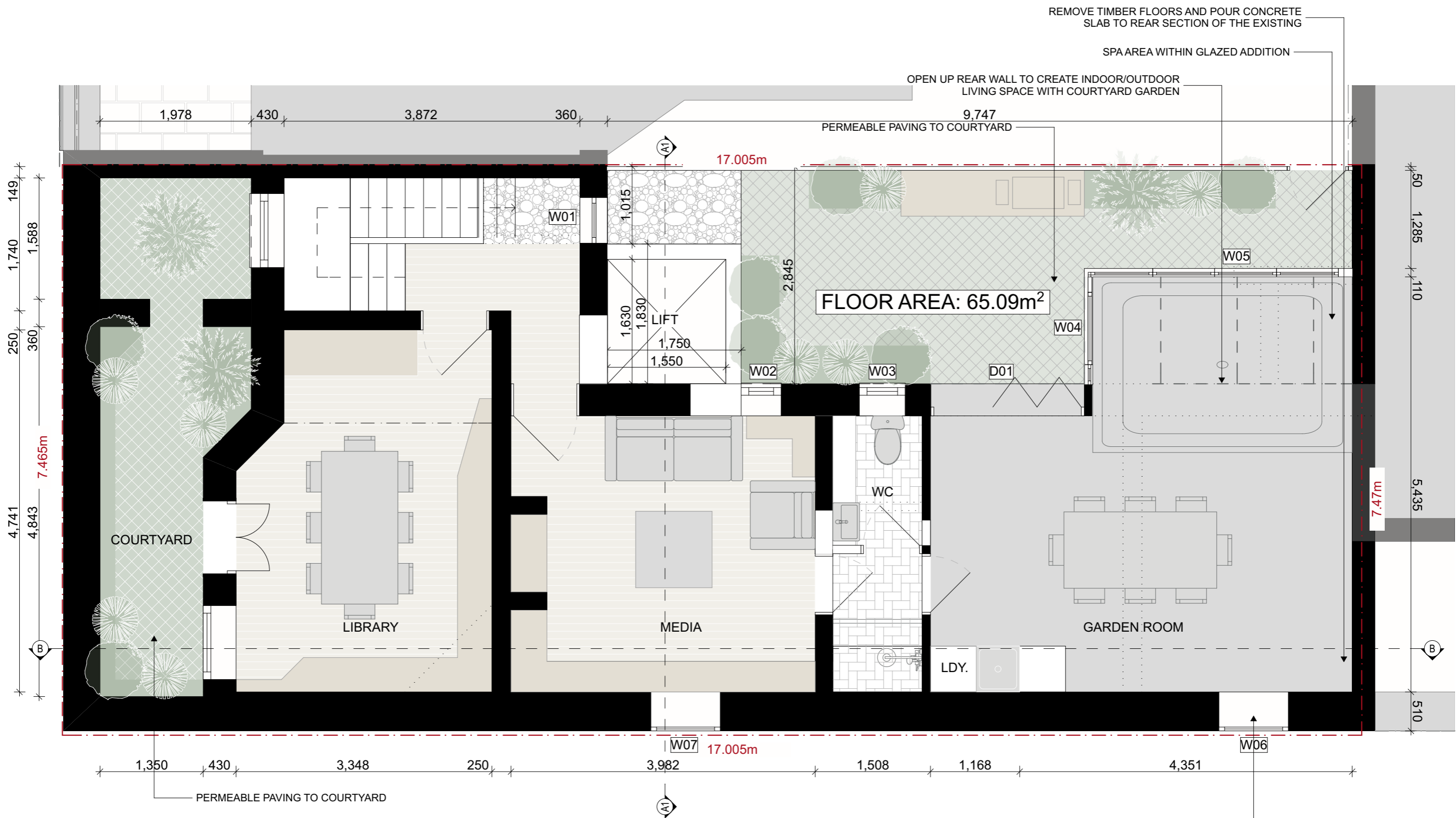
Status: Development Application

Drawn Date: Monday, 7 May 2018

Plot Date: Wednesday, 13 March 2019

Bar Scale:
0 1 2 3 4 5
1:100

Drawing No: DA 05
Drawn By: JP



1

PROPOSED BASEMENT FLOOR PLAN

1:50



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Project Number:
17008

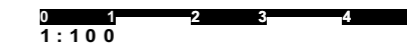
Project Name:
Alterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

Proprietor:
Peter and Gail Cornish

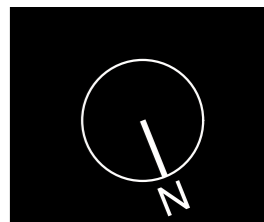
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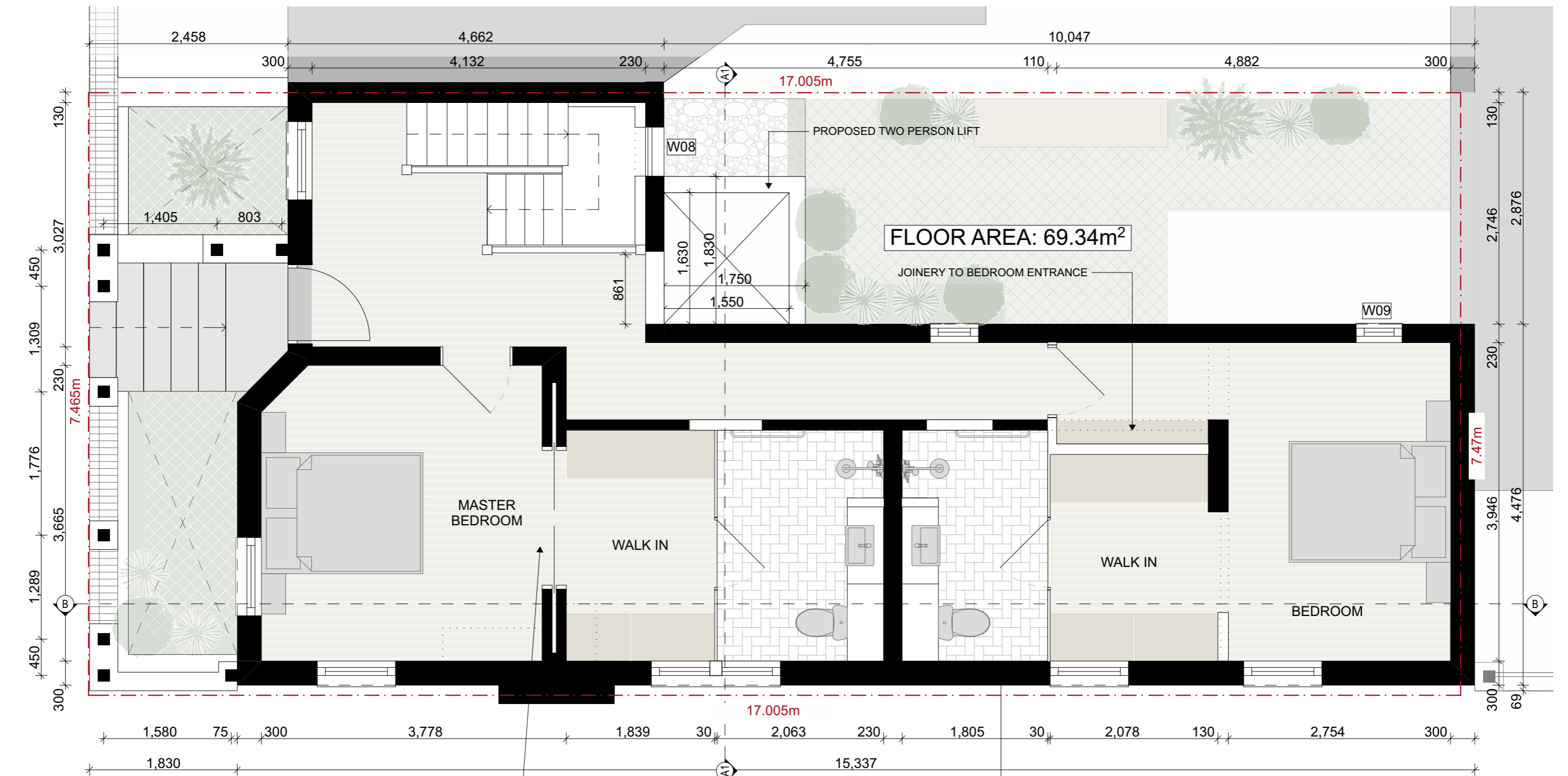
Title: Proposed Basement Floor Plan
 Scale: 1:50 @ A3
 Status: Development Application
 Drawn Date: Monday, 7 May 2018
 Plot Date: Wednesday, 13 March 2019

Bar Scale:



Drawing No: DA 06
 Drawn By: JP





01 **PROPOSED GROUND FLOOR PLAN** 1:50



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Project Number:
17 00 8

Project Name:
Alterations and Additions at
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Lot 5 / DP13965

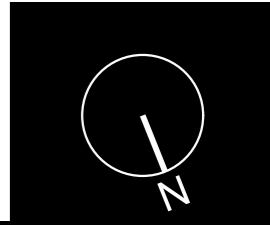
Proprietor:
Peter and Gail Cornish

Drawing:

Title: Proposed Ground Floor Plan
 Scale: 1:50 @ A3
 Status: Development Application
 Drawn Date: Monday, 7 May 2018
 Plot Date: Wednesday, 13 March 2019

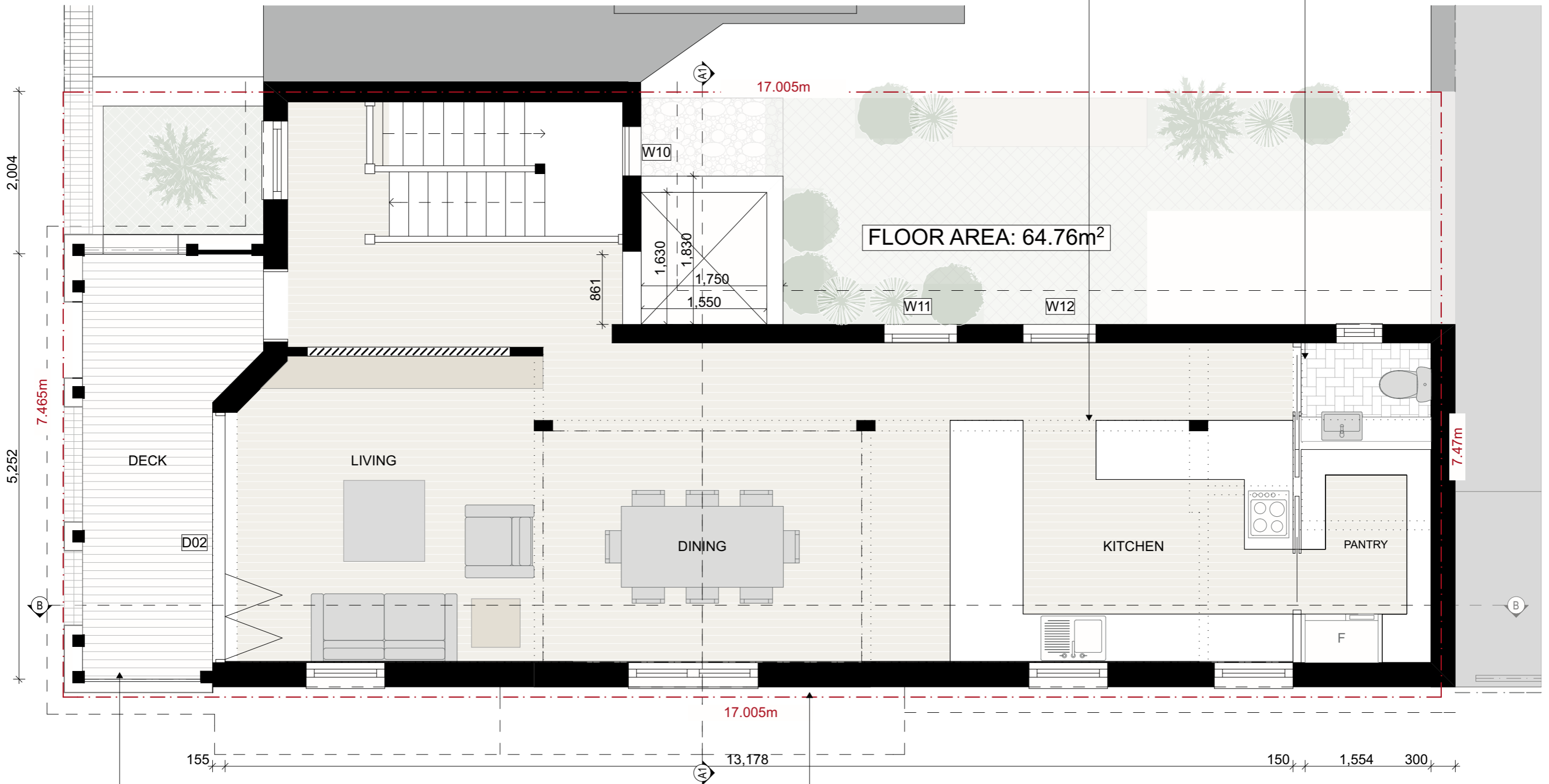
Bar Scale:
 0 1 2 3 4 5
 1:100

Drawing No: DA 07
 Drawn By: JP



RETAIN MASONRY COLUMNS AT JUNCTIONS OF ORIGINAL WALLS. RETAIN CEILINGS AND WALL SECTION DOWN TO PICTURE RAIL LEVEL. PROVIDE STRUCTURAL SUPPORT TO OPEN UP REMAINING WALL SECTIONS.

NEW WC INSTALLED IN POSITION OF PREVIOUS



EXISTING VERANDAH TO BE MADE GOOD AND ENCLOSED WITH TIMBER FRAMED, FIBRECEMENT CLAD BALUSTRADES AND LOUVERS OVER. REFER TO ELEVATION FOR PRECEDENT

PREVIOUSLY REPLACED CEILING TO BE REMOVED AND NEW CATHEDRAL CEILINGS INSTALLED TO INTERPRET ORIGINAL GABLE END TO STEVENSON PLACE. ORIGINAL CEILINGS TO EITHER SIDE TO BE RETAINED



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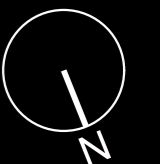
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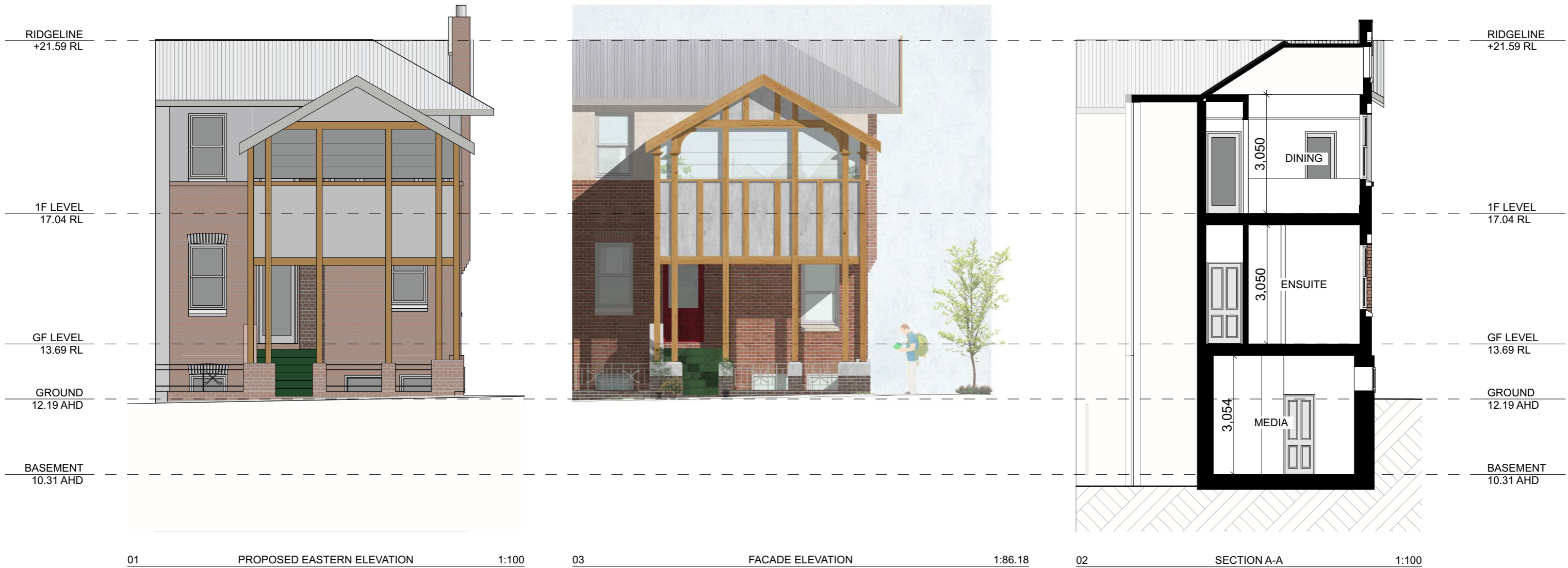
Project Number: 17 008
Project Name: Alterations and Additions at 2 Parnell Place, Newcastle East 2300 Lot 5 / DP13965
Proprietor: Peter and Gail Cornish

Drawing:
 Title: Proposed First Floor Plan
 Scale: 1:50 @ A3
 Status: Development Application
 Drawn Date: Monday, 7 May 2018
 Plot Date: Wednesday, 13 March 2019

Bar Scale:
 0 1 2 3 4 5
 1:100

Drawing No: DA 08
 Drawn By: JP





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Project Name:
Alterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

Proprietor:
Peter and Gail Cornish

Drawing:

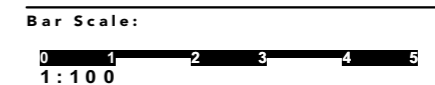
Title: Proposed Elevation and Section

Scale: 1:100 @ A3

Status: Development Application

Drawn Date: Monday, 7 May 2018

Plot Date: Wednesday, 13 March 2019



Drawing No: DA 09
 Drawn By: JP



3D PERSPECTIVE VIEWS - STREET CORNER



3D PERSPECTIVE VIEWS - RECONSTRUCTED PARAPET GABLE



3D PERSPECTIVE VIEW - REAR COURTYARD



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PRECEDENT IMAGES

Amendments:

Revision: D 13.03.19



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2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

Proprietor:
Peter and Gail Cornish

Drawing:

Title: Proposed Elevations
 Scale: 1:100 @ A3
 Status: Development Application
 Drawn Date: Monday, 7 May 2018
 Plot Date: Wednesday, 13 March 2019

Bar Scale:

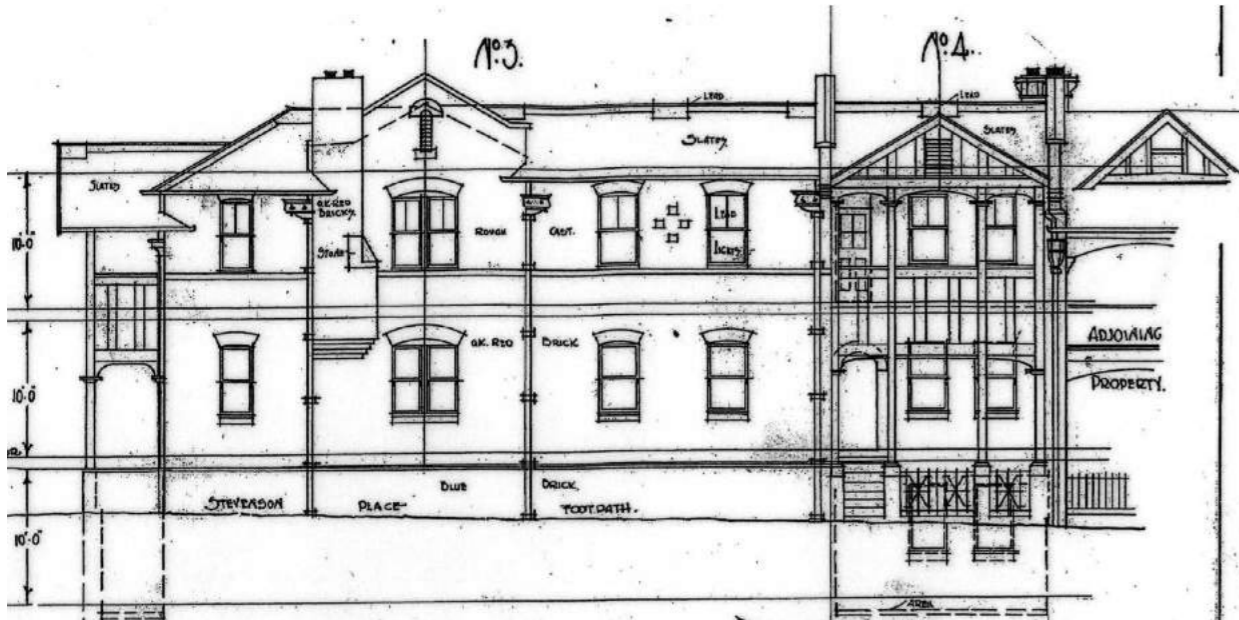
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Drawing No: DA 10
 Drawn By: JP

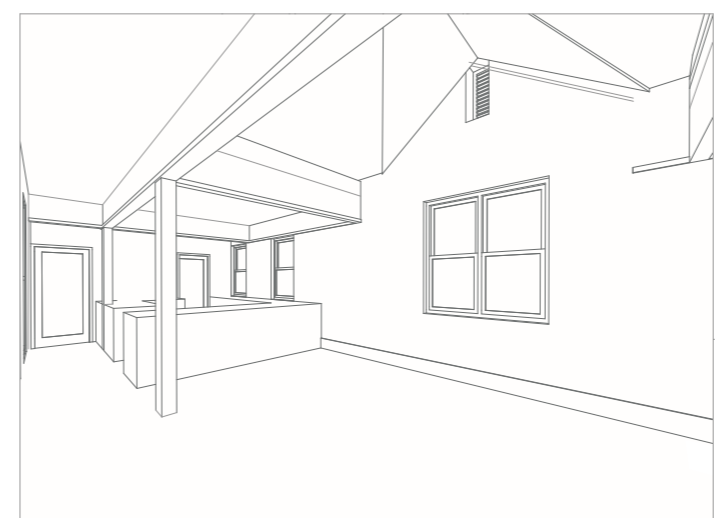
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RECONSTRUCTED GABLE END TO BE CONSTRUCTED IN ACCORDANCE WITH ORIGINAL. REFER TO DRAWING DA15 AND 16 FOR FURTHER DETAIL



INTERNAL VIEW TO FIRST FLOOR

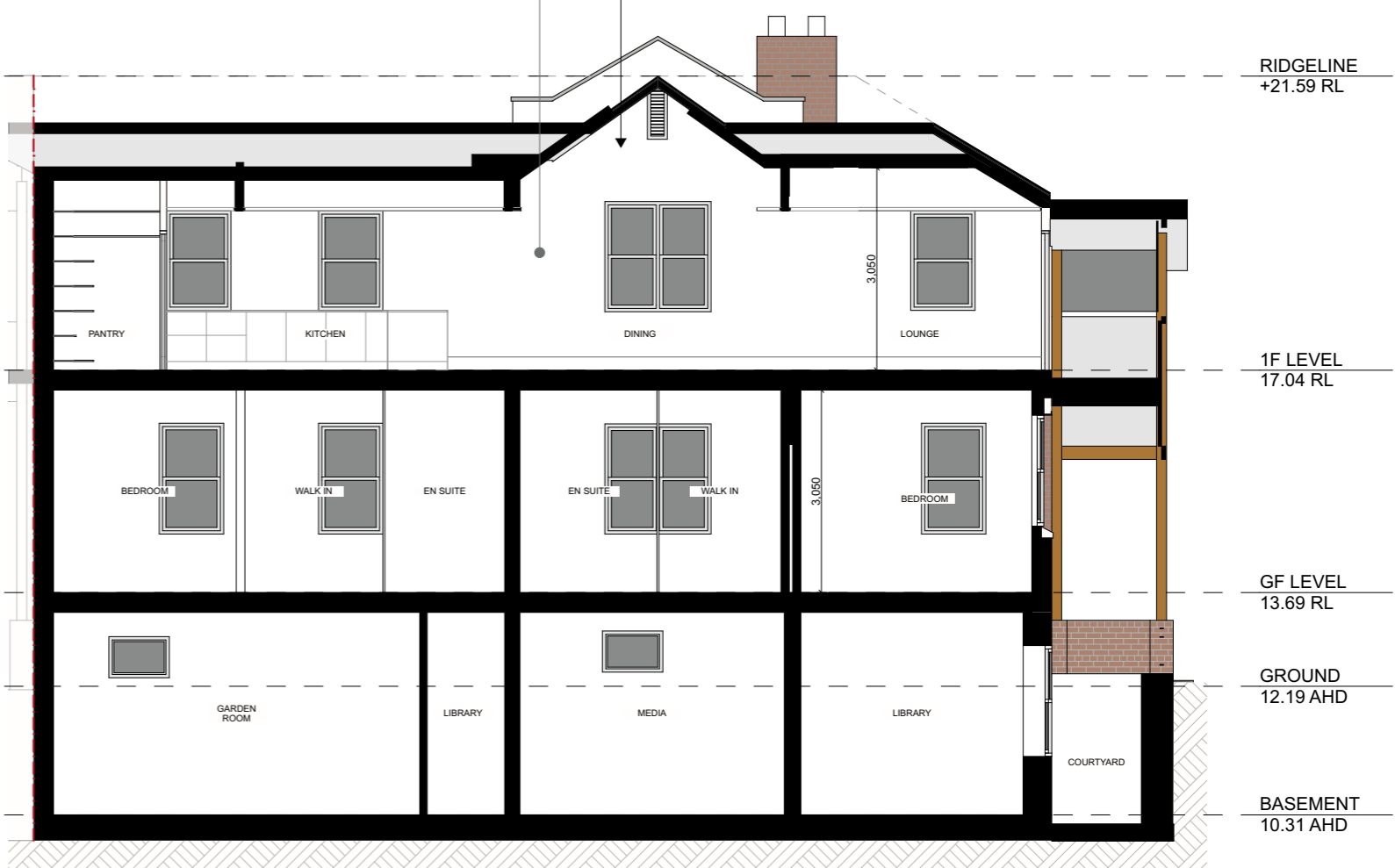
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Amendments:

Revision:



REINSTALL WINDOWS TO STEVENSON PLACE WITH PROWLER PROOF OR SIMILAR SECURITY SCREENS OVER



1 PROPOSED NORTHERN ELEVATION 1:100

2 PROPOSED SECTION B-B 1:100



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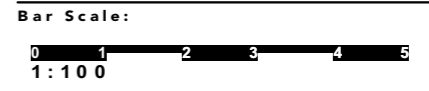
Project Number:
17008

Project Name:
Aterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

Proprietor:
Peter and Gail Cornish

Drawing:

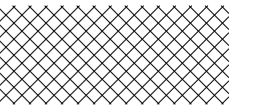
Title: Proposed Elevation and Section
 Scale: 1:100, 1:200 @ A3
 Status: Development Application
 Drawn Date: Monday, 7 May 2018
 Plot Date: Wednesday, 13 March 2019



Bar Scale:
1:100

Drawing No: DA 11
 Drawn By: JP

—○—○—○—○—
SEDIMENT FENCE



STABILISED ENTRY

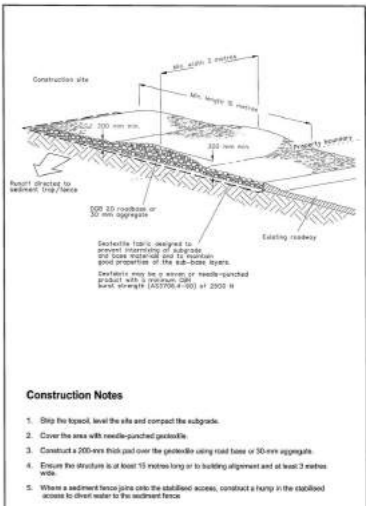
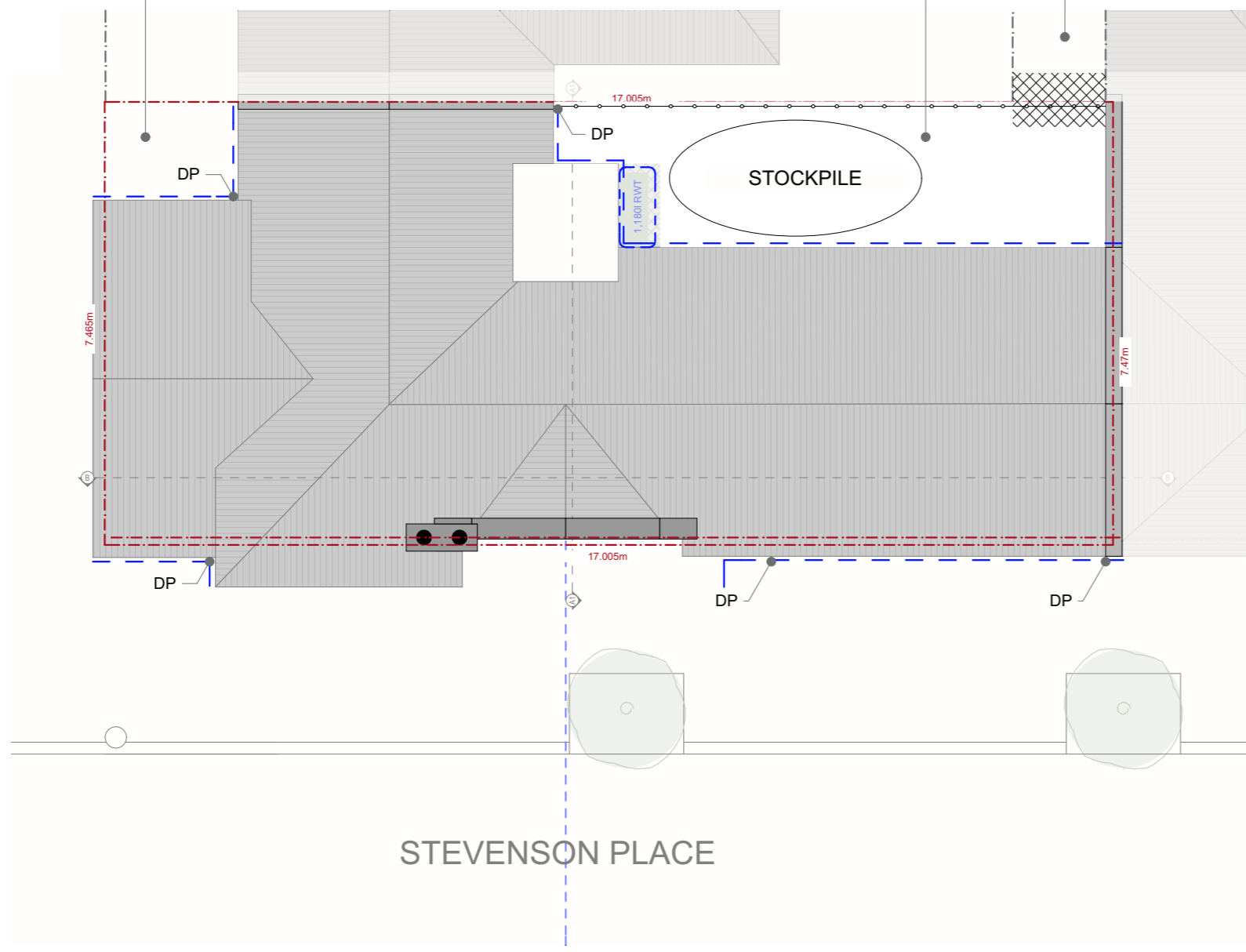


FLOW BUND

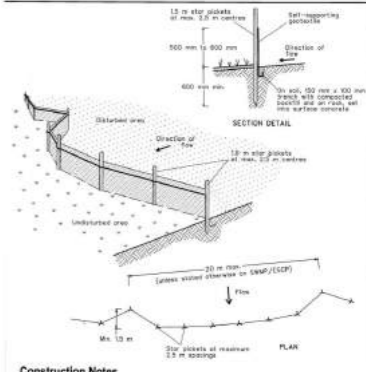
ALL EXISTING DOWNPIPES TO BE UPDATED AS PER MAINTENANCE SCHEDULE. ALL TO DRAIN TO EXISTING

ALL STORMWATER TO DRAIN TO EXISTING. MAINTAINED AND IMPROVED AS REQUIRED

ENTRY VIA LANEWAY. STOCKPILES AND WASTE STORAGE ETC TO BE CONTAINED ON SITE WITHIN REAR COURTYARD



STABILISED SITE ACCESS SD 6-14



SEDIMENT FENCE SD 6-8



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Project Number:
17 00 8
Project Name:
Alterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP 13965
Proprietor:
Peter and Gail Cornish

Drawing:
Title: Erosion and Sediment Control
Scale: 1:1.00, 1:100 @ A3
Status: Development Application
Drawn Date: Monday, 7 May 2018
Plot Date: Wednesday, 13 March 2019

Bar Scale:
0 1 2 3 4 5 6 7 8 9
1:200
Drawing No: DA 12
Drawn By: JP

Alterations and Additions

Certificate number: A318931_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A318931 lodged with the consent authority or certifier on 13 Aug 2018 with application 2018/00851.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Wednesday, 13, March 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	2 Parnell Place_02
Street address	2 Parnell Place Newcastle East 2300
Local Government Area	Newcastle City Council
Plan type and number	Deposited Plan 13965
Lot number	5
Section number	0
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Manakin
ABN (if applicable):	48298811589

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
--------------	------------------	------------------------------	-----------------

Rainwater tank

The applicant must install a rainwater tank of at least 839 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 107.32 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓

Indoor swimming pool

The swimming pool must be indoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 8 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓

Fixtures and systems

	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
--	------------------	------------------------------	-----------------

Hot water

The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
--	---	---	---

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
--	--	---	---

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction

	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
--	------------------	------------------------------	-----------------

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed (55 mm)	ceiling: R2.24 (up), roof: foil backed blanket	medium (solar absorptance 0.475 - 0.70)



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Project Number:
17008

Project Name:
Alterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP 13965

Proprietor:
Peter and Gail Cornish

Drawing:

Title: BASIX Requirements
Scale: @ A3
Status: Development Application
Drawn Date: Wednesday, 13 March 2019
Plot Date: Wednesday, 13 March 2019

Bar Scale:

Drawing No: DA 14
Drawn By: JP

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	1.44	11.4	4.2	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	S	0.87	11.4	3.7	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Glazed roofs			
The applicant must install the glazed roofs described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each glazed roof:		✓	✓
Glazed roofs glazing requirements			
Glazed roof number	Area of glazing (m ²)	Shading device	Glass type
G1	5.2	no shading	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Glazed roofs			
The applicant must install the glazed roofs described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each glazed roof:		✓	✓
Glazed roofs glazing requirements			
Glazed roof number	Area of glazing (m ²)	Shading device	Glass type
G1	5.2	no shading	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Legend:

Notes:

- SITE LEVELS ARE APPROXIMATE ONLY. PLEASE EVALUATE ON SITE BEFORE ANY WORK OR ORDERING BEGINS.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ENGINEERS DRAWINGS.
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- ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS CODE AND LOCAL AUTHORITIES.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
- ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- TIMBER TRUSS ROOF AND WALL FRAMING TO MANUFACTURERS DESIGN AND SPECIFICATION

NOT FOR CONSTRUCTION

Amendments:

Revision: D 13.03.19



1. SHOWS VALLEY RAFTERS FOR A TRANSVERSE ROOF FORM.



2. SHOWS TOP OF BRICKWORK ABOVE THIS SECTION OF EXTERNAL WALL. NO WALL PLATE IS PRESENT IN THIS SECTION AS IT IS IN OTHERS



3. SHOWS VALLEY RAFTER



4. SHOWS MIXED TIMBER TYPES. THE DARKER TIMBER TO THE LEFT OF THE IMAGE IS OREGON AND APPEARS TO HAVE BEEN REUSED (UPSIDE DOWN) FROM PART OF THE ORIGINAL ROOF STRUCTURE.
THE LIGHTER TIMBER IS A HARDWOOD THAT DOESN'T MATCH THE REMAINING ROOF TIMBERS AND LOOKS TO HAVE BEEN INSTALLED AS PART OF REPAIR WORK.
ALSO VISIBLE NEAR THE WALL JUNCTION IS THE END OF A RAFTER TAIL THAT IS SEPARATE FROM THE RAFTER ITSELF, THIS DIFFERS FROM THE REMAINING ORIGINAL ROOFING

5. DECORATIVE CEILING IN ADJACENT HALLWAY



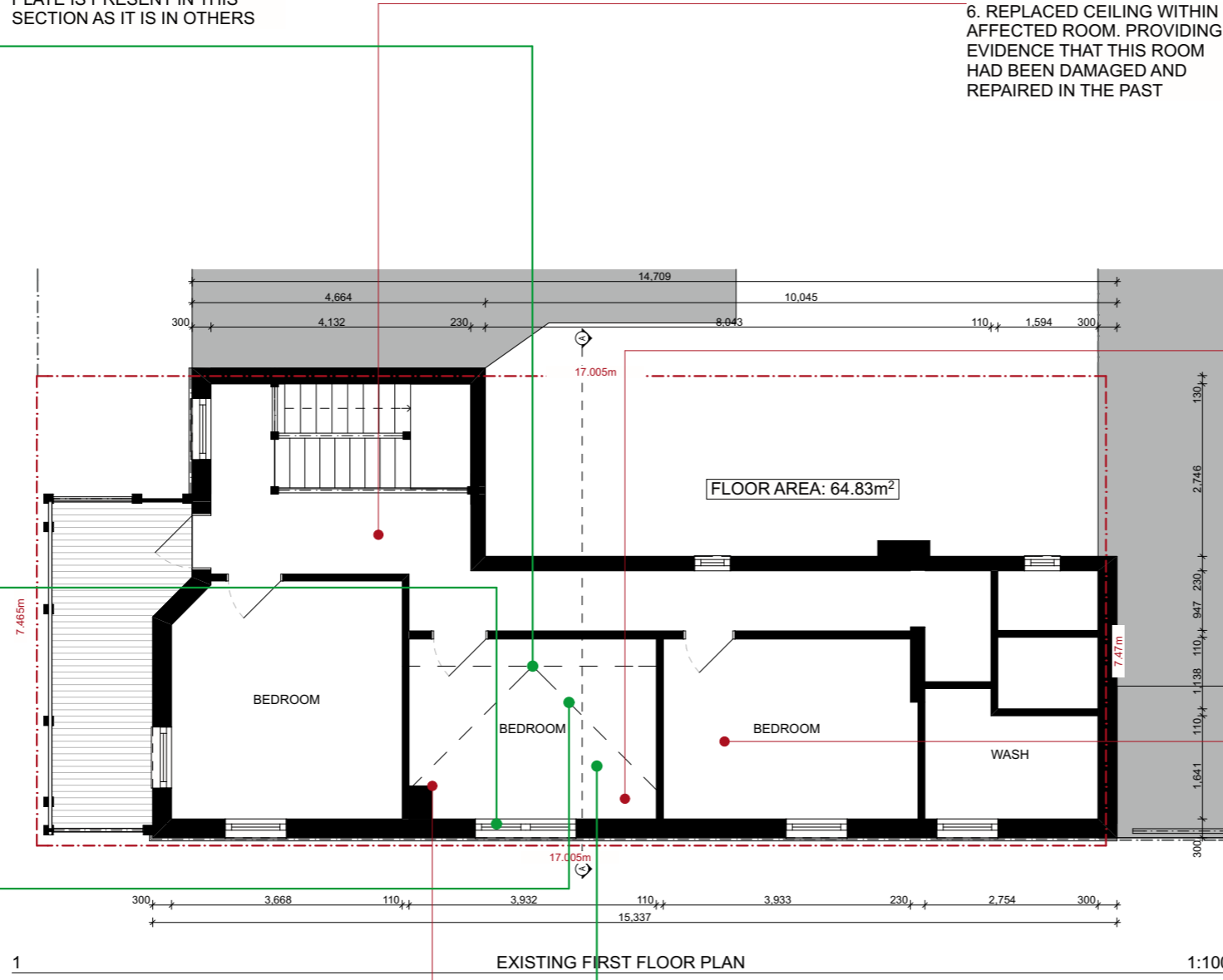
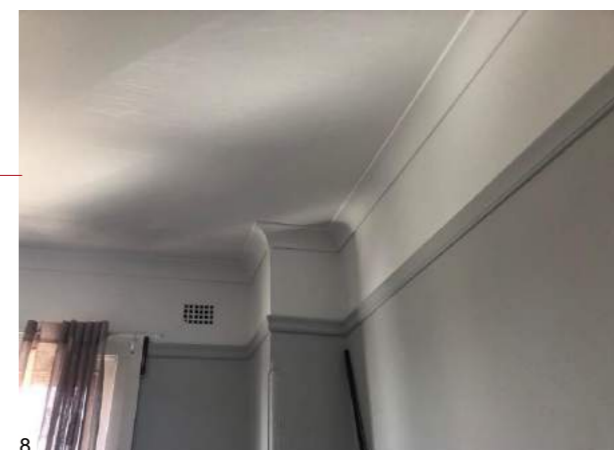
6. REPLACED CEILING WITHIN AFFECTED ROOM. PROVIDING EVIDENCE THAT THIS ROOM HAD BEEN DAMAGED AND REPAIRED IN THE PAST



7. DECORATIVE CEILING IN ADJACENT BEDROOM SPACE



8. REPLACED CEILING WITHIN AFFECTED ROOM. PROVIDING EVIDENCE THAT THIS ROOM HAD BEEN DAMAGED AND REPAIRED IN THE PAST



Legend:

Notes:

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Amendments:

Revision: D 13.03.19

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Project Number:
17 00 8
Project Name:
Aterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965
Proprietor:
Peter and Gail Cornish

Drawing:
Title: Stevenson Place Gable Reconstruction
Scale: 1:100 @ A3
Status: Development Application
Drawn Date: Tuesday, 18 February 2019
Plot Date: Wednesday, 13 March 2019

Bar Scale:
Drawing No: DA 15
Drawn By: JP



1. SHOWS VALLEY RAFTERS FOR A TRANSVERSE ROOF FORM.

2. SHOWS TOP OF BRICKWORK ABOVE THIS SECTION OF EXTERNAL WALL. NO WALL PLATE IS PRESENT IN THIS SECTION AS IT IS IN OTHERS



3. SHOWS VALLEY RAFTER



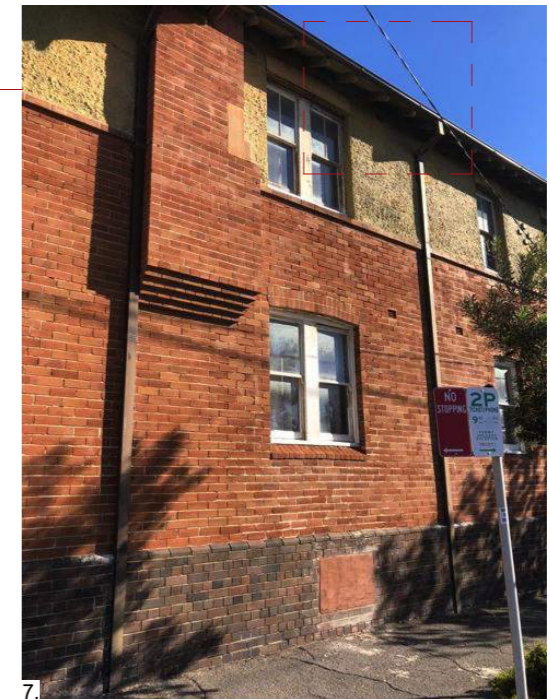
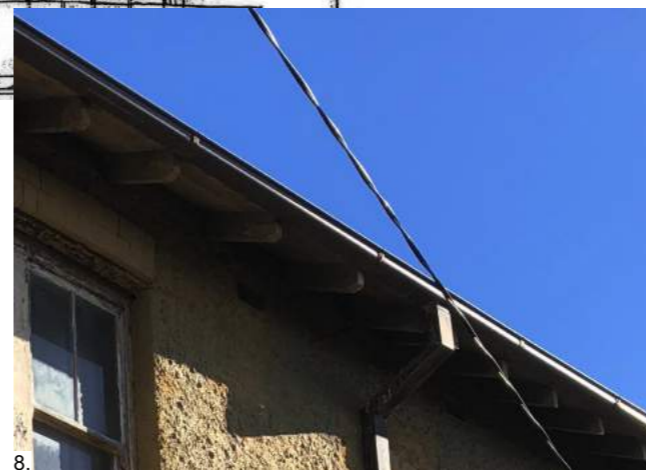
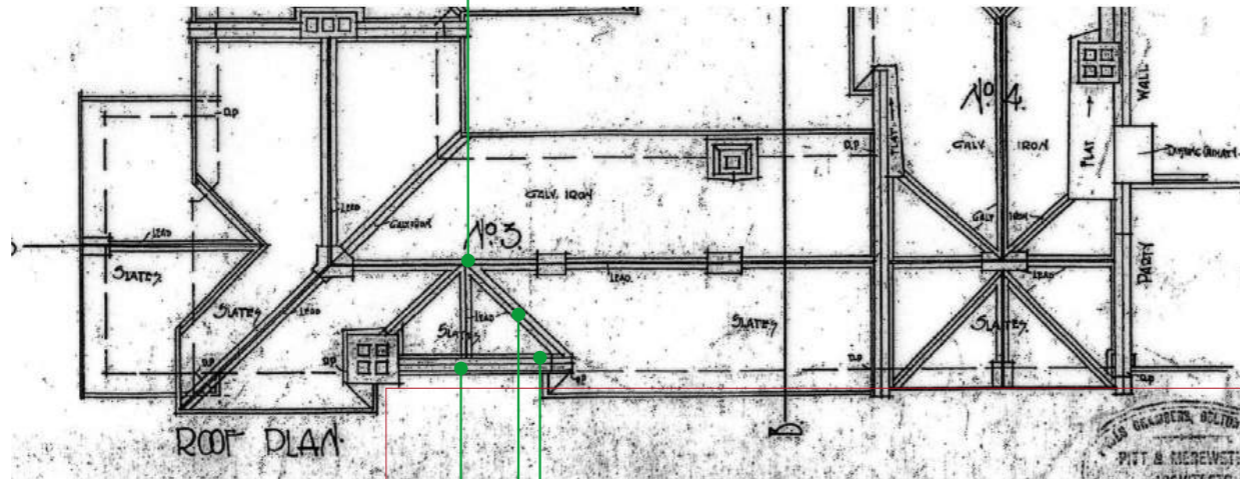
4. SHOWS MIXED TIMBER TYPES. THE DARKER TIMBER TO THE LEFT OF THE IMAGE IS OREGON AND APPEARS TO HAVE BEEN REUSED (UPSIDE DOWN) FROM PART OF THE ORIGINAL ROOF STRUCTURE.

THE LIGHTER TIMBER IS A HARDWOOD THAT DOESN'T MATCH THE REMAINING ROOF TIMBERS AND LOOKS TO HAVE BEEN INSTALLED AS PART OF REPAIR WORK.

ALSO VISIBLE NEAR THE WALL JUNCTION IS THE END OF A RAFTER TAIL THAT IS SEPARATE FROM THE RAFTER ITSELF, THIS DIFFERS FROM THE REMAINING ORIGINAL ROOFING

5 / 8. SHOWS DETAIL VIEW OF IMAGE 6 / 7. RAFTER TAILS OVER THE REPAIRED SECTION OF ROOF ARE CLEARLY DIFFERENT. THEY ARE WIDER AND HAVE A DIFFERENT CUT DETAIL TO THE ORIGINAL.

FURTHERMORE, THE EAVES LINING BOARDS ARE DIFFERENT ACROSS THIS SECTION OF ROOF



Legend:

Notes:

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NOT FOR CONSTRUCTION

Amendments:

Revision: D 13.03.19



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Project Number:
17008

Project Name:
Aterations and Additions at
2 Parnell Place, Newcastle East 2300
Lot 5 / DP13965

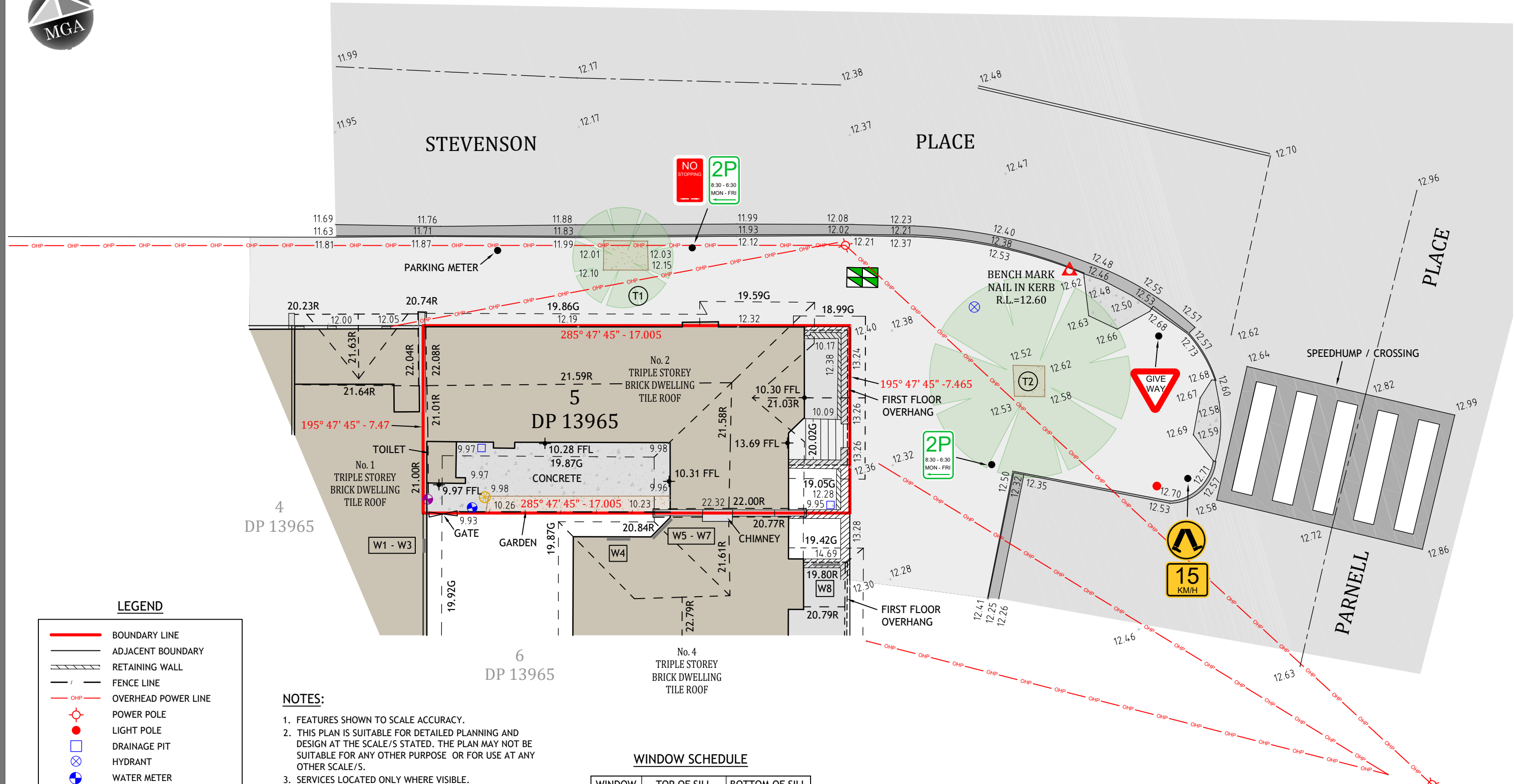
Proprietor:
Peter and Gail Cornish

Drawing:

Title: Stevenson Place Gable Reconstruction
Scale: @ A3
Status: Development Application
Drawn Date: Tuesday, 18 February 2019
Plot Date: Wednesday, 13 March 2019

Bar Scale:

Drawing No: DA 16
Drawn By: JP



LEGEND

- BOUNDARY LINE
- ADJACENT BOUNDARY
- RETAINING WALL
- FENCE LINE
- OHP OVERHEAD POWER LINE
- POWER POLE
- LIGHT POLE
- DRAINAGE PIT
- ⊗ HYDRANT
- ⊕ WATER METER
- ⊗ SEWER INSPECTION POINT
- ⊗ NATURAL GAS METER
- ⊗ TELSTRA PIT
- DENOTES SIGNAGE
- ⊗ DENOTES TREE
- R - RIDGE
- G - GUTTER

NOTES:

1. FEATURES SHOWN TO SCALE ACCURACY.
2. THIS PLAN IS SUITABLE FOR DETAILED PLANNING AND DESIGN AT THE SCALE/S STATED. THE PLAN MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE OR FOR USE AT ANY OTHER SCALE/S.
3. SERVICES LOCATED ONLY WHERE VISIBLE.
4. THE LOCATION OF ALL UNDERGROUND SERVICES WHETHER SHOWN ON THE PLAN OR NOT, SHOULD BE PRECISELY DETERMINED BEFORE ANY CONSTRUCTION WORK COMMENCES AND MEASURES TAKEN TO PROTECT THESE SERVICES FROM DAMAGE.
5. NO CONTOURS SHOWN
6. THE BOUNDARIES SHOWN ARE APPROXIMATE ONLY. THE BOUNDARIES SHOWN HAVE BEEN COMPILED FROM THE RELEVANT DEPOSITED PLANS. FURTHER SURVEY WILL BE REQUIRED IF CONSTRUCTION IS TO TAKE PLACE ON OR ADJACENT TO THE BOUNDARIES.

WINDOW SCHEDULE

WINDOW	TOP OF SILL	BOTTOM OF SILL
W1	12.77	11.35
W2	16.12	14.70
W3	19.46	18.04
W4	12.75	11.34
W5	12.75	11.34
W6	16.12	14.69
W7	19.52	17.72
W8	18.91	17.98

TREE TABLE

TREE NO.	SPREAD	TRUNK	HEIGHT
T1	4	0.1	3
T2	8	0.3	5

1	Original Issue	24.01.19
No	Amendment	Date

260
MAITLAND ROAD,
MAYFIELD NSW 2304
Phone: 02 4964 4886
www.delacs.com.au



Title: DETAIL SURVEY OF LOT 5
DP 13965
Address: No. 2 PARNELL PLACE
NEWCASTLE EAST
Client: MANAKIN DESIGN COLLECTIVE

Cad Ref: 19004 - DET
Datum: AHD
Origin: PM 19808 RL 14.976
Scale: 1:150 A3
Drawn: JD
Surveyor: PM

Project No 19004	
Drawing No 1	Revision 1

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

18 June 2019

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

REPORTS BY COUNCIL OFFICERS

Attachment A - Plans

**DA2016/00982.01 - 70 & 72 Blue Gum Road
Jesmond**

**Changes to floor plan layout, additional storey with
additional units**

DISTRIBUTED UNDER SEPARATE COVER

Proposed Residential Apartments at 70-72 Blue Gum Road Jesmond NSW 2299

Car Parking				
Units	Residents	Visitors	Staff	Total
A = 16	16	3	1	20
B = 18	18	4	-	22
C = 8	8	2	-	10
Total: 42			Spaces:	52

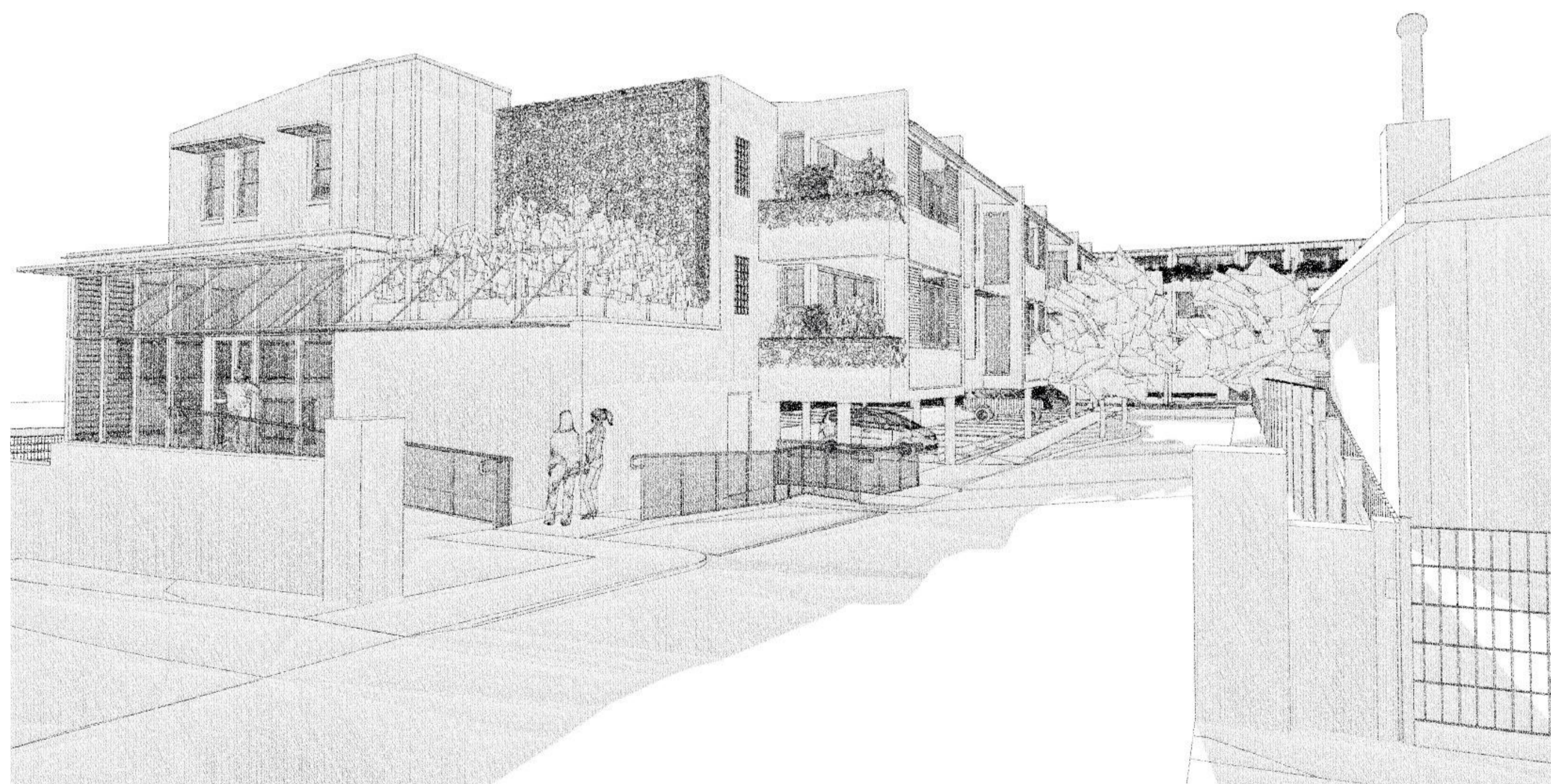
Floor Area Summary		m ²
Site Area		5,153.70
Building Areas		
Block A		1,462.06
Block B		1,477.18
Block C		848.90
Total Area		3,788.14
Total FSR		0.74 :1
Apartment Numbers		
Studio		3
1 Bedroom		3
2 Bedroom		36
Total Units		42
Car Parking Spaces		52
Flood Zone Fill Area		982.49
(Percentage of site coverage)		19.06%
Site Coverage		
Block A		919.63
Block B		637.45
Block C		568.54
Driveway		750.68
Total		2876.3
Percentage of Site Area:		55.81%

Flood Zone Fill Areas	
Zone Name	Measured Area
Block A Ground	98.82
Block B Ground	67.85
Block C Basement	565.71
Ramps	160.11
	892.49 m²

Gross Floor Areas		
Building Name	Floor	Measured Area
Block A	Ground Level	9.37
	Level 1	719.87
	Level 2	732.82
		1,462.06 m²
Block B	Ground Level	11.92
	Level 1	510.38
	Level 2	516.50
	Level 3	439.38
		1,477.18 m²
Block C	Ground Level	6.31
	Level 1	422.68
	Level 2	419.91
		848.90 m²
		3,788.14 m²

Max FSR = 5153.70 * 0.9 = 4,638.33m²

Drawing Sheet Index			
Subset	Drawing No:	Revision	Title
General Plans			
	A0.01	G	Cover Sheet
	A0.02	G	Site Location Plan
	A0.03	G	Site Analysis Plan
Floor Plans			
	A1.01	G	Ground Floor Plan - Block A
	A1.02	G	Ground Floor Plan - Blocks B + C
	A1.03	G	Level 1 Floor Plan - Block A
	A1.04	G	Level 1 Floor Plan - Blocks B + C
	A1.05	G	Level 2 Floor Plan - Block A
	A1.06	G	Level 2 Floor Plan - Blocks B + C
	A1.07	G	Level 3 Roof Plan - Block A
	A1.08	G	Level 3 Floor Plan - Blocks B + C
	A1.09	G	Roof Plan - Blocks B + C
Elevations			
	A2.01	G	Elevations
Sections			
	A3.01	G	Sections
Solar and Shadow Studies			
	A7.01	G	Shadow Diagrams - June 21 0900
	A7.02	G	Shadow Diagrams - June 21 1200
	A7.03	G	Shadow Diagrams - June 21 1300
	A7.04	G	Shadow Diagrams - June 21 1400
	A7.05	G	Shadow Diagrams - June 21 1500
	A7.06	G	Typical Floor Plan - Block A Solar Access Dia...
	A7.07	G	Typical Floor Plan - Blocks B + C Solar Acces...
3D Representation			
	A9.01	G	Perspective Views
	A9.02	G	Perspective Views

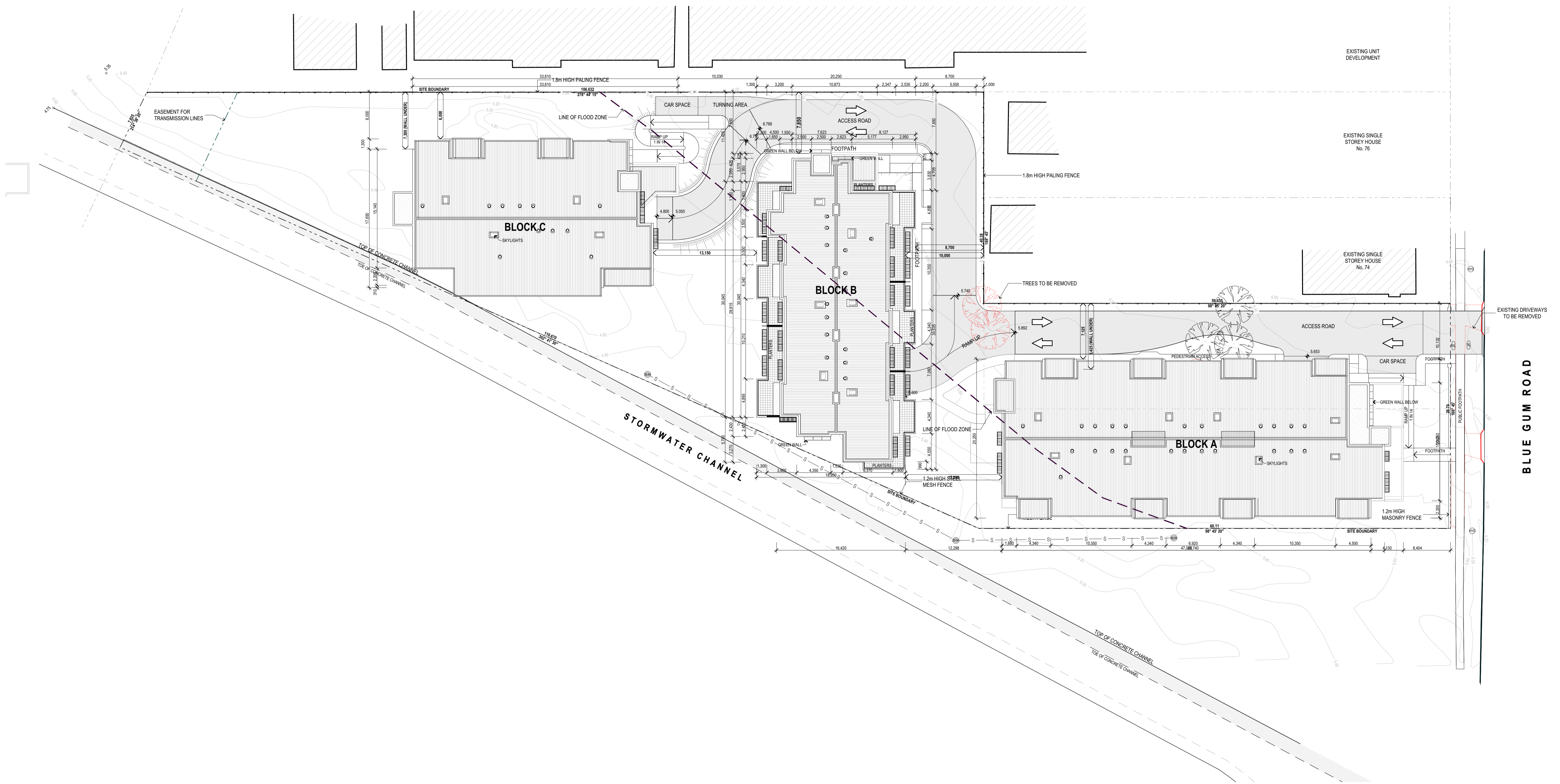


AMENDMENTS		
Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	LDIG UPDATED PLANS	2/11/2016
C	REVISED DA PLANS	1/06/2017
D	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018


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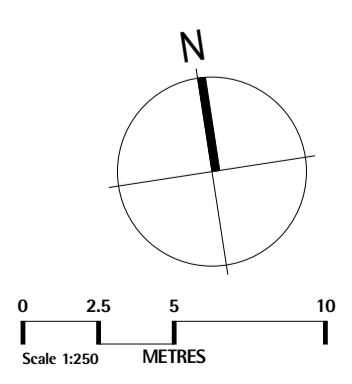
PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299
 FOR
GHT Holdings Pty Ltd
 PO Box 522 Maitland NSW 2320

TITLE
General Plans
Cover Sheet
 SCALE: **1:1 on A1**
 DATE: **3/12/2018**
 DRAWN: **GB**
 PROJECT
167
 DRAWING No.
A0.01-G



AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	UDCG UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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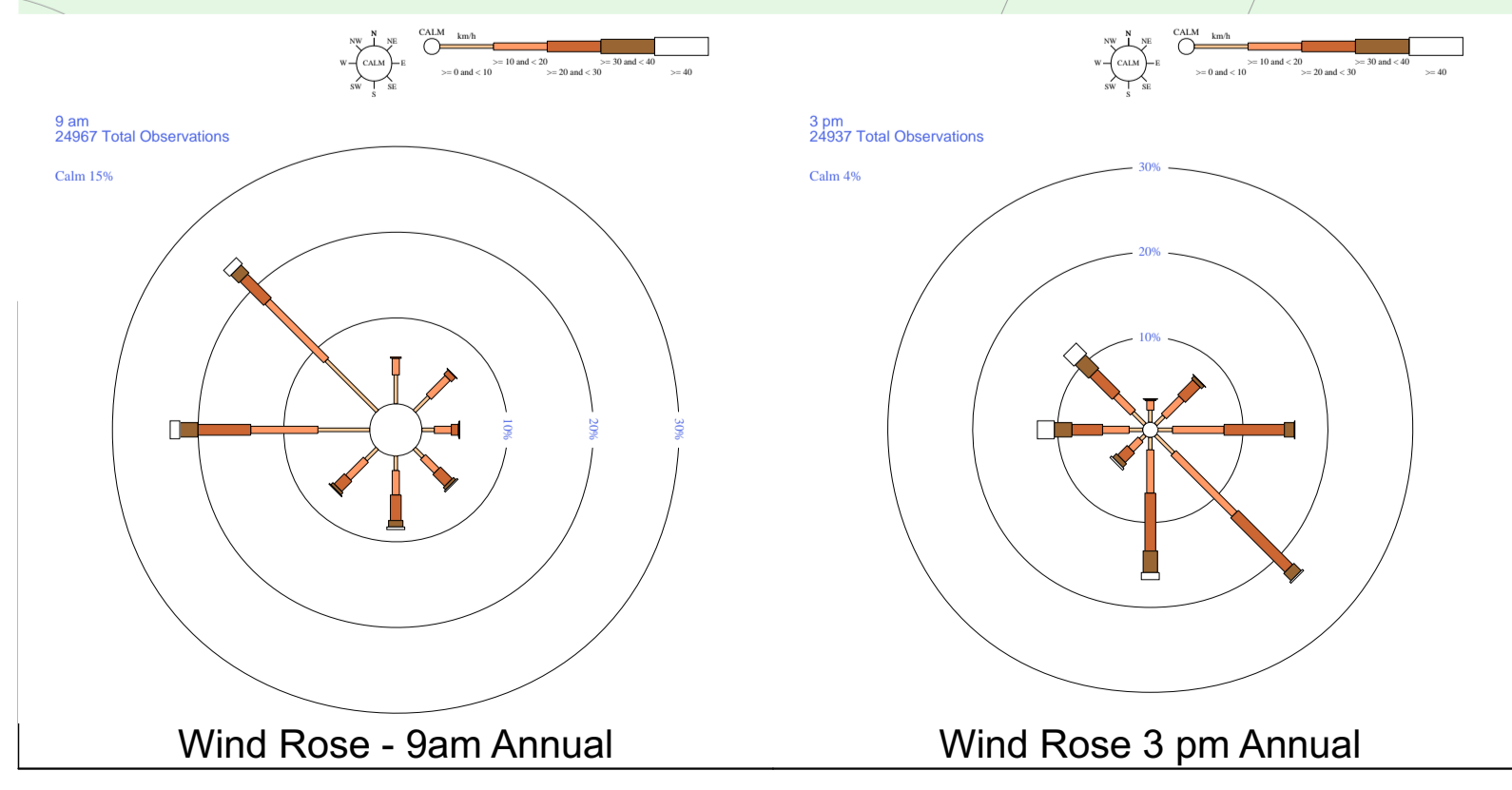
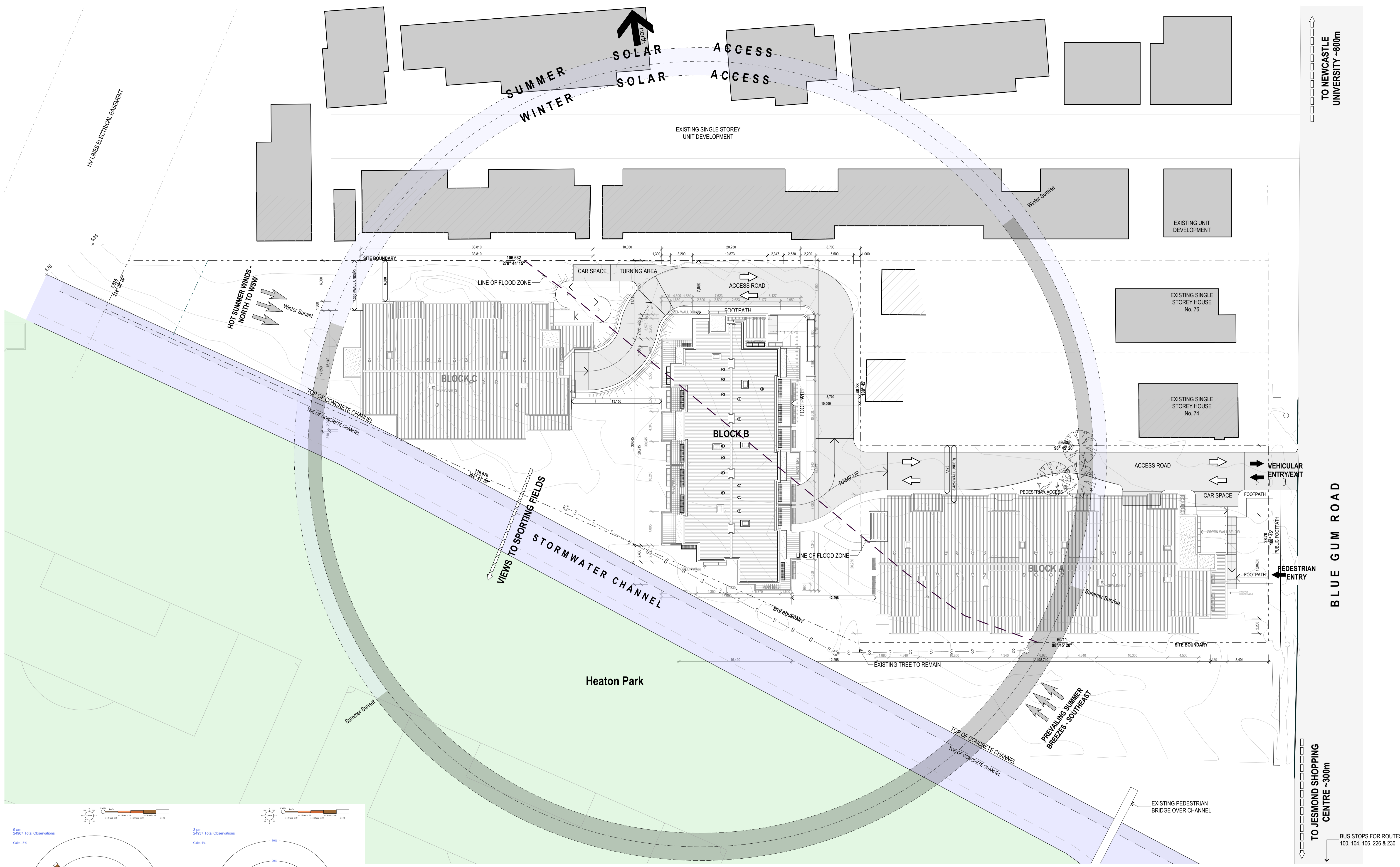
PROJECT
**DA Submission
Residential Apartments**
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522 Maitland NSW 2320

TITLE
**General Plans
Site Location Plan**

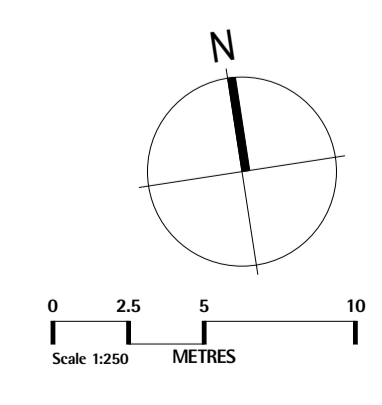
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DATE: **3/12/2018**
DRAWN: **GB**

PROJECT
167
DRAWING No.
A0.02-G



AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	LDGS UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522, Maitland NSW 2320

TITLE
General Plans
Site Analysis Plan

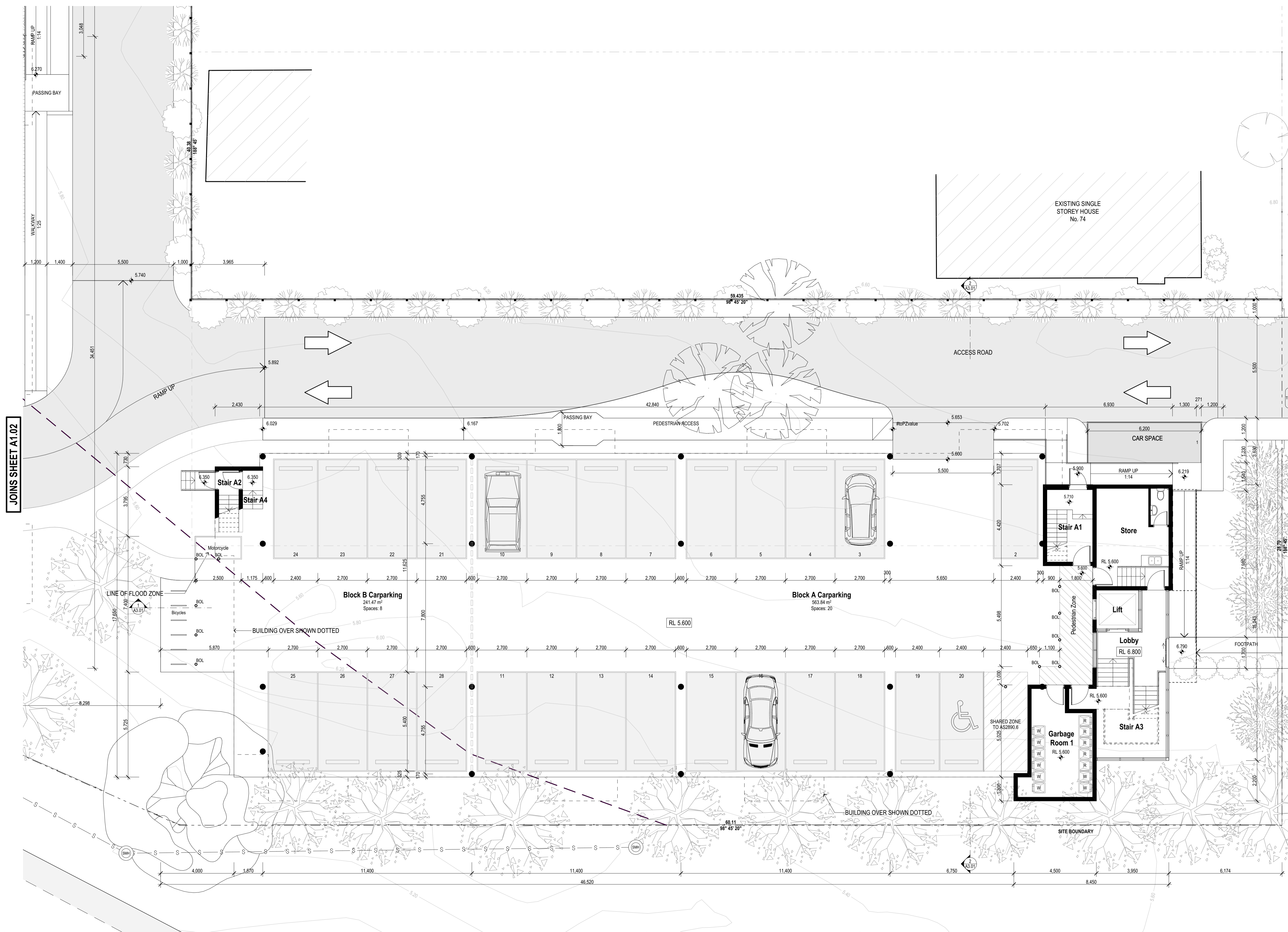
SCALE: 1:250 on A1
DATE: 3/12/2018
DRAWN: GB

PROJECT
167
DRAWING No.
A0.03-G

TO NEWCASTLE UNIVERSITY ~800m

TO JESMOND SHOPPING CENTRE ~300m

BUS STOPS FOR ROUTES 100, 104, 106, 226 & 230



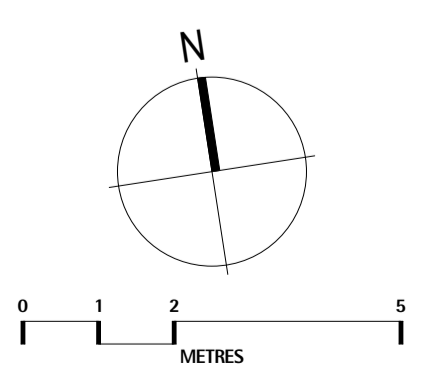
BASIX COMMITMENTS NOTES			
*Refer to approved BASIX Certificate			
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps
Fixtures	7 star	6 star	5 star
Appliances	Dishwashers - 4.5 star water rating		
Central water tank	600L water tank to collect run-off from at least 300 m² of roof area. Connection to allow for irrigation of 100 m² of common landscape area on the site.		
ENERGY	Hot water system: Gas instantaneous with a performance of 5.5 stars		
Approved BASIX	Bathroom ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Kitchen ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Laundry ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned) Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)		
Approved BASIX	Natural lighting: As per BASIX Artificial lighting: As per BASIX Appliances: Gas cooking & electric oven in the kitchen of the Units. Dishwashers: 3.5 star energy rating. Must construct each refrigeration space in the development to that it is "well ventilated". Must install fixed indoor or sheltered clothes drying line as part of the development. Rated electrical output (max): 7.0 peak kW		
PHOTOVOLTAIC SYSTEM	Refer to approved BASIX Certificate		
COMMON AREAS	Refer to approved BASIX Certificate		

Building Elements	Material	Detail
External walls	Brick veneer - Level 1, Level 2 Furring Channel + Plasterboard - Level 1 Only	R3.5 Bulk insulation
Internal walls within Units	Plasterboard on studs	-
Common walls between Units	Concrete Block + Furring Channel + Plasterboard	-
Units and stairs	Hotel + Furring Channel + Plasterboard	-
Common wall between Units and the lobby/passage	Hotel + Furring Channel + Plasterboard	-
Ceiling	Plasterboard	R2.5 bulk insulation to ceilings with metal roof above
Floors	Concrete - all levels	-
Roof	Concrete	Anticon blanket (R1.5) to underside of roof
Windows (in view area only)	RL 5.600 above only Aluminium frame, single glazed high Solar Gain Low E	U value 5.40 or less and SHGC 0.69 v/ -5%
Windows (in view of Units)	RL 5.600 above only Aluminium frame, single glazed clear	U value 5.40 or less and SHGC 0.58 v/ -5%
Windows (in view of Units)	RL 5.600 above only Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 v/ -5%

JOINS SHEET A1.02

BLUE GUM ROAD

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	LDIC UPDATED PLANS	2/11/2016
C	REVISED DA PLANS	1/06/2017
D	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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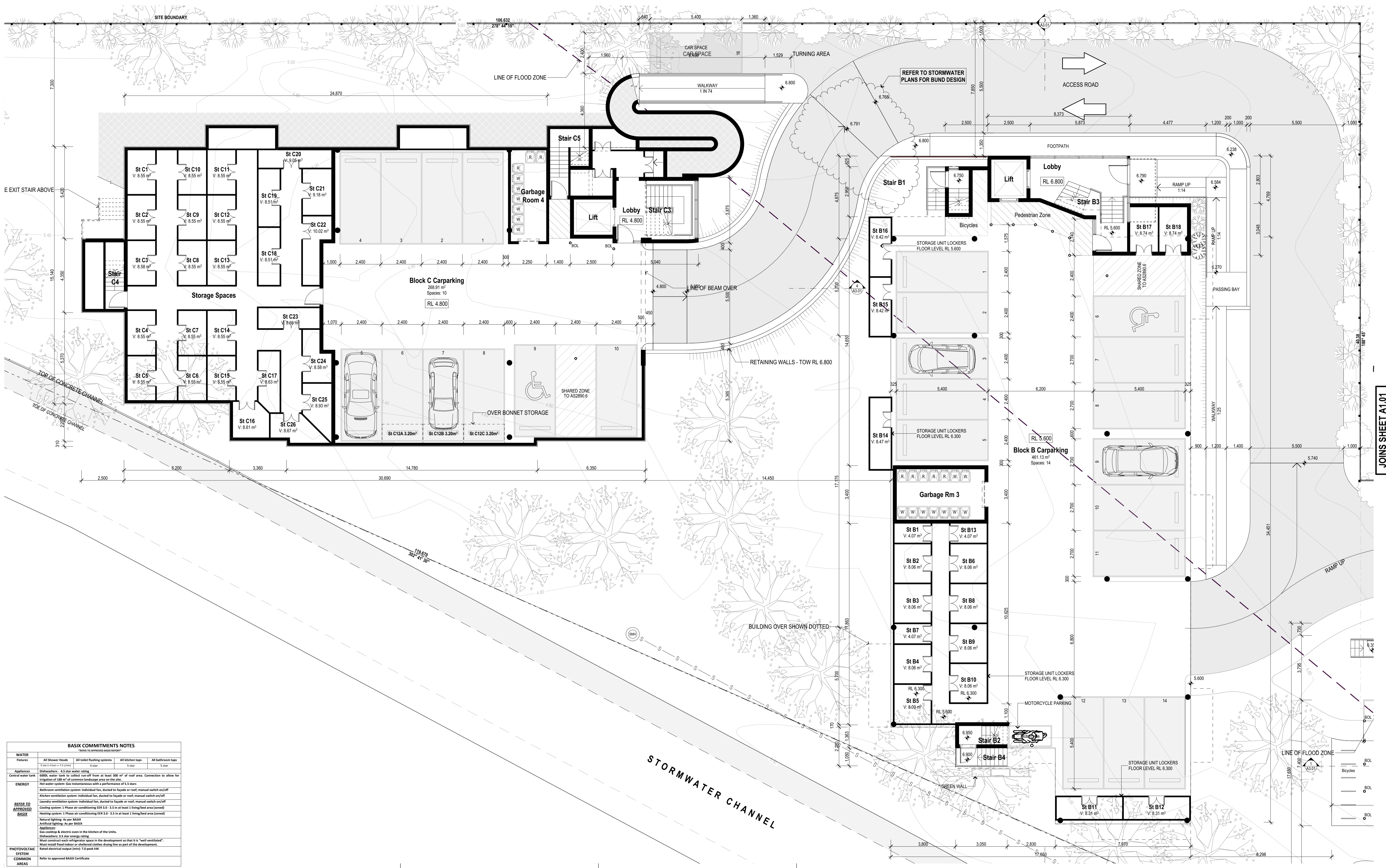
PROJECT
DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522 Maitland NSW 2320

TITLE
Floor Plans
Ground Floor Plan - Block A

SCALE: **1:100 on A1**
DATE: **3/12/2018**
DRAWN: **GB**

PROJECT
167
DRAWING No.
A1.01-G



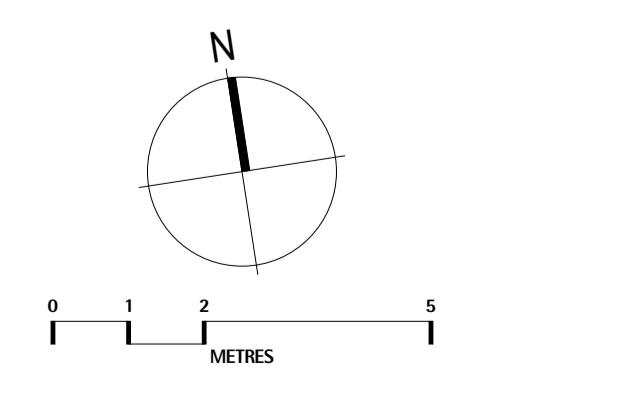
BASIX COMMITMENTS NOTES
Refer to approved BASIX Certificate

WATER	Appliances	ENERGY	PHOTOVOLTAIC SYSTEM COMMON AREAS
All Shower Heads 4 star All Toilet Flushing systems 4 star All Kitchen taps 5 star All Bathroom taps 5 star	Dishwashers - 4.5 star water rating 4 star 5 star	Hot water system: Gas instantaneous with a performance of 5.5 stars Bathroom ventilation system: Individual fan, ducted to facade or roof, manual switch on/off Kitchen ventilation system: Individual fan, ducted to facade or roof, manual switch on/off Laundry ventilation system: Individual fan, ducted to facade or roof, manual switch on/off Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned) Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned) Natural lighting: As per BASIX Artificial lighting: As per BASIX Appliances: Gas cooking & electric oven in the kitchen of the Units. Dishwashers: 3.5 star energy rating. Must construct each refrigerator space in the development so that it is "well ventilated". Must install fixed indoor or sheltered clothes drying line as part of the development. Rated electrical output (kW): 7.0 peak kW	Refer to approved BASIX Certificate

Building Elements	Material	Detail
External walls	Brick masonry - Level 1 & Level 2 Rubble + Furring Channel + Plasterboard - Level 3 Only	R1.5 bulk masonry
Internal walls within Units	Plasterboard on studs	-
Common walls between Units and stairs	Concrete Block + Furring Channel + Plasterboard	-
Common wall between units and the lobby/passage	Brick + Furring Channel + Plasterboard	-
Ceiling	Plasterboard	R2.5 bulk insulation to ceilings with metal roof above
Floors	Concrete - all levels	-
Roof	Metal roof	Anticon Stomew (W.L.) to underside of roof
Windows (to view B&B Only)	R1.0/1.0 floor entry Aluminum frame, single glazed high Solar Gain Low E	U value: 5.40 or less and SHGC 0.49 +/- 5%
Windows (to view of units)	R1.0/1.0 floor entry Aluminum frame, single glazed clear	U value: 6.70 or less and SHGC 0.57 +/- 5%
Lighting	Each unit has been rated with a non-ventilated LED downlights as per NABERS Certificate. <small>Note: LED ceiling lamps to all ensuite/bathrooms/balconies enclosed fans</small>	-

AMENDMENTS

Rev	Description	Date
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B	LDIG UPDATED PLANS	2/11/2016
C	REVISED DA PLANS	1/06/2017
D	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

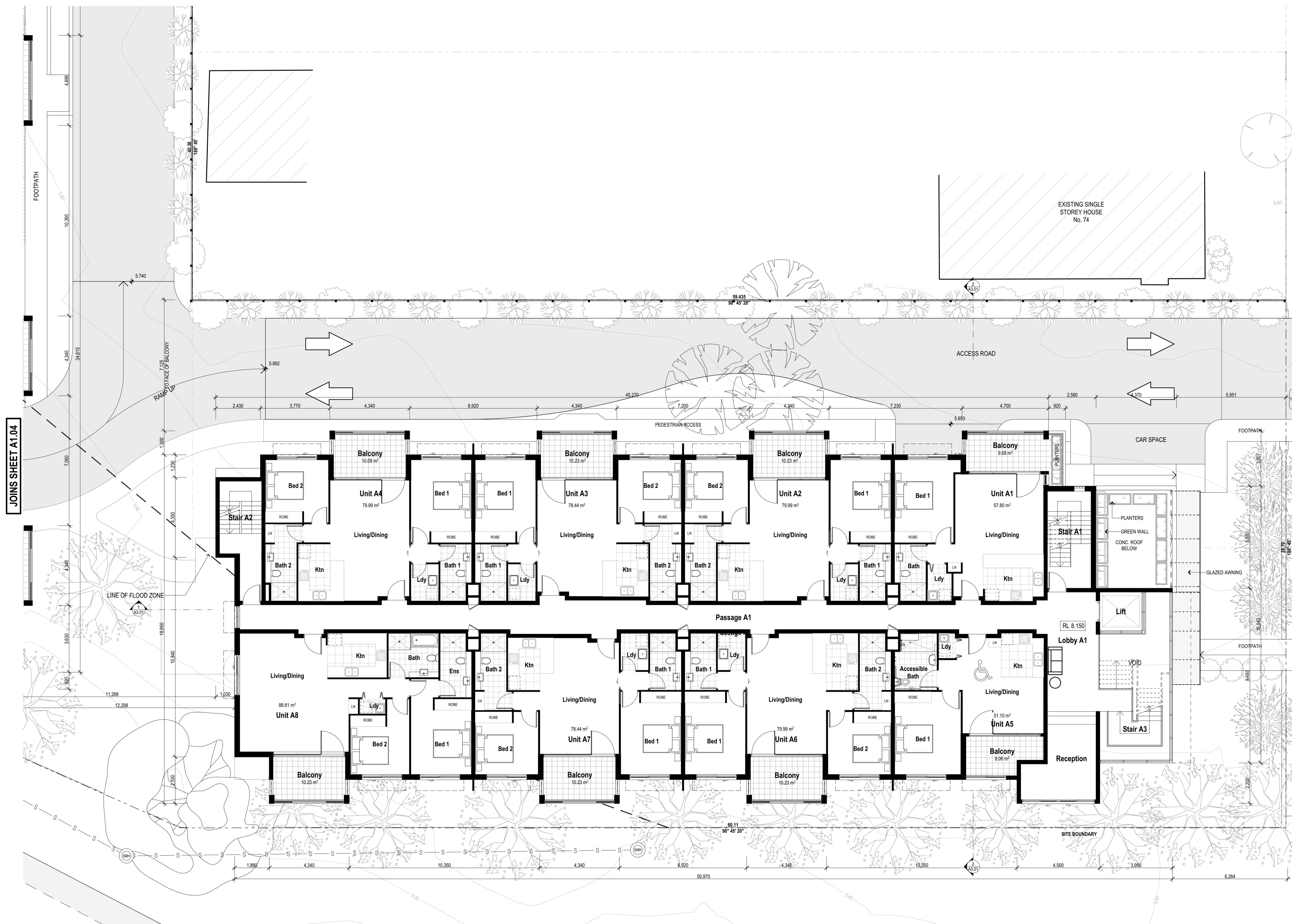
FOR
GHT Holdings Pty Ltd
 PO Box 522 Maitland NSW 2320

TITLE
Floor Plans
Ground Floor Plan - Blocks B + C

SCALE: **1:100 on A1**
 DATE: **4/12/2018**
 DRAWN: **GB**

PROJECT
167
 DRAWING No.
A1.02-G

JOINS SHEET A1.01



BASIX COMMITMENTS NOTES			
*Refer to approved BASIX Certificate			
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps
Fixtures	7 star	4 star	5 star
Appliances	Dishwashers - 4.5 star water rating	6 star	5 star
Central water tank	600L water tank to collect run-off from at least 300 m ² of roof area. Connection to allow for irrigation of 100 m ² of common landscape area on the site.		
ENERGY	Hot water system: Gas instantaneous with a performance of 5.5 stars		
	Mechanical ventilation system: Individual fan, ducted to facade or roof; manual switch on/off		
	Laundry ventilation system: Individual fan, ducted to facade or roof; manual switch on/off		
EEER TO APPROVED BASIX	Cooling system 1: Phase air-conditioning EER 3.0 - 3.5 in at least 3 living/bed area (zoned)		
	Heating system 1: Phase air-conditioning EER 3.0 - 3.5 in at least 3 living/bed area (zoned)		
	Natural lighting: As per BASIX		
	Artificial lighting: As per BASIX		
	Appliances: Gas cooking & electric oven in the kitchen of the Units.		
	Dishwashers: 3.5 star energy rating		
	Must construct each refrigeration space in the development to that it is "well ventilated".		
	Must install fixed indoor or sheltered clothes drying line as part of the development.		
PHOTOVOLTAIC SYSTEM	Rated electrical output (m ²): 7.0 peak kW		
COMMON AREAS	Refer to approved BASIX Certificate		

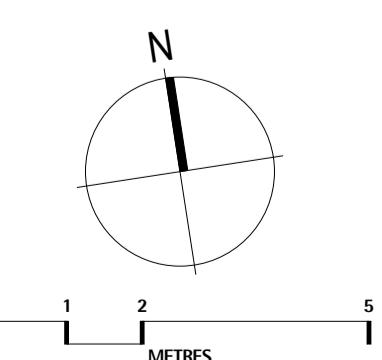
Building Elements	Material	Detail
External walls	Brick veneer - Level 1 & Level 2	R3.5 bulk insulation
Internal walls within Units	Plasterboard on stud	
Common walls between Units and stairs	Concrete Block + Furring Channel + Plasterboard	
Common wall between Units and the lobby/passage	Brick + Furring Channel + Plasterboard	
Floors	Concrete - all levels	R2.5 bulk insulation to ceilings with metal roof above
Roof	Concrete	Asbestos blanket (R3.5) to underside of roof
Windows (in sun bay only)	RL&M above only RL&M window/doors Aluminium frame, single glazed high Solar Gain Low E	U value 5.40 or less and SHGC 0.49 v/ - 5%
Windows (in rest of house)	RL&M above only RL&M window/doors and double hung windows Aluminium frame, single glazed clear	U value 5.40 or less and SHGC 0.58 v/ - 5%

Lighting: Each unit has been rated with a non-ventilated LED downlights as per Approved Certificate.
Note: Self-cleaning downspout for all residential buildings/tenants exhaust fans.

JOINS SHEET A1.04

BLUE GUM ROAD

AMENDMENTS		
Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	EDCS UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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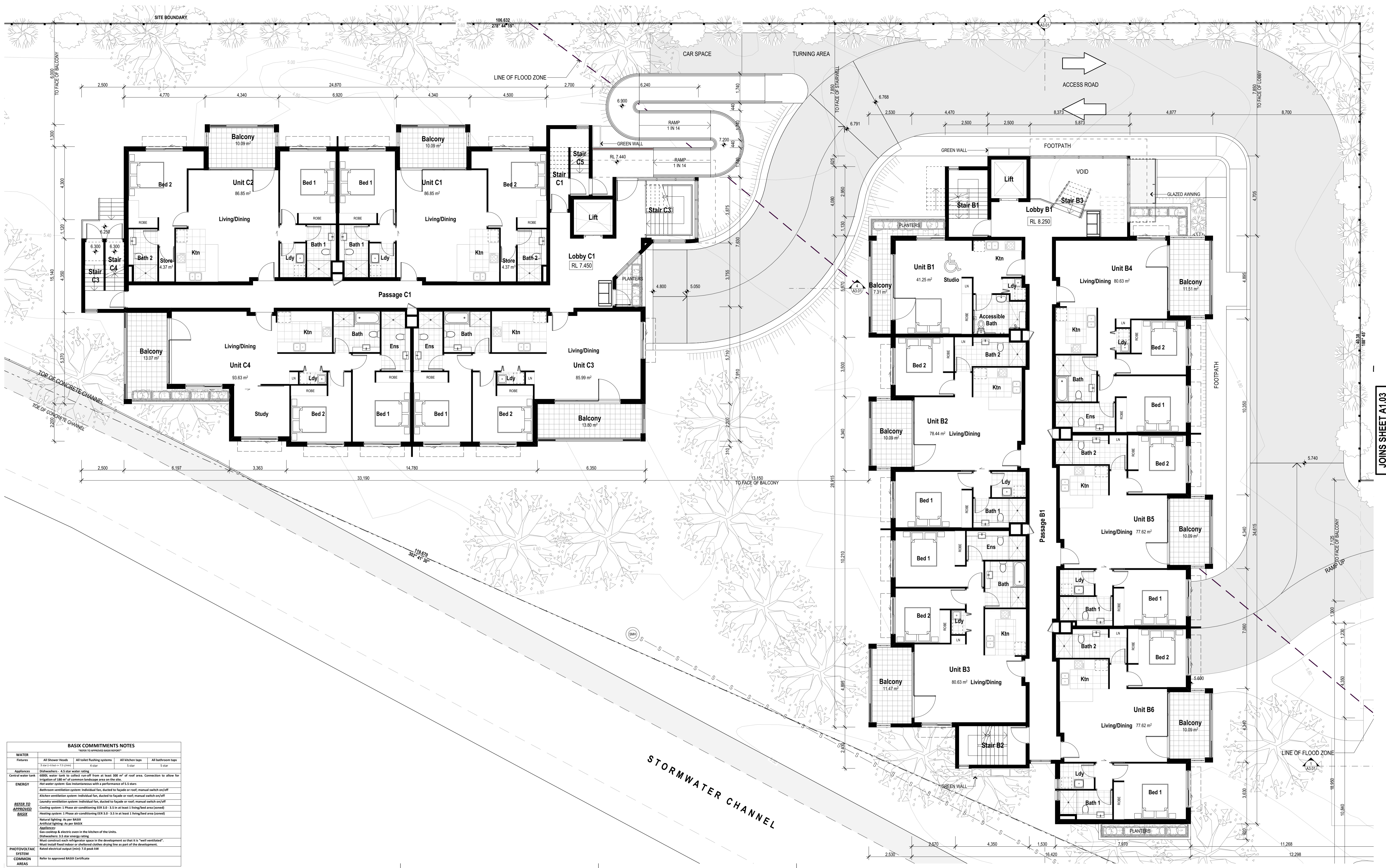
PROJECT
DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522, Maitland NSW 2320

TITLE
Floor Plans
Level 1 Floor Plan - Block A

SCALE: **1:100 on A1**
DATE: **3/12/2018**
DRAWN: **GB**

PROJECT
167
DRAWING No.
A1.03-G



JOINS SHEET A1.03

BASIX COMMITMENTS NOTES
Refer to approved BASIX Report

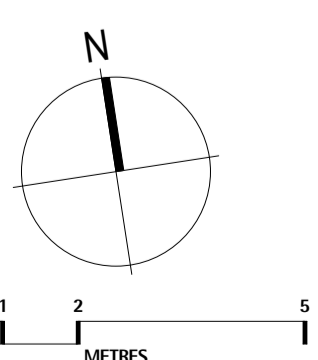
WATER	Plumbing	Appliances	ENERGY	PHOTOVOLTAIC SYSTEM COMMON AREAS
All Shower Heads 5 star or better 5.0 litres All toilet flushing systems 4 star All kitchen taps 5 star All bathroom taps 5 star	Dishwashers - 4.5 star water rating 4 star 5 star 5 star	6000L water tank to collect run-off from at least 300 m ² of roof area. Connection to allow for irrigation of 100 m ² of common landscape area on the site. Hot water system: Gas instantaneous with a performance of 5.5 stars Bathroom ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Kitchen ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Laundry ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned) Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)	Natural lighting: As per BASIX Artificial lighting: As per BASIX Appliances: Gas cooking & electric oven in the kitchen of the Units. Dishwashers: 3.5 star energy rating. Must construct each refrigerator space in the development so that it is "well ventilated". Must install fixed indoor or sheltered clothes drying line as part of the development. Rated electrical output (kW): 7.0 peak kW	Refer to approved BASIX Certificate

Building Elements	Material	Detail
External walls	Brick masonry - Level 1 & Level 2 Ribbon + Furring Channel + Plasterboard - Level 3 Only	R1.5 bulk masonry
Internal walls within Units	Plasterboard on studs	-
Common walls	Concrete Block + Furring Channel + Plasterboard	-
Units and stairs	Concrete Block + Furring Channel + Plasterboard	-
Common walls between Units	Brick + Furring Channel + Plasterboard	-
Common wall between units and the lobby/passage	Brick + Furring Channel + Plasterboard	-
Ceiling	Plasterboard	R2.5 bulk insulation to ceilings with metal roof above
Floors	Concrete - all levels	-
Roof	Metal roof Concrete	Anticon Stomper (WLL) to underside of roof
Windows (to view B&A Only)	R1.0W floor only Aluminium frame, single glazed high Solar Gain Low E Sliding windows/doors	U value: 5.40 or less and SHGC 0.49 +/- 5%
Windows (to view of units)	R1.0W floor only Aluminium frame, single glazed clear Sliding windows/doors and double hung windows Aluminium frame, single glazed clear	U value: 6.70 or less and SHGC 0.57 +/- 5%

Lighting: Each unit has been rated with a non-ventilated LED downlights as per NABERS Certificate.
 Note: Self-closing dampers to all extractive bathrooms/laundries exhaust fans.

AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	LDGS UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
 PO Box 522, Maitland NSW 2320

TITLE
Floor Plans
Level 1 Floor Plan - Blocks B + C

SCALE: **1:100 on A1**
 DATE: **3/12/2018**
 DRAWN: **GB**

PROJECT
167
 DRAWING No.
A1.04-G



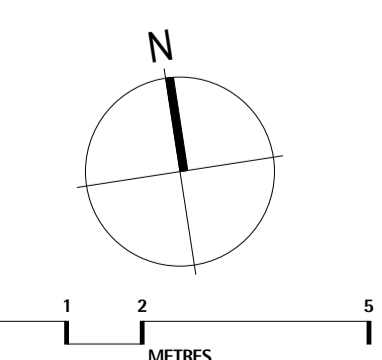
BASIX COMMITMENTS NOTES			
Refer to approved BASIX Certificate			
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps
Fixtures	7 star	6 star	5 star
Appliances	Diswashers - 4.5 star water rating	5 star	5 star
Central water tank	600L water tank to collect run-off from at least 300 m ² of roof area. Connection to allow for irrigation of 100 m ² of common landscape area on the site.		
ENERGY	Hot water system: Gas instantaneous with a performance of 5.5 stars		
EFFECTIVE APPROVED BASIX	Bathroom ventilation system: Individual fan, ducted to facade or roof; manual switch on/off		
	Kitchen ventilation system: Individual fan, ducted to facade or roof; manual switch on/off		
	Laundry ventilation system: Individual fan, ducted to facade or roof; manual switch on/off		
	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)		
Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
Natural lighting: As per BASIX			
Artificial lighting: As per BASIX			
Appliances: Gas cooking & electric oven in the kitchen of the Units.			
Diswashers: 3.5 star energy rating			
Must construct each refrigeration space in the development to that it is "well ventilated".			
Must install fixed indoor or sheltered clothes drying line as part of the development.			
Rated electrical output (mva): 7.0 peak MW			
PHOTOVOLTAIC SYSTEM	Refer to approved BASIX Certificate		
COMMON AREAS	Refer to approved BASIX Certificate		

Building Elements	Material	Detail
External walls	Brick veneer - Level 1 & Level 2 Hobbit + Furring Channel + Plasterboard - Level 1 Only	R3.5 Bulk insulation
Internal walls within Units	Plasterboard on studs	-
Common walls between Units and stairs	Concrete Block + Furring Channel + Plasterboard	-
Common walls between Units	Hobbit + Furring Channel + Plasterboard	-
Common wall between units and the lobby/passage	Hobbit + Furring Channel + Plasterboard	-
Ceiling	Plasterboard	R2.5 Bulk insulation to ceilings with metal roof above
Floors	Concrete - all levels	-
Roof	Concrete	Anticon blanket (R1.5) to underside of roof
Windows	RL 6000 above entry RL 6000 windows/doors Aluminium frames, single glazed high Solar Gain Low E	U value 5.40 or less and SHGC 0.49 v/ - 5%
Roof	Concrete	-
Windows	RL 6000 above entry RL 6000 windows/doors and double hung windows Aluminium frames, single glazed clear	U value 5.40 or less and SHGC 0.58 v/ - 5%
Roof	Concrete	-
Windows	RL 6000 above entry RL 6000 windows/doors and double hung windows Aluminium frames, single glazed clear	U value 6.70 or less and SHGC 0.57 v/ - 5%
Roof	Concrete	-
Windows	RL 6000 above entry RL 6000 windows/doors and double hung windows Aluminium frames, single glazed clear	U value 6.70 or less and SHGC 0.70 v/ - 5%
Roof	Concrete	-

JOINS SHEET A1.06

BLUE GUM ROAD

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	EDCIS UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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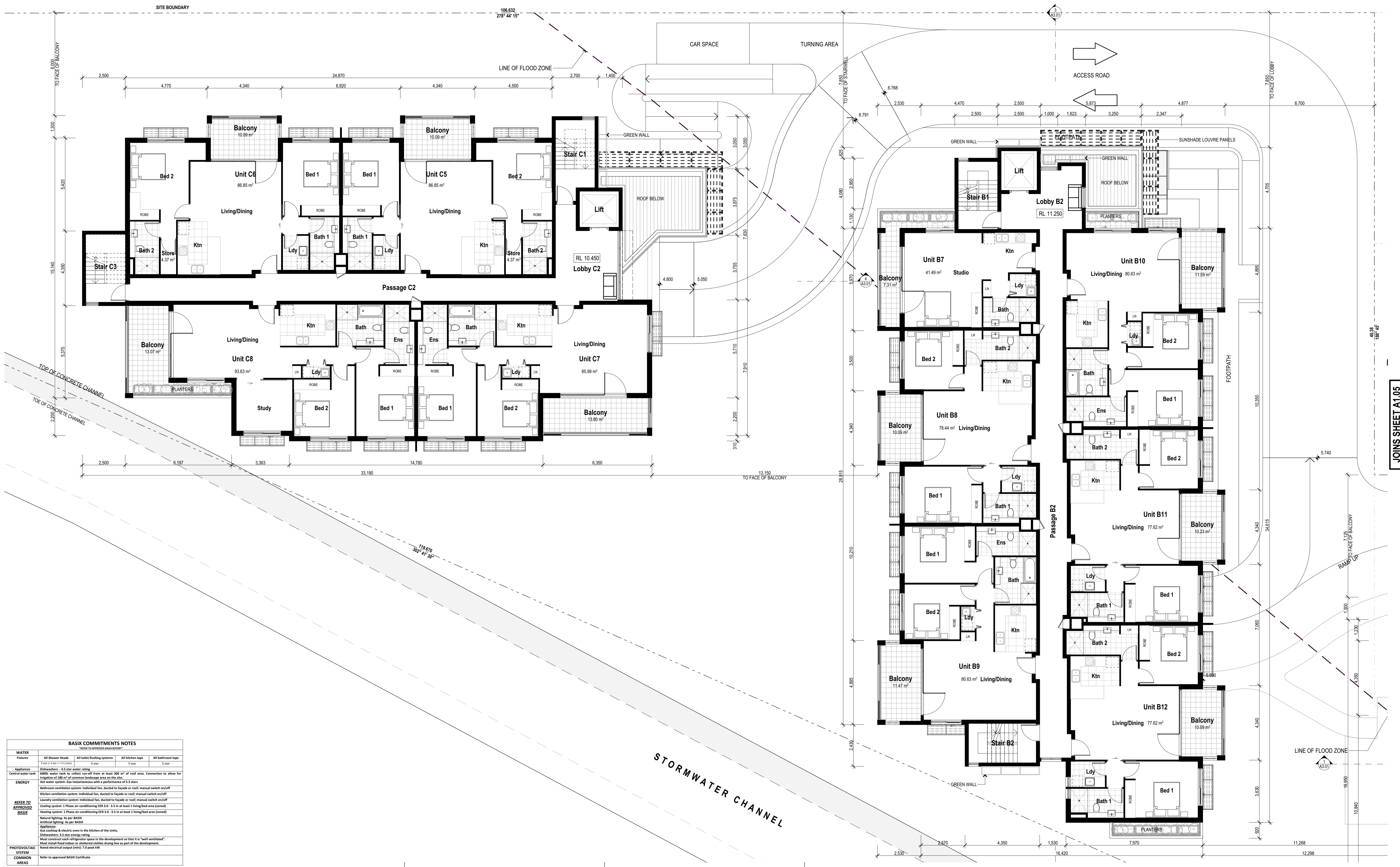
PROJECT
DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522, Maitland NSW 2320

TITLE
Floor Plans
Level 2 Floor Plan - Block A

SCALE: **1:100 on A1**
DATE: **3/12/2018**
DRAWN: **GB**

PROJECT
167
DRAWING No.
A1.05-G



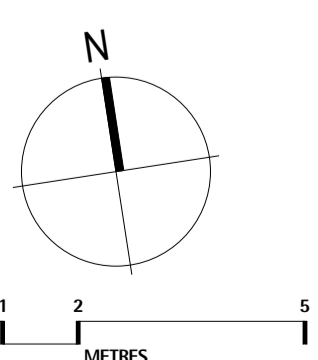
BASIX COMMITMENTS NOTES
REFER TO APPROVED BASIX REPORT

WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Fixtures	5 star or better (5.0 stars)	4 star	5 star	5 star
Appliances	Dishwashers - 4.5 star water rating	4 star	5 star	5 star
Central water tank	6000L water tank to collect run-off from at least 300 m ² of roof area. Connection to allow for irrigation of 100 m ² of common landscape area on the site.			
ENERGY	Hot water system: Gas instantaneous with a performance of 5.5 stars Bathroom ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Kitchen ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Laundry ventilation system: Individual fan, ducted to facade or roof; manual switch on/off Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned) Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)			
BASIX APPROVED	Natural lighting: As per BASIX Artificial lighting: As per BASIX Appliances: Gas cooking & electric oven in the kitchen of the Units. Dishwashers: 3.5 star energy rating. Must construct each refrigerator space in the development so that it is "well ventilated". Must install fixed indoor or sheltered clothes drying line as part of the development.			
PHOTOVOLTAIC SYSTEM	Rated electrical output (kW): 7.2 peak kW			
COMMON AREAS	Refer to approved BASIX Certificate			

Building Elements	Material	Detail
External walls	Brick veneer - Level 1 & Level 2 Rubble + Furring Channel + Plasterboard - Level 3 Only	R1.5 bulk masonry
Internal walls within Units	Plasterboard on studs	
Common walls	Concrete Block + Furring Channel + Plasterboard	
Units and stairs	Concrete Block + Furring Channel + Plasterboard	
Common walls between Units	Rubble + Furring Channel + Plasterboard	
Common wall between units and the lobby/passage	Rubble + Furring Channel + Plasterboard	
Ceiling	Plasterboard	R2.5 bulk insulation to ceilings with metal roof above
Floors	Concrete - all levels	
Roof	Metac roof Concrete	Anticon Stomper (WLL) to underside of roof
Windows (to view B&A Only)	R1.0/1.0 floor only Aluminum frame, single glazed high Solar Gain Low E Sliding windows/doors Aluminum frame, single glazed high Solar Gain Low E	U value: 5.40 or less and SHGC 0.49 +/- 5% U value: 5.40 or less and SHGC 0.58 +/- 5%
Windows (to view of units)	R1.0/1.0 floor only Aluminum frame, single glazed clear Sliding windows/doors and double hung windows Aluminum frame, single glazed clear	U value: 6.70 or less and SHGC 0.57 +/- 5% U value: 6.70 or less and SHGC 0.70 +/- 5%
Lighting	Each unit has been rated with a non-ventilated LED downlight as per NABERS Certificate.	
Other	Self-closing dampers to all emergency exits/bathrooms/balconies enclosed fire.	

AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	ISSUE UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

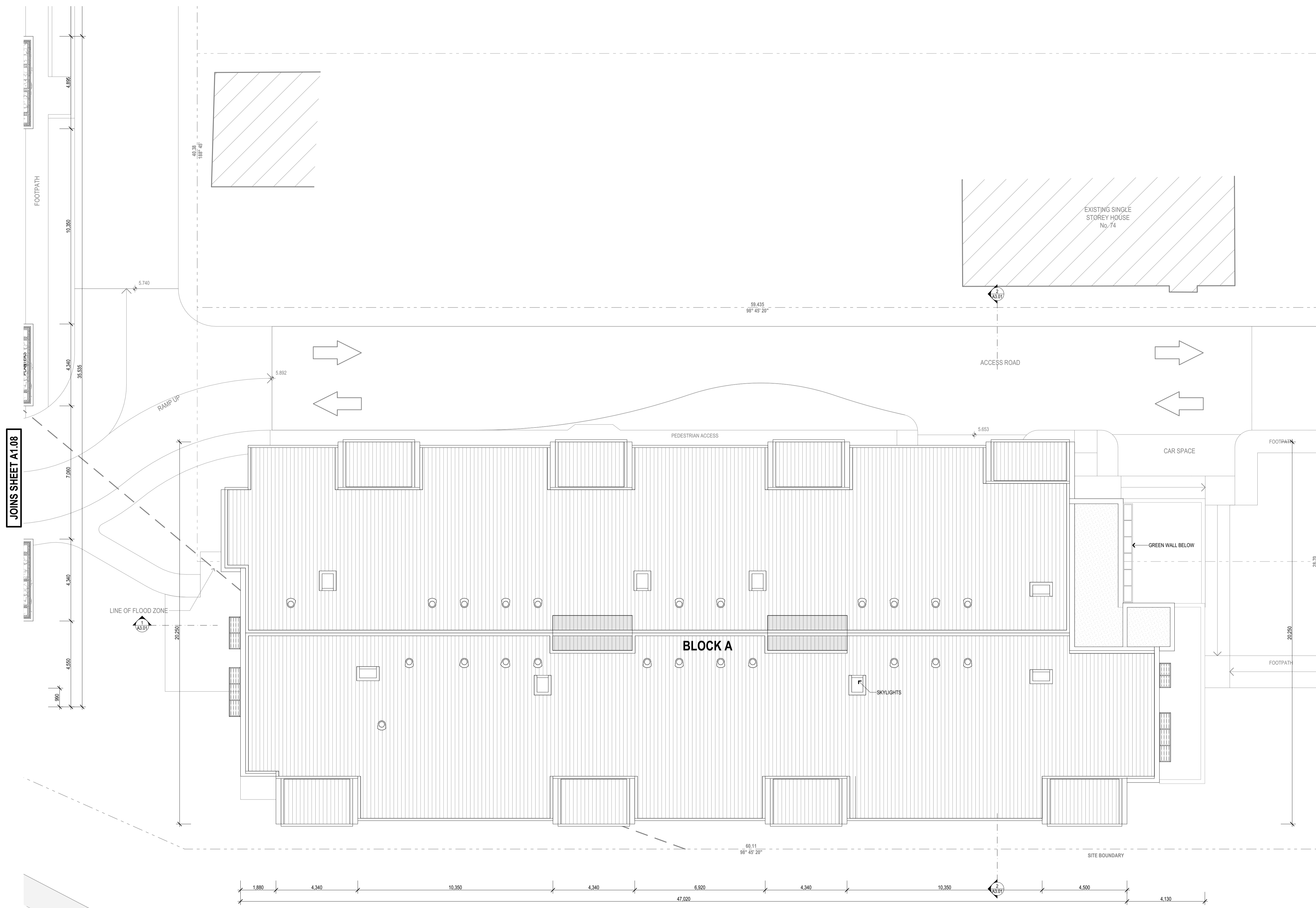
FOR
GHT Holdings Pty Ltd
 PO Box 522, Maitland NSW 2320

TITLE
Floor Plans
Level 2 Floor Plan - Blocks B + C

SCALE: **1:100 on A1**
 DATE: **3/12/2018**
 DRAWN: **GB**

PROJECT
167
 DRAWING No.
A1.06-G

JOINS SHEET A1.05



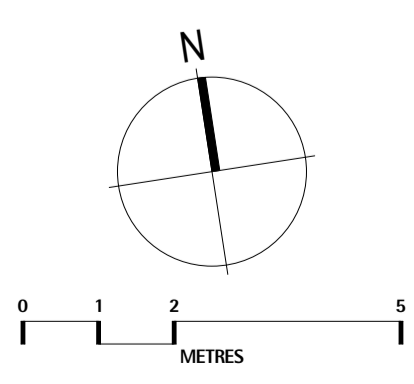
JOINS SHEET A1.08

BASIX COMMITMENTS NOTES			
refer to approved BASIX model			
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps
Fixtures	7 star (4 star + 3 litres)	6 star	5 star
Appliances	Dishwashers - 4.5 star water rating	5 star	5 star
Central water tank	6000L water tank to collect run-off from at least 300 m ² of roof area. Connection to allow for irrigation of 100 m ² of common landscape area on the site.		
ENERGY	Hot water system: Gas instantaneous with a performance of 5.5 stars		
Bathroom ventilation system	Individual fan, ducted to facade or roof; manual switch on/off		
24-hour ventilation system	Individual fan, ducted to facade or roof; manual switch on/off		
Laundry ventilation system	Individual fan, ducted to facade or roof; manual switch on/off		
EEER TO APPROVED BASIX	Cooling system 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)		
Heating system	1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zoned)		
Natural lighting	As per BASIX		
Artificial lighting	As per BASIX		
Appliances	Gas cooking & electric even in the kitchen of the Units.		
Dishwashers	3.5 star energy rating		
Must construct each refrigeration space in the development so that it is "well ventilated".	Must install fixed indoor or sheltered clothes drying line as part of the development.		
Rated electrical output (mva)	7.0 peak kW		
PHOTOVOLTAIC SYSTEM	Refer to approved BASIX Certificate		
COMMON AREAS	Refer to approved BASIX Certificate		

Building Elements	Material	Detail
External walls	Brick veneer - Level 1 & Level 2 Hobbit + Furring Channel + Plasterboard - Level 1 Only	R1.5 Bulk insulation
Internal walls within Units	Plasterboard on studs	-
Common walls between Units	Concrete Block + Furring Channel + Plasterboard	-
Units and stairs	Hobbit + Furring Channel + Plasterboard	-
Common walls between Units and the lobby/passage	Hobbit + Furring Channel + Plasterboard	-
Ceiling	Plasterboard	R2.5 bulk insulation to ceilings with metal roof above
Floors	Concrete - all levels	-
Roof	Asph/Flt	Asph/Flt blanket (R1.5) to underside of roof
Windows	Alu/Steel above entry Alu/Steel window/doors Aluminium frame, single glazed high Solar Gain Low E	U value 5.40 or less and SHGC 0.69 v/ 5%
Windows	Alu/Steel above entry Alu/Steel window/doors and double hung windows Aluminium frame, single glazed clear	U value 5.40 or less and SHGC 0.58 v/ 5%
Windows	Alu/Steel above entry Alu/Steel window/doors and double hung windows Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.57 v/ 5%
Windows	Alu/Steel above entry Alu/Steel window/doors and double hung windows Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 v/ 5%

BLUE GUM ROAD

Rev	Description	Date
A	Issued for Development Application	1/08/2016
B	LDG'S UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522, Maitland NSW 2320

TITLE
Floor Plans
Level 3 Roof Plan - Block A

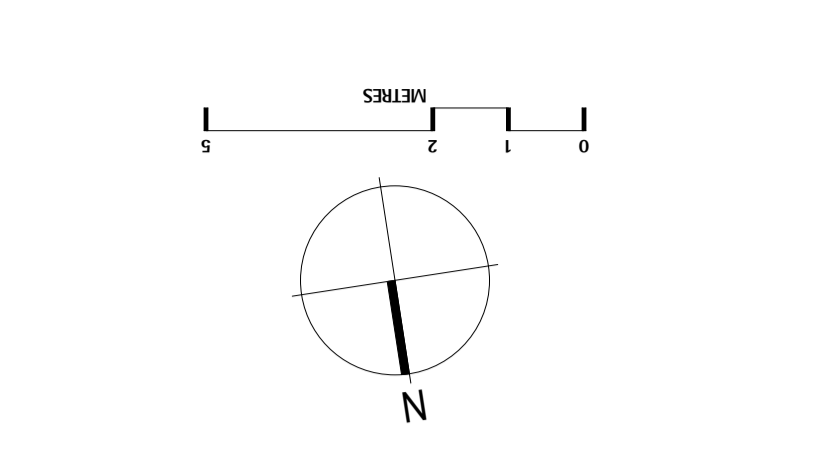
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DATE: **3/12/2018**
DRAWN: **GB**

PROJECT
167
DRAWING No.
A1.07-G

Building Elements	Material	Detail
External walls	Brickwork - Level 3, 4, 5	Refer to Section 3.1
Internal walls	Brickwork - Level 3, 4, 5	Refer to Section 3.1
Common walls	Brickwork - Level 3, 4, 5	Refer to Section 3.1
Unit walls	Brickwork - Level 3, 4, 5	Refer to Section 3.1
Roof	Concrete - all levels	Refer to Section 3.1
Floor	Concrete - all levels	Refer to Section 3.1
Staircase	Concrete - all levels	Refer to Section 3.1
Columns	Concrete - all levels	Refer to Section 3.1
Beams	Concrete - all levels	Refer to Section 3.1
Lintels and Sills	Concrete - all levels	Refer to Section 3.1
Windows	Aluminium - all levels	Refer to Section 3.1
Doors	Aluminium - all levels	Refer to Section 3.1
Handrails	Aluminium - all levels	Refer to Section 3.1
Lighting	Aluminium - all levels	Refer to Section 3.1
Plumbing	Aluminium - all levels	Refer to Section 3.1
Electrical	Aluminium - all levels	Refer to Section 3.1
Fire	Aluminium - all levels	Refer to Section 3.1
Other	Aluminium - all levels	Refer to Section 3.1

WATER	Plumbing	Water supply	Water treatment	Water storage	Water distribution	Water disposal
Water supply	Water supply	Water supply	Water supply	Water supply	Water supply	Water supply
Water treatment	Water treatment	Water treatment	Water treatment	Water treatment	Water treatment	Water treatment
Water storage	Water storage	Water storage	Water storage	Water storage	Water storage	Water storage
Water distribution	Water distribution	Water distribution	Water distribution	Water distribution	Water distribution	Water distribution
Water disposal	Water disposal	Water disposal	Water disposal	Water disposal	Water disposal	Water disposal

Rev	Description	Date
A	Issued for Development Application	1/10/2018
B	LOCK UP/ALTERED PLANS	21/10/2018
C	REVISED PLANS	17/10/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 98 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	31/10/2018



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Architecture and Interiors

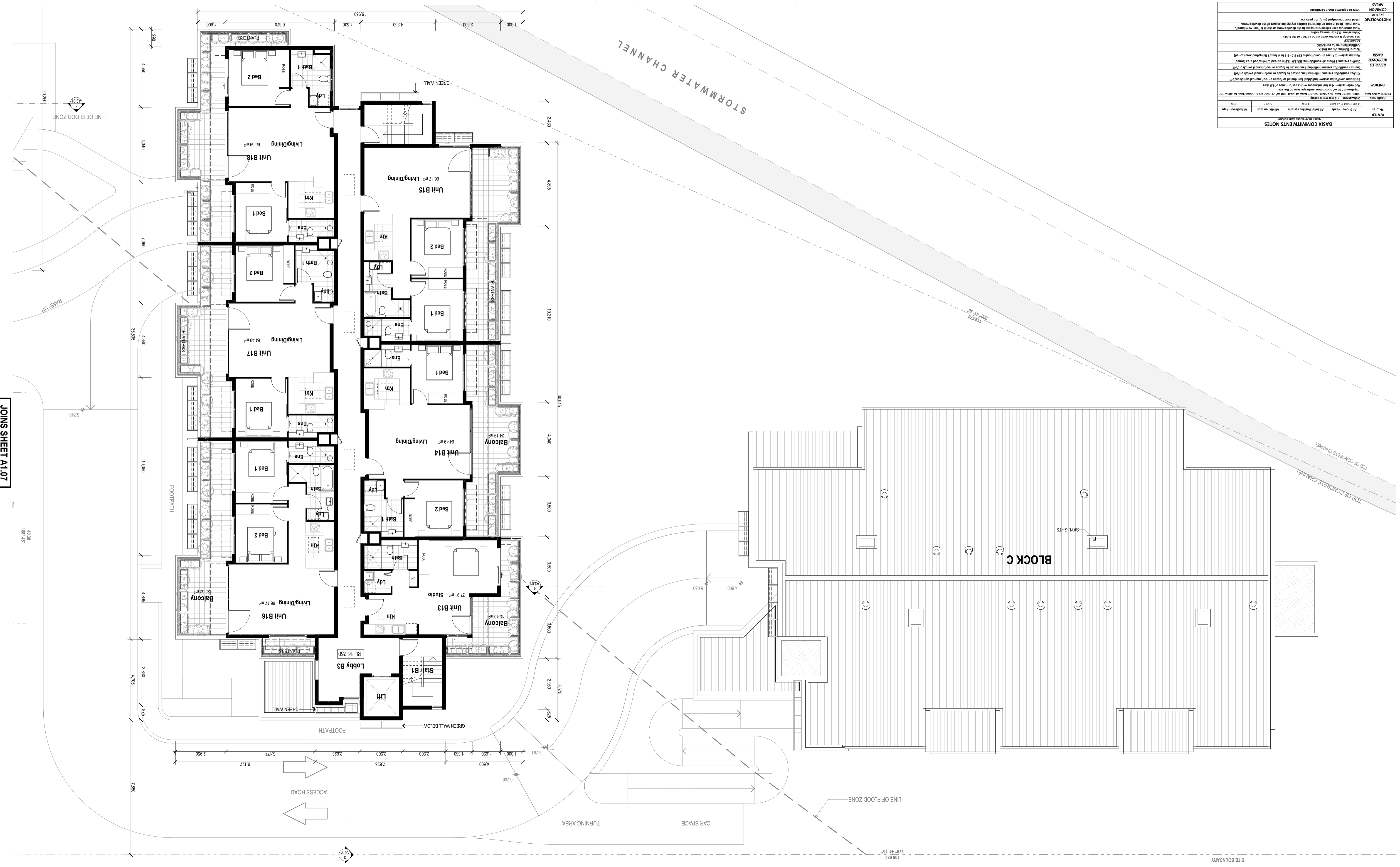
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DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522 Millfield NSW 2320

Level 3 Floor Plan - Blocks B + C
Floor Plans

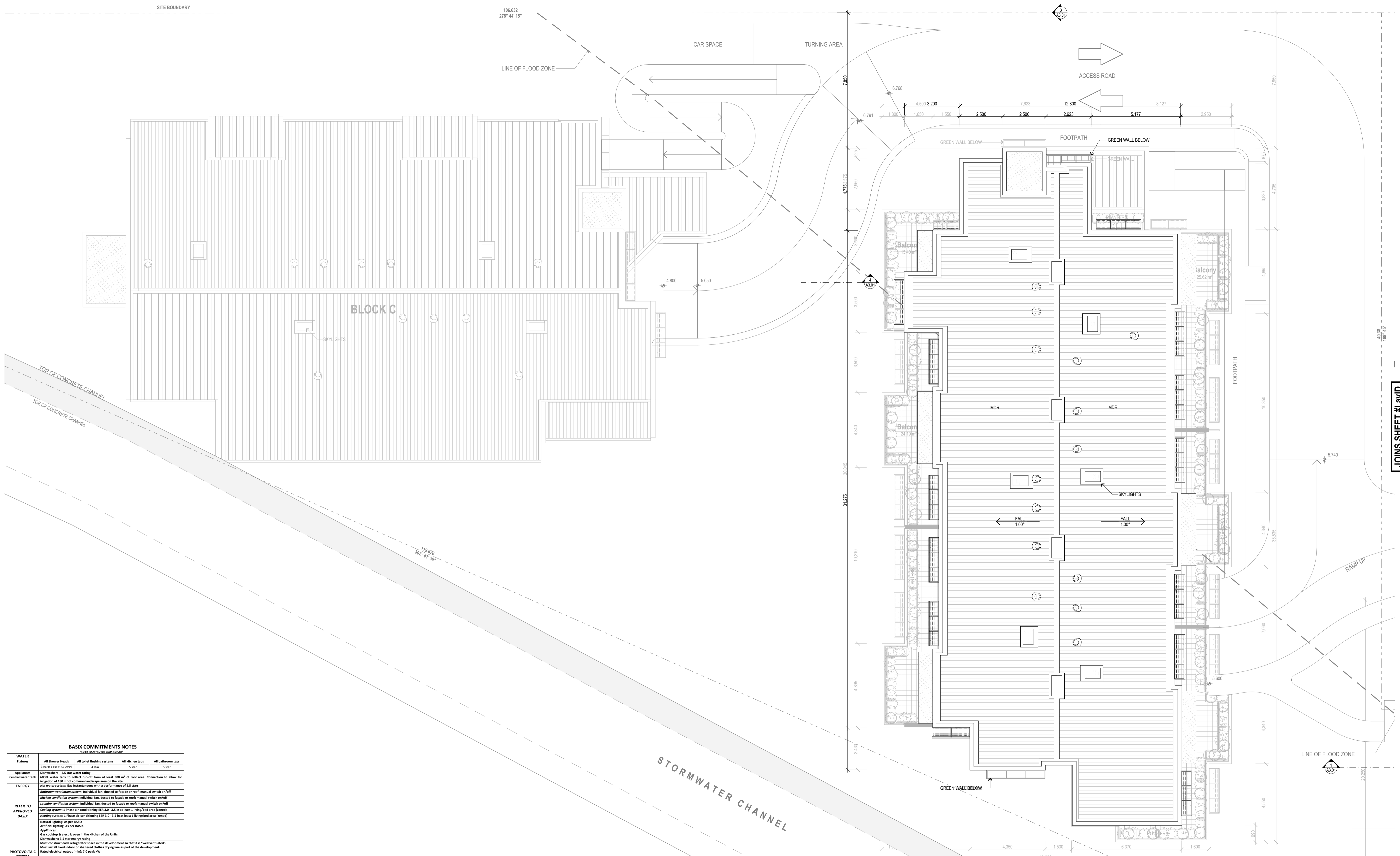
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DATE: 3/12/2018
DRAWING NO: A1.08-G
PROJECT: 167



JOINS SHEET A1.07

SITE BOUNDARY

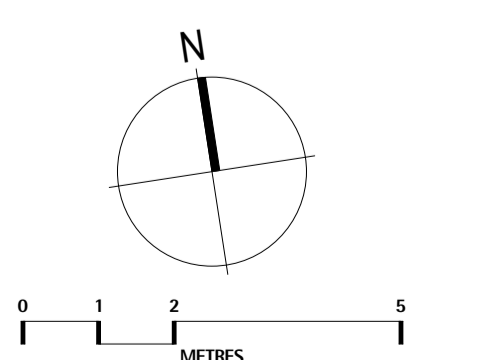
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278° 44' 15"



BASIX COMMITMENTS NOTES		Refer to APPROVED BASIX Report*
WATER	All Shower Heads	All kitchen taps
Appliances	Dishwashers - 4.5 star water rating	5 star
Central water tank	6000L water tank to collect run-off from at least 300 m ² of roof area. Connection to allow for irrigation of 100 m ² of common landscape area on the site.	
ENERGY	Hot water system: Gas instantaneous with a performance of 5.5 stars	
BREEED APPROVED BASIX	Natural lighting: As per BASIX	
PHOTOVOLTAIC SYSTEM	Refer to approved BASIX Certificate	

Building Elements	Material	Detail
External walls	Brick masonry - Level 1 & Level 2	R1.5 bulk masonry
Internal walls within units	Plasterboard on studs	-
Common walls between units and stairs	Concrete Block + Furring Channel + Plasterboard	-
Common walls between units	Brick + Furring Channel + Plasterboard	-
Common wall between units and the lobby/passage	Brick + Furring Channel + Plasterboard	-
Ceiling	Plasterboard	R2.5 bulk insulation to ceilings with metal roof above
Floors	Concrete - all levels	-
Roof	Concrete	Arcton Storm (WLL) to underside of roof
Windows (to view B&A Only)	Alu/Steel floor only	U value 5.40 or less and SHGC 0.49 +/- 5%
Windows (to view of units)	Alu/Steel floor only	U value 6.70 or less and SHGC 0.57 +/- 5%

AMENDMENTS		
Rev	Description	Date
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522, Maitland NSW 2320

TITLE
Floor Plans
Roof Plan - Blocks B + C

SCALE: **1:100 on A1**
DATE: **3/12/2018**
DRAWN: **GB**

PROJECT
167
DRAWING No.
A1.09-G

JOINS SHEET #LayID
(ref)



North Elevation

1

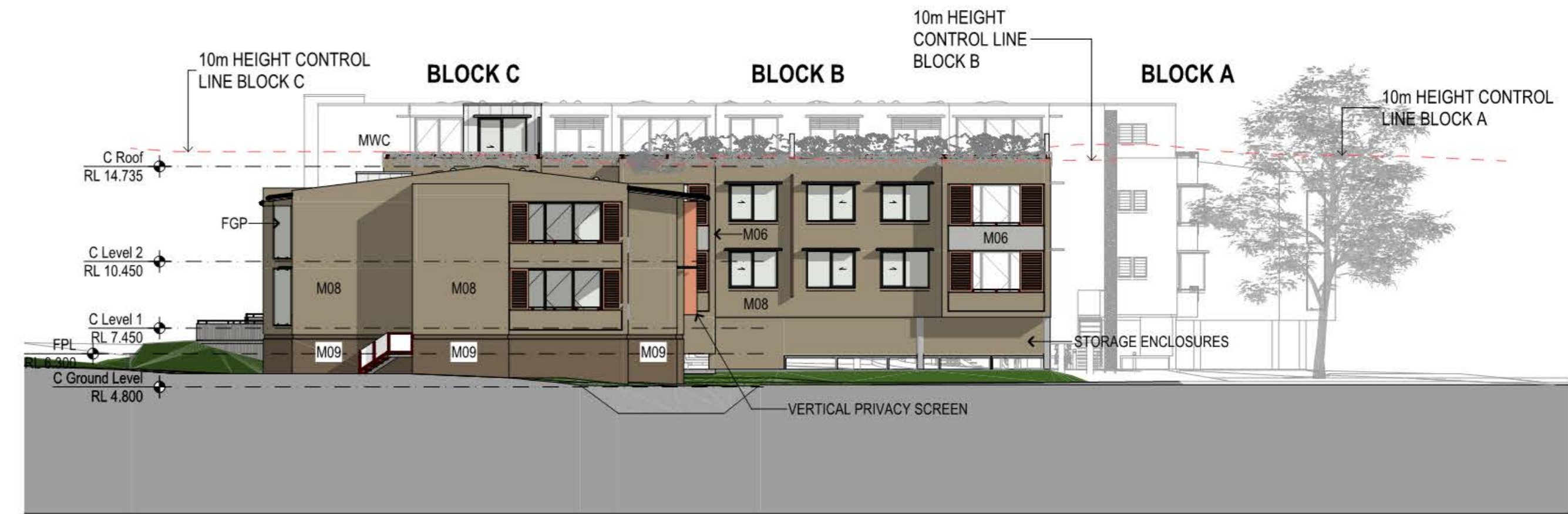
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East Elevation

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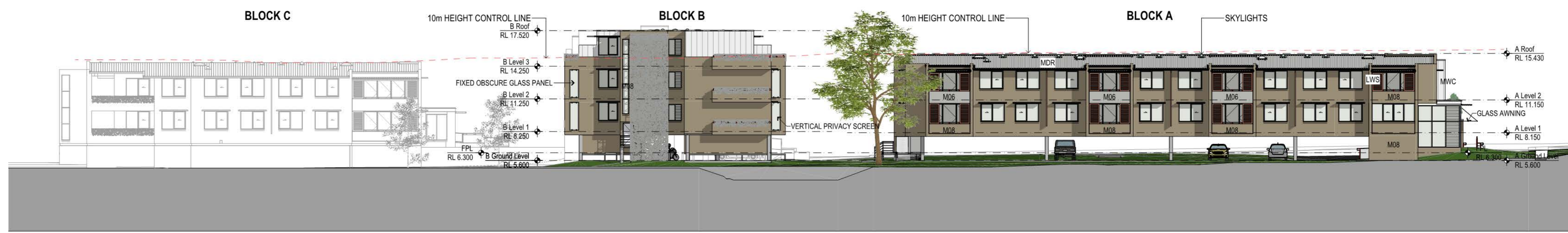
1:200



West Elevation

3

1:200



South Elevation

4

1:200

BASIS COMMITMENTS NOTES			
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps
APPLIANCES	Refrigerator	4.5 star energy rating	Washing machine
ENERGY	Minimum ventilation system: Individual fan, ducted to terrace or roof, manual switch on/off	Electric ventilation system: Individual fan, ducted to terrace or roof, manual switch on/off	Electric ventilation system: Individual fan, ducted to terrace or roof, manual switch on/off

Building Elements	Material	Detail
External walls	Black Verox - Level 2 & Level 3 Hobas + Furring Channel + Plasterboard - Level 3 Dns	R1.5 bulk insulation
Internal walls within Units	Plasterboard on studs	
Common walls between Units and stairs	Concrete Block + Furring Channel + Plasterboard	
Common walls between Units	Hobas + Furring Channel + Plasterboard	
Common wall between units and the lobby/passage	Hobas + Furring Channel + Plasterboard	
Ceiling	Plasterboard	R1.5 bulk insulation to ceiling with metal roof above
Floor	Concrete - all levels	
Roof	Metal Roof	Anticorrosion (R1.5) to underside of roof

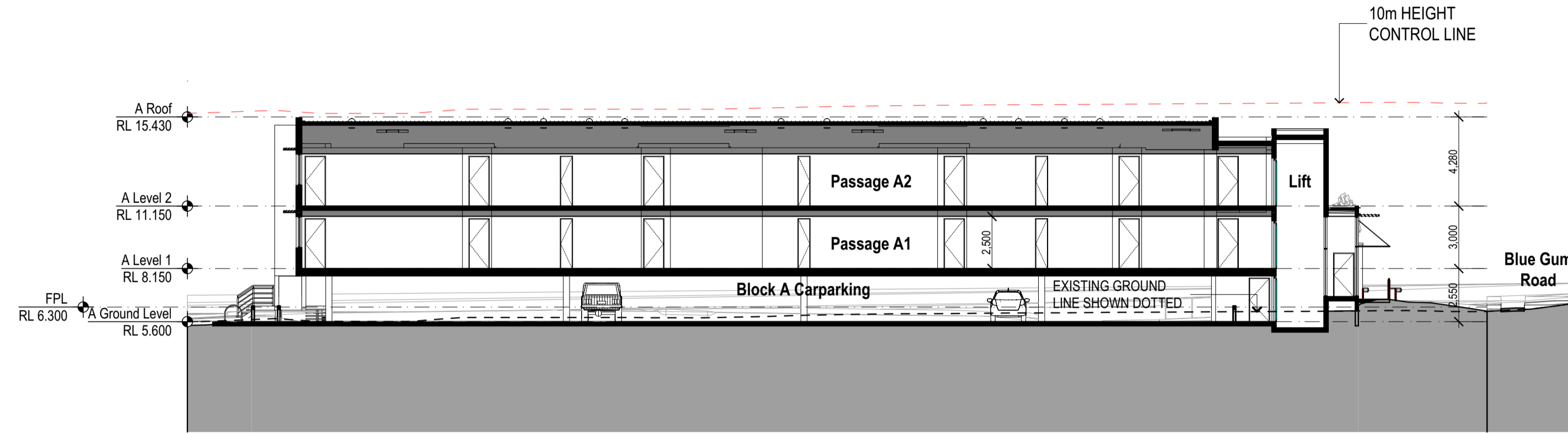
AMENDMENTS		
Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	DDCC UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018

LEGEND - ELEVATIONS	
BAL	Balustrade
FGP	Fixed glass panel
LVS	Louvre shutters (sliding) - aluminium
MDR	Metal deck roofing - Colorbond 'Shale Grey'
MWC	Metal wall cladding - zinc panels

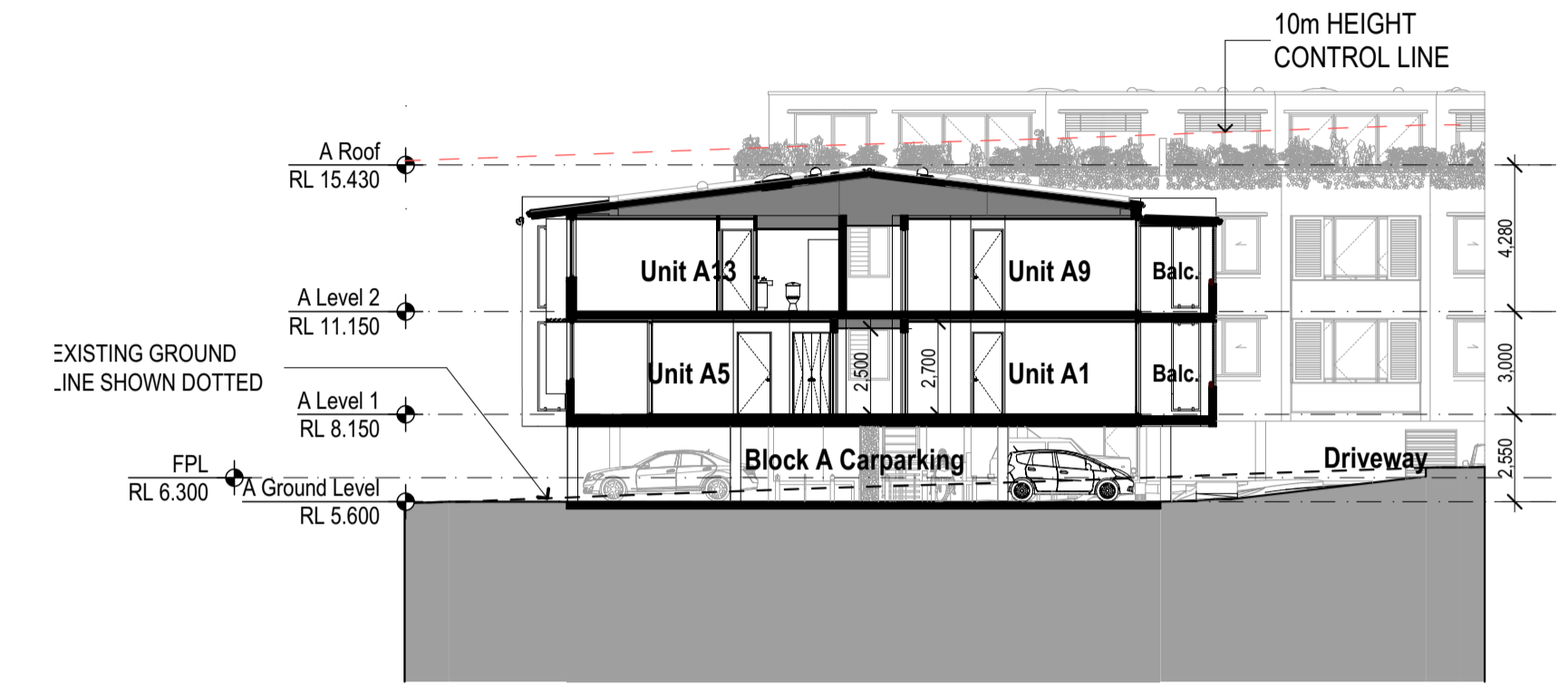

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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299
 FOR
GHT Holdings Pty Ltd
 PO Box 522, Maitland NSW 2320

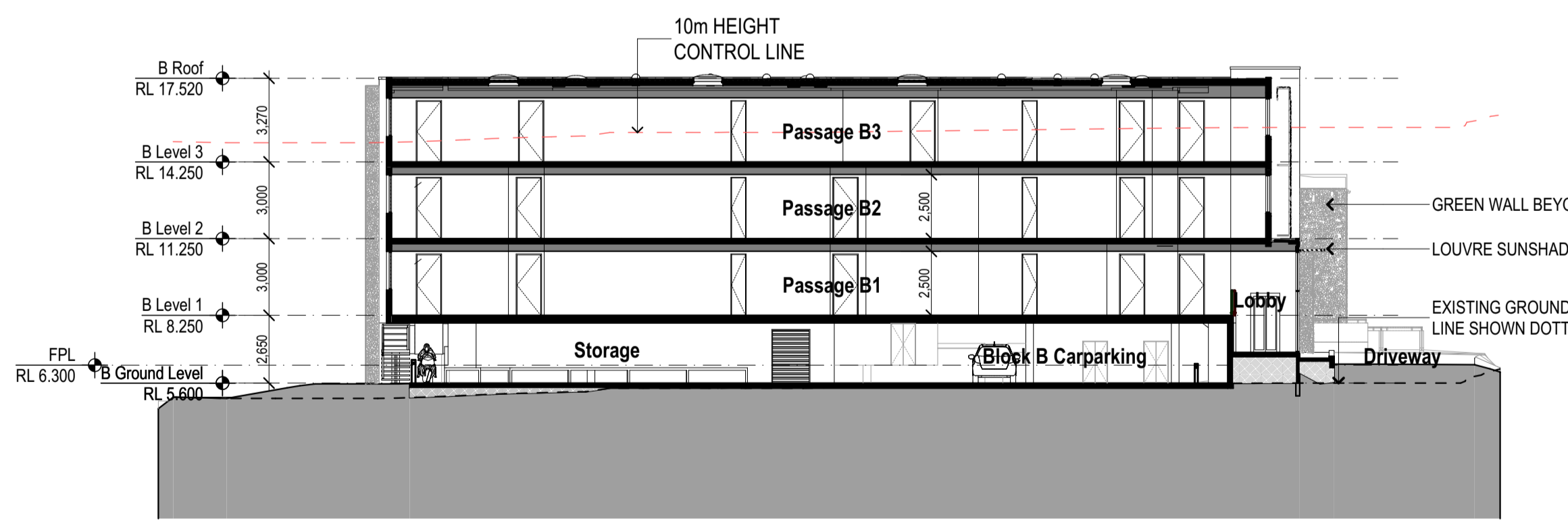
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 DRAWN: **GB**
 PROJECT
167
 DRAWING No.
A2.01-G



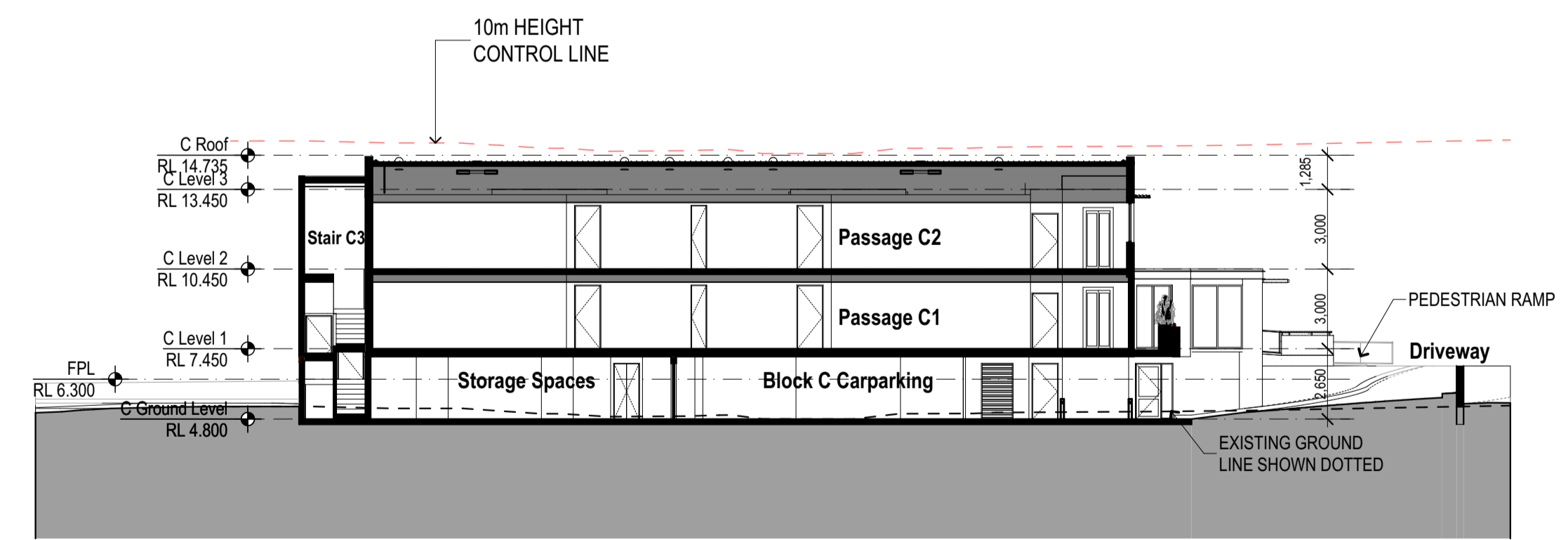
1 Section 1 - Block A 1:200



2 Section 2 - Block A 1:200



3 Section 3 - Block B 1:200

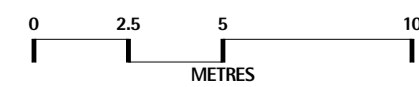


4 Section 4 - Block C 1:200

BASIX COMMITMENTS NOTES	
WATER	All Shower Heads All toilet flushing systems All kitchen taps All bathroom taps
Appliances	Dishwashers - 4.5 star water rating Washing machines - 5 star energy rating Refrigerators - 4.5 star energy rating
ENERGY	Bathroom ventilation system: Individual fan, ducted to facade or roof, manual switch on/off Kitchen ventilation system: Individual fan, ducted to facade or roof, manual switch on/off Mechanical ventilation system: Individual fan, ducted to facade or roof, manual switch on/off Cooling system: 3 Phase air conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zone) Heating system: 3 Phase air conditioning EER 3.0 - 3.5 in at least 1 living/bed area (zone) Artificial lighting: As per BASIX Artificial lighting: As per BASIX Day lighting & electric oven in the kitchen of the units. Displacement 5.5 star energy rating. Must connect each refrigerator space in the development as that is "well ventilated". Must install floor induction or induction cooking stove as part of the development. Rated electrical output (max) 7.0 peak kW
PHOTOVOLTAIC SYSTEM	Refer to approved BASIX Certificate
COMMON AREAS	Refer to approved BASIX Certificate

Building Elements	Material	Detail
External walls	Brick Veneer - Level 2 & Level 3 Fibrolite + Furring Channel + Plasterboard - Level 3 Only	R1.5 bulk insulation
Internal walls within Units	Plasterboard on studs	-
Common walls between Units and stairs	Concrete blocks + Furring channel + Plasterboard	-
Common walls between Units and the lobby/passage	Fibrolite + Furring Channel + Plasterboard	-
Ceilings	Plasterboard	R1.5 bulk insulation to ceiling with metal roof above
Floors	Concrete - all levels	-
Roof	Metal roof	Aircon Market (R1.3) to underside of roof
Windows (to Unit R14 Only)	Aluminium frame, single glazed High Solar Gain Low E Aluminium frame, single glazed High Solar Gain Low E Aluminium frame, single glazed Clear Aluminium frame, single glazed Clear	U value 5.40 or less and SHGC 0.49 +/- 5% U value 5.40 or less and SHGC 0.58 +/- 5% U value 6.70 or less and SHGC 0.57 +/- 5% U value 6.70 or less and SHGC 0.70 +/- 5%
Windows (to rest of units)	Aluminium frame, single glazed Clear Aluminium frame, single glazed Clear	U value 6.70 or less and SHGC 0.57 +/- 5% U value 6.70 or less and SHGC 0.70 +/- 5%
Lighting	Refer to approved BASIX Certificate	Refer to approved BASIX Certificate
Lighting	Refer to approved BASIX Certificate	Refer to approved BASIX Certificate

Rev	Description	Date
A	Issued for Development Application	1/08/2016
B	ISSUE UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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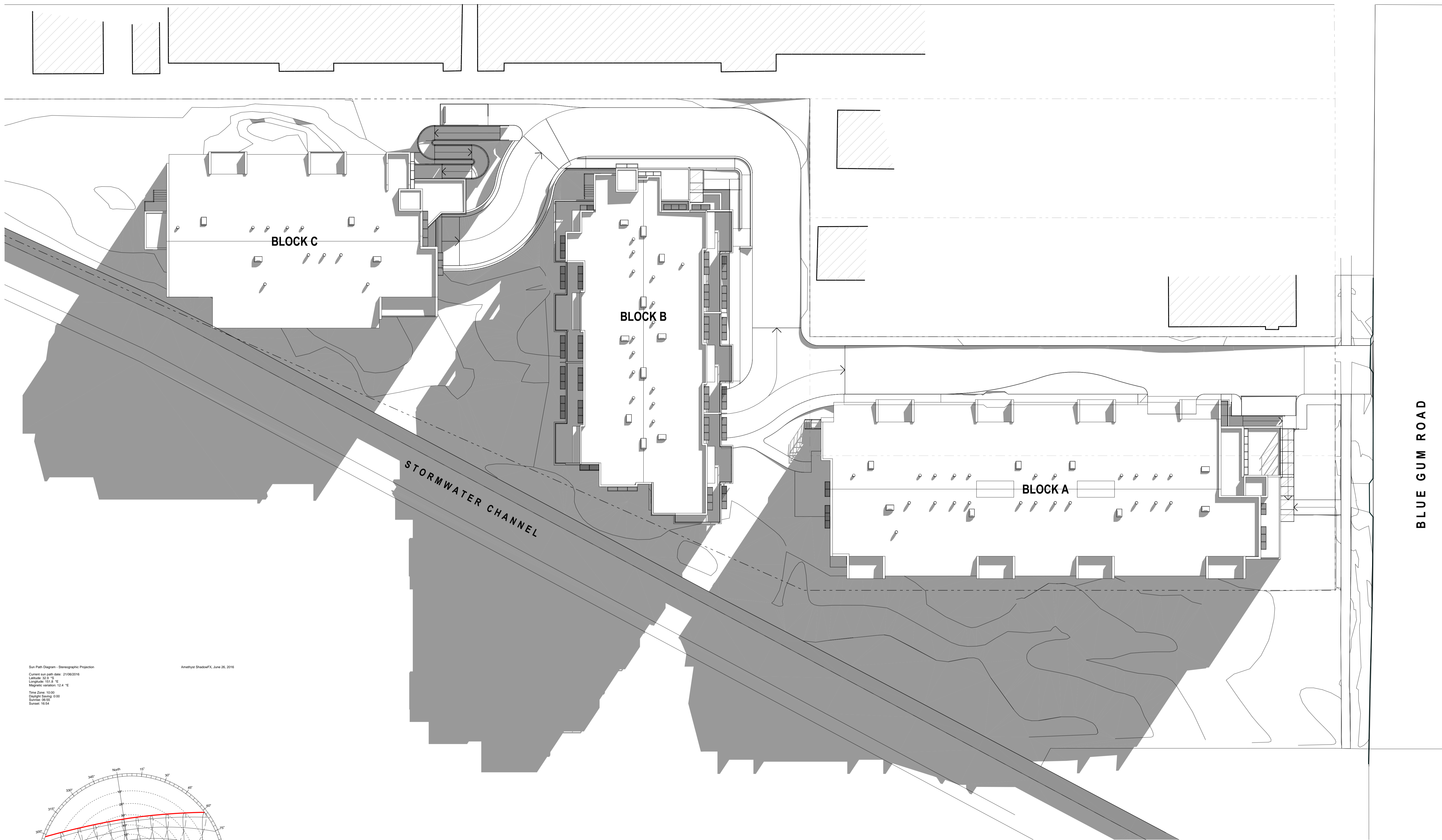
PROJECT
DA Submission
Residential Apartments
At 70-72 Blue Gum Road
Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
PO Box 522 Maitland NSW 2320

TITLE
Sections
Sections

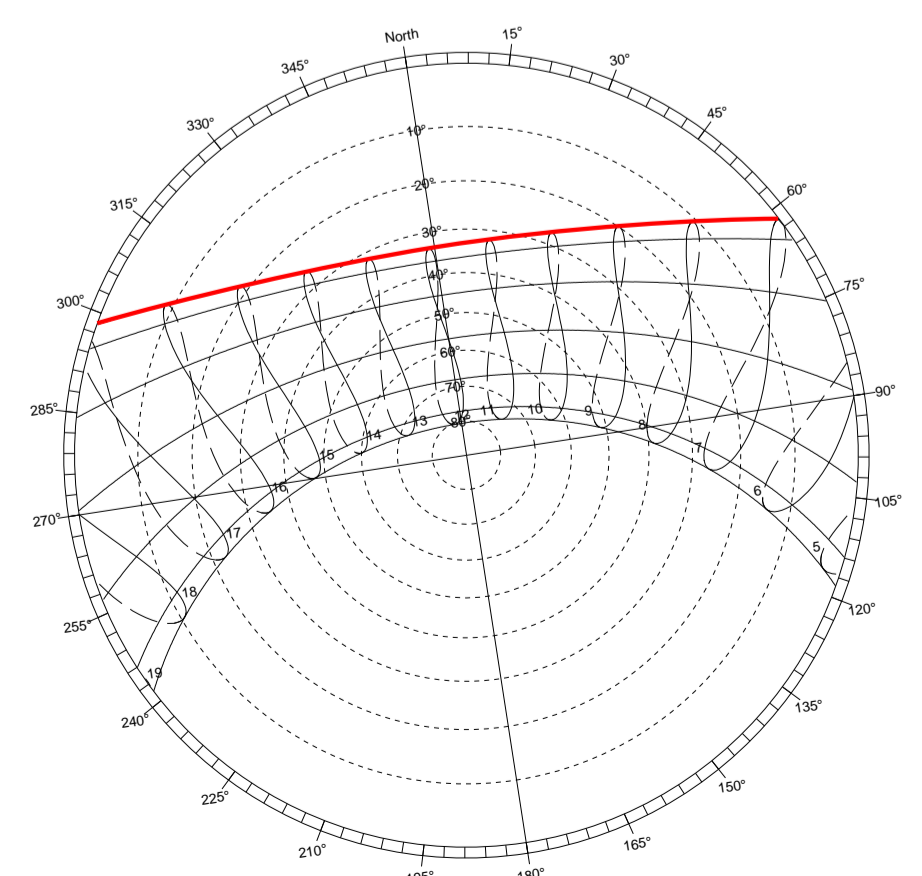
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DATE: **3/12/2018**
DRAWN: **GB**

PROJECT
167
DRAWING No.
A3.01-G



Sun Path Diagram - Stereographic Projection
 Current sun path date: 21/06/2016
 Latitude: 35.3 °S
 Longitude: 151.8 °E
 Magnetic variation: 12.4 °E
 Time Zone: 10:00
 Daylight Saving: 0:00
 Sunrise: 06:03
 Sunset: 16:54

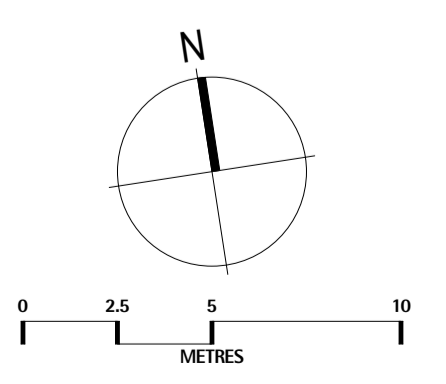
Amethyst ShadowFX, June 26, 2016



① Shadow Labels 21-9am
 1:200 1:200

AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	UDC/3 UPDATED PLANS	2/11/2016
C	REVISED DA PLANS	1/05/2017
D	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

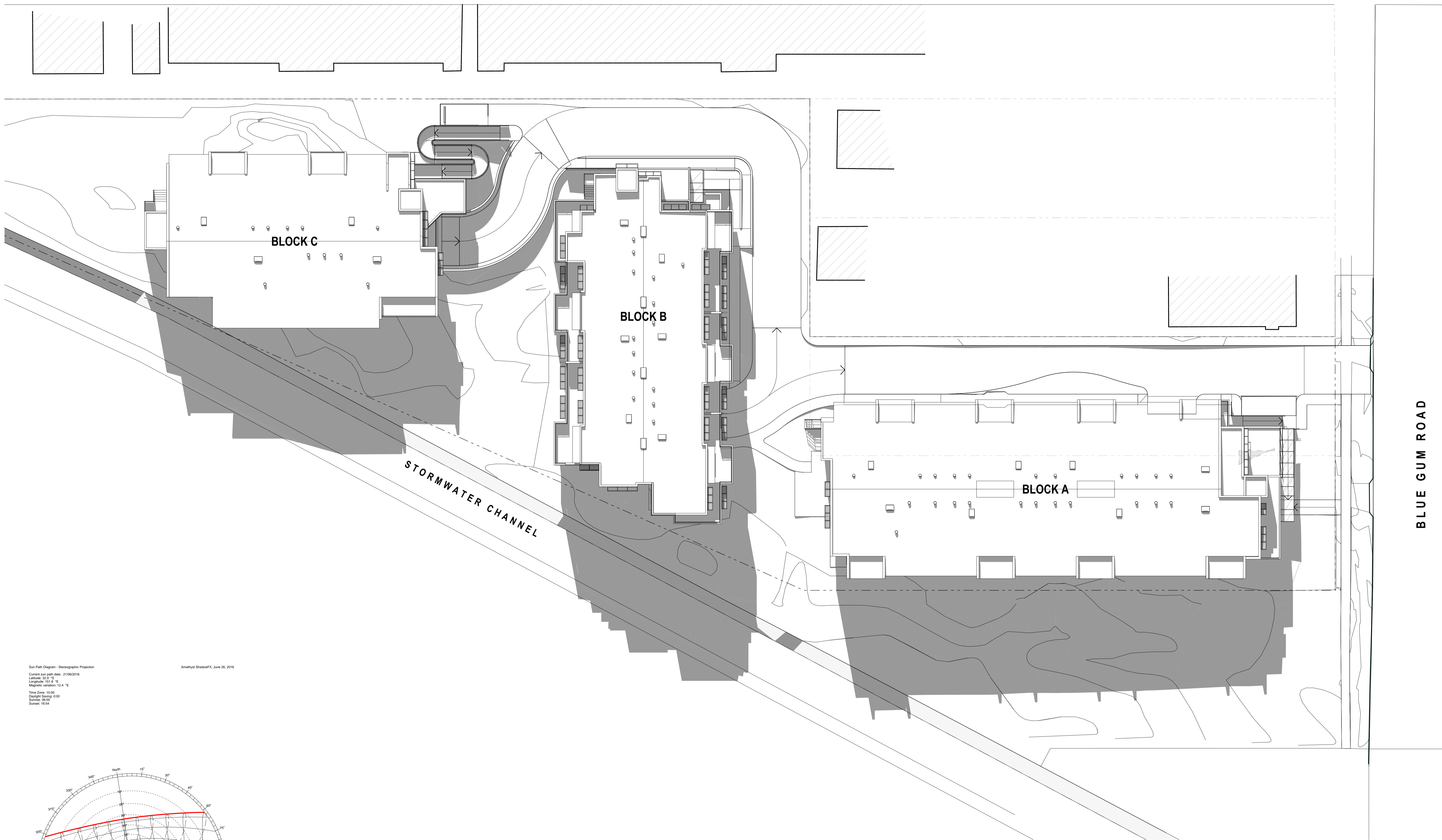
FOR
GHT Holdings Pty Ltd
 PO Box 522, Maitland NSW 2320

TITLE
Solar and Shadow Studies
Shadow Diagrams - June 21 0900

SCALE: **1:200 on A1**
 DATE: **3/12/2018**
 DRAWN: GB

PROJECT
167
 DRAWING No.
A7.01-G

BLUE GUM ROAD



BLUE GUM ROAD

BLOCK C

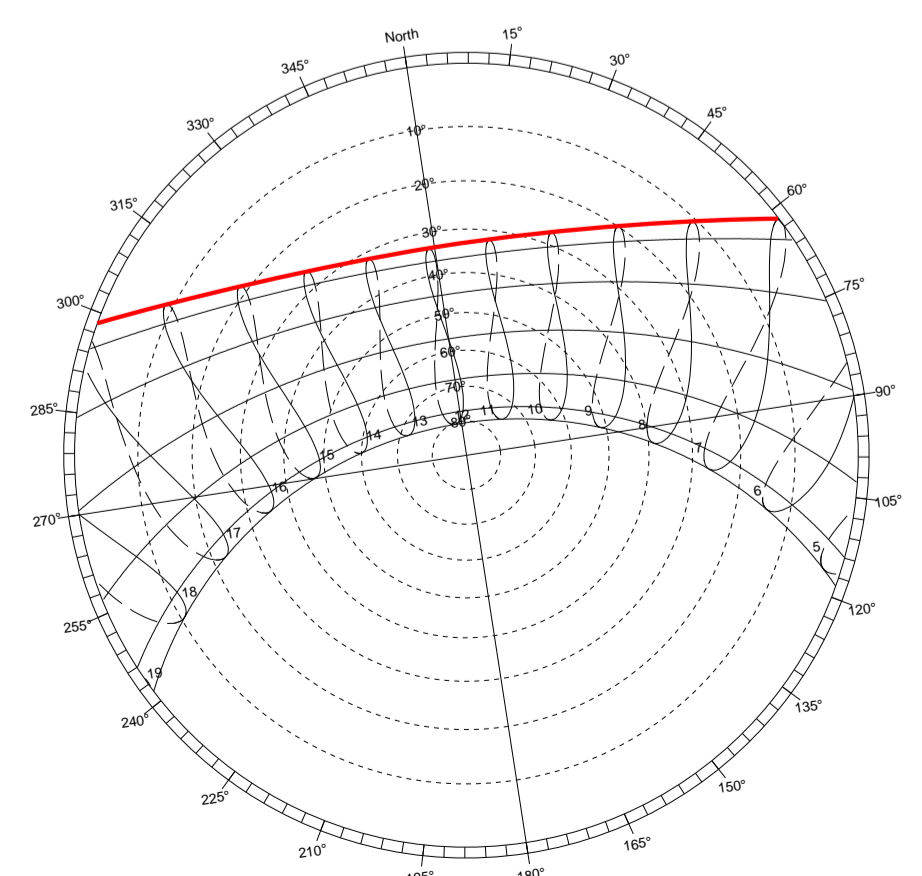
BLOCK B

BLOCK A

STORMWATER CHANNEL

Sun Path Diagram - Stereographic Projection
 Current sun path date: 21/06/2016
 Latitude: 35.3 °S
 Longitude: 151.8 °E
 Magnetic variation: 12.4 °E
 Time Zone: 10:00
 Daylight Saving: 0:00
 Sunrise: 06:03
 Sunset: 16:54

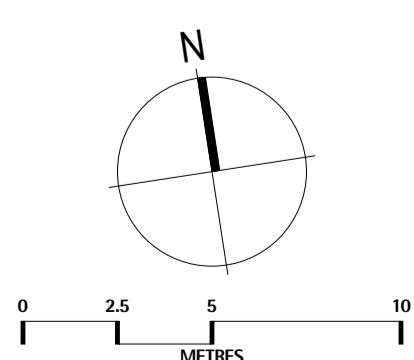
Amethyst ShadowFX, June 26, 2016



Sun Path June Solstice

② Shadow Study June 21-12pm
 1:200
 1:200

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	UDC/UPDATED PLANS	2/11/2016
C	REVISED DA PLANS	1/05/2017
D	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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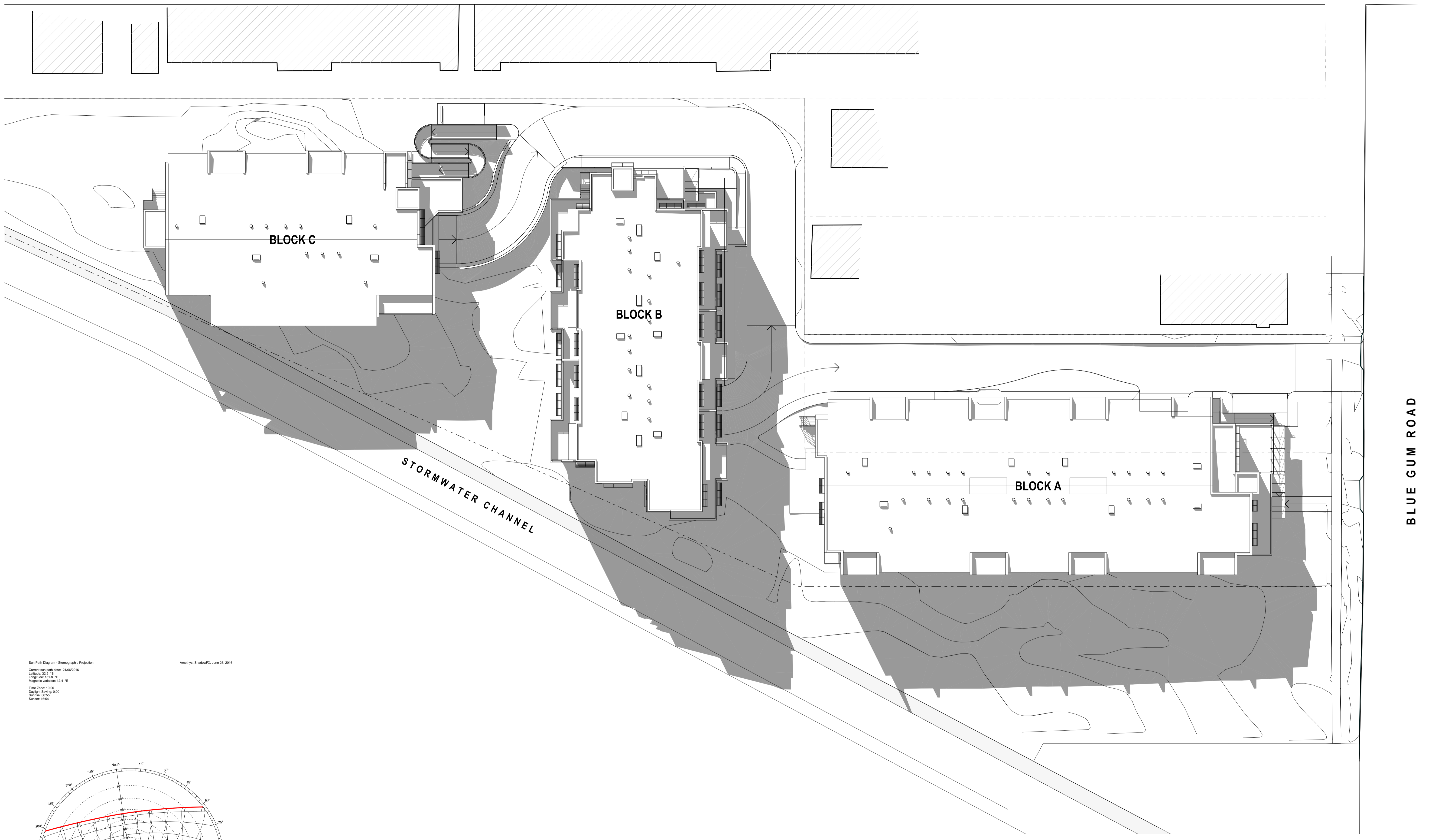
PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
 PO Box 522, Maitland NSW 2320

TITLE
Solar and Shadow Studies
Shadow Diagrams - June 21 1200

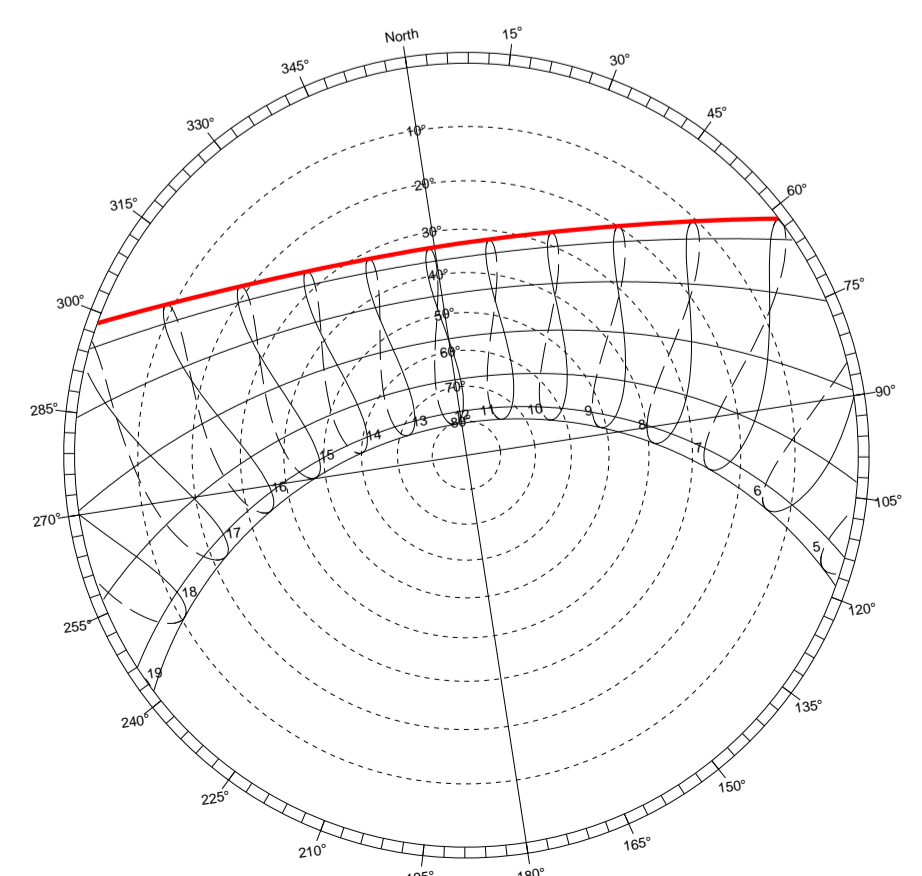
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 DATE: **3/12/2018**
 DRAWN: GB

PROJECT
167
 DRAWING No.
A7.02-G



Sun Path Diagram - Stereographic Projection
 Current sun path date: 21/06/2016
 Latitude: 35.3 °S
 Longitude: 151.8 °E
 Magnetic variation: 12.4 °E
 Time Zone: 10:00
 Daylight Saving: 0:00
 Sunrise: 06:03
 Sunset: 16:54

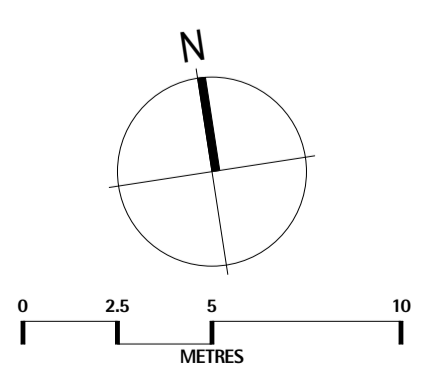
Amethyst ShadowFX, June 26, 2016



Sun Path June Solstice

3 Shadow Labels 21-1pm
 1:200 1:200

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	ISSUED UPDATED PLANS	2/11/2016
C	REVISED DA PLANS	1/05/2017
D	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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 Annandale NSW 2038
 Tel 9557 6005 Fax 9557 6009
 oceaniaclarke@bigpond.com
 ACN 077 876 129
 ABN 13 077 876 129

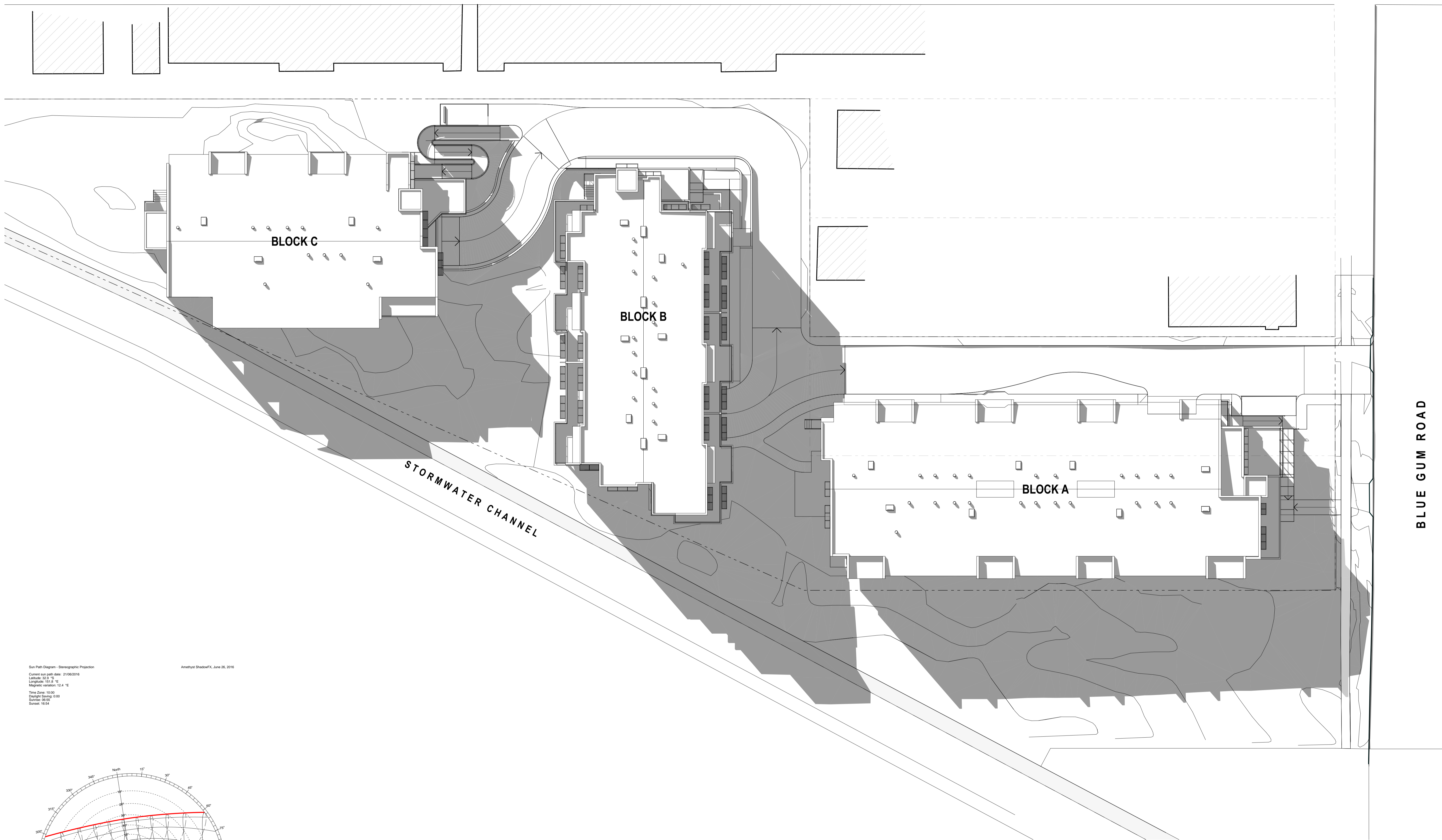
PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
 PO Box 522, Maitland NSW 2320

TITLE
Solar and Shadow Studies
Shadow Diagrams - June 21 1300

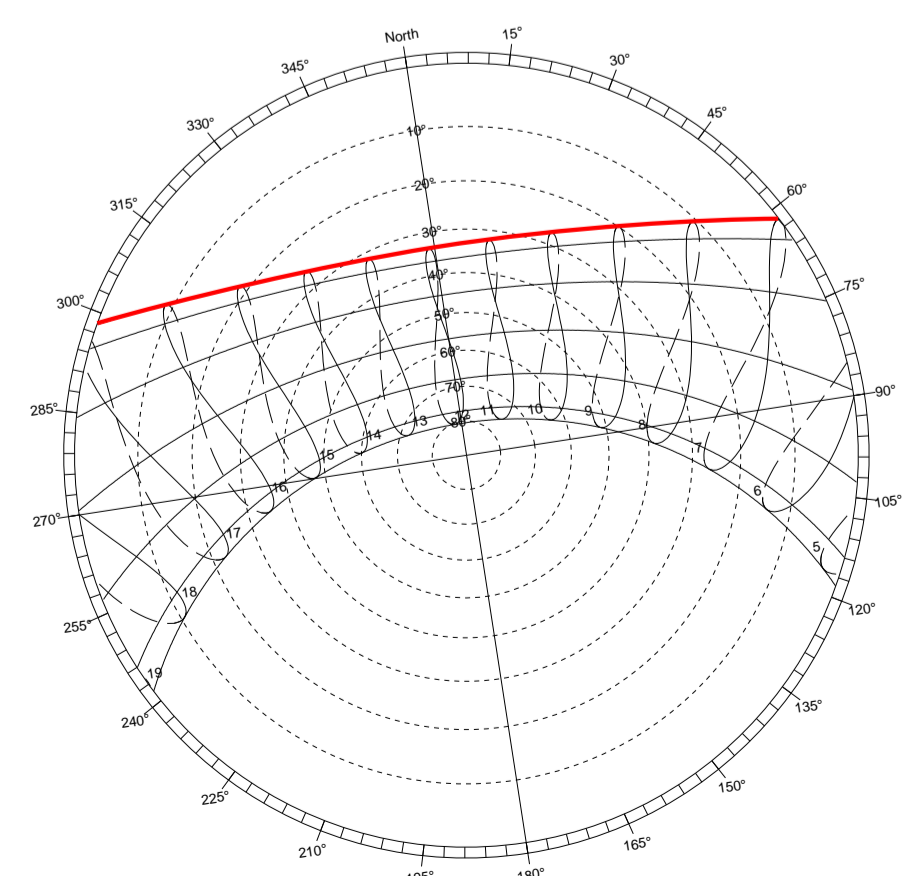
SCALE: **1:200 on A1**
 DATE: **3/12/2018**
 DRAWN: GB

PROJECT
167
 DRAWING No.
A7.03-G



Sun Path Diagram - Stereographic Projection
 Current sun path date: 21/06/2016
 Latitude: 35.3 °S
 Longitude: 151.8 °E
 Magnetic variation: 12.4 °E
 Time Zone: 10:00
 Daylight Saving: 0:00
 Sunrise: 06:03
 Sunset: 16:54

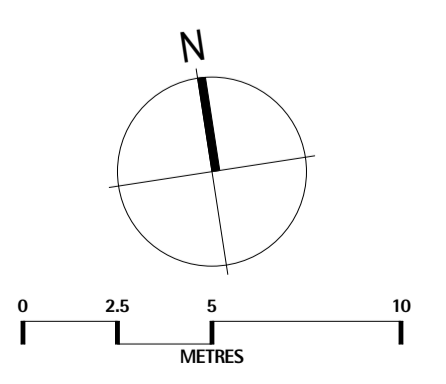
Amethyst ShadowFX, June 26, 2016



④ Shadow Labels 21-2pm
 1:200 1:200

AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	UDC/3 UPDATED PLANS	2/11/2016
C	REVISED DA PLANS	1/05/2017
D	UPDATED DA PLANS	17/07/2017
E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

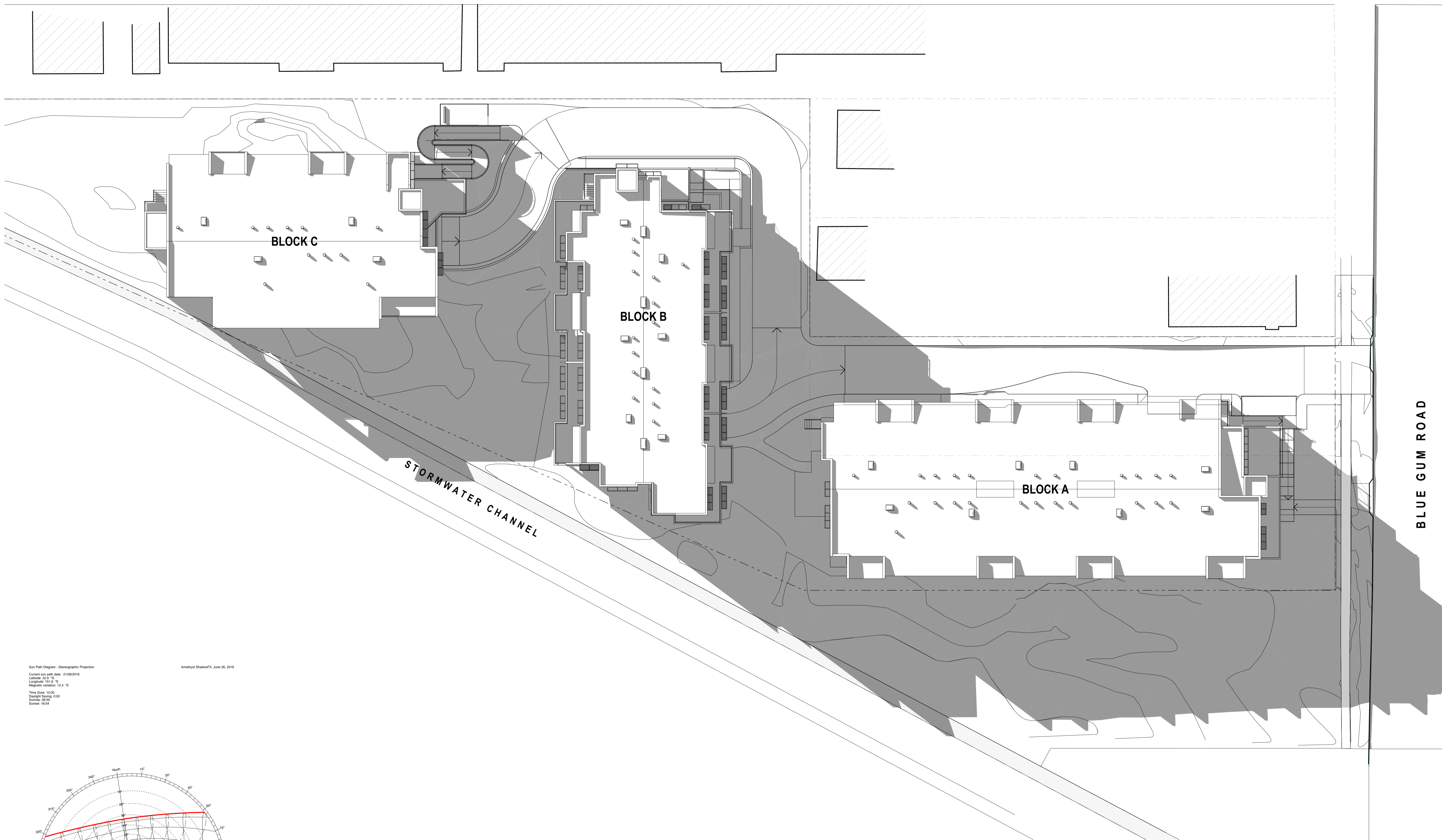
FOR
GHT Holdings Pty Ltd
 PO Box 522 Maitland NSW 2320

TITLE
Solar and Shadow Studies
Shadow Diagrams - June 21 1400

SCALE: **1:200 on A1**
 DATE: **3/12/2018**
 DRAWN: GB

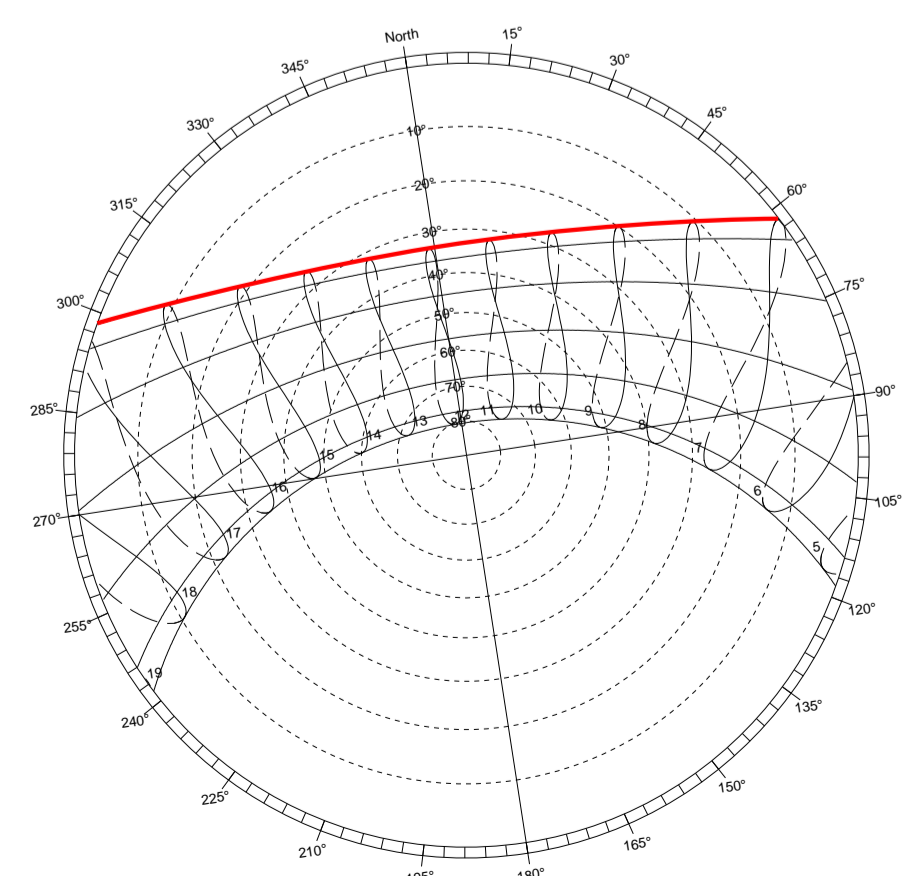
PROJECT
167
 DRAWING No.
A7.04-G

BLUE GUM ROAD



Sun Path Diagram - Stereographic Projection
 Current sun path date: 21/06/2016
 Latitude: 35.3 °S
 Longitude: 151.8 °E
 Magnetic variation: 12.4 °E
 Time Zone: 10:00
 Daylight Saving: 0:00
 Sunrise: 06:03
 Sunset: 16:54

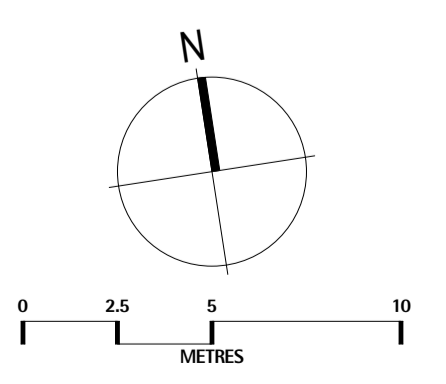
Amethyst ShadowFX, June 26, 2016



Sun Path June Solstice

5 Shadow Labels 21-3pm
 1:200 1:200

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	UDC/3 UPDATED PLANS	2/11/2016
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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
 PO Box 522 Maitland NSW 2320

TITLE
Solar and Shadow Studies
Shadow Diagrams - June 21 1500

SCALE: **1:200 on A1**
 DATE: **3/12/2018**
 DRAWN: GB

PROJECT
167
 DRAWING No.
A7.05-G

70-72 Blue Gum Road, Jesmond

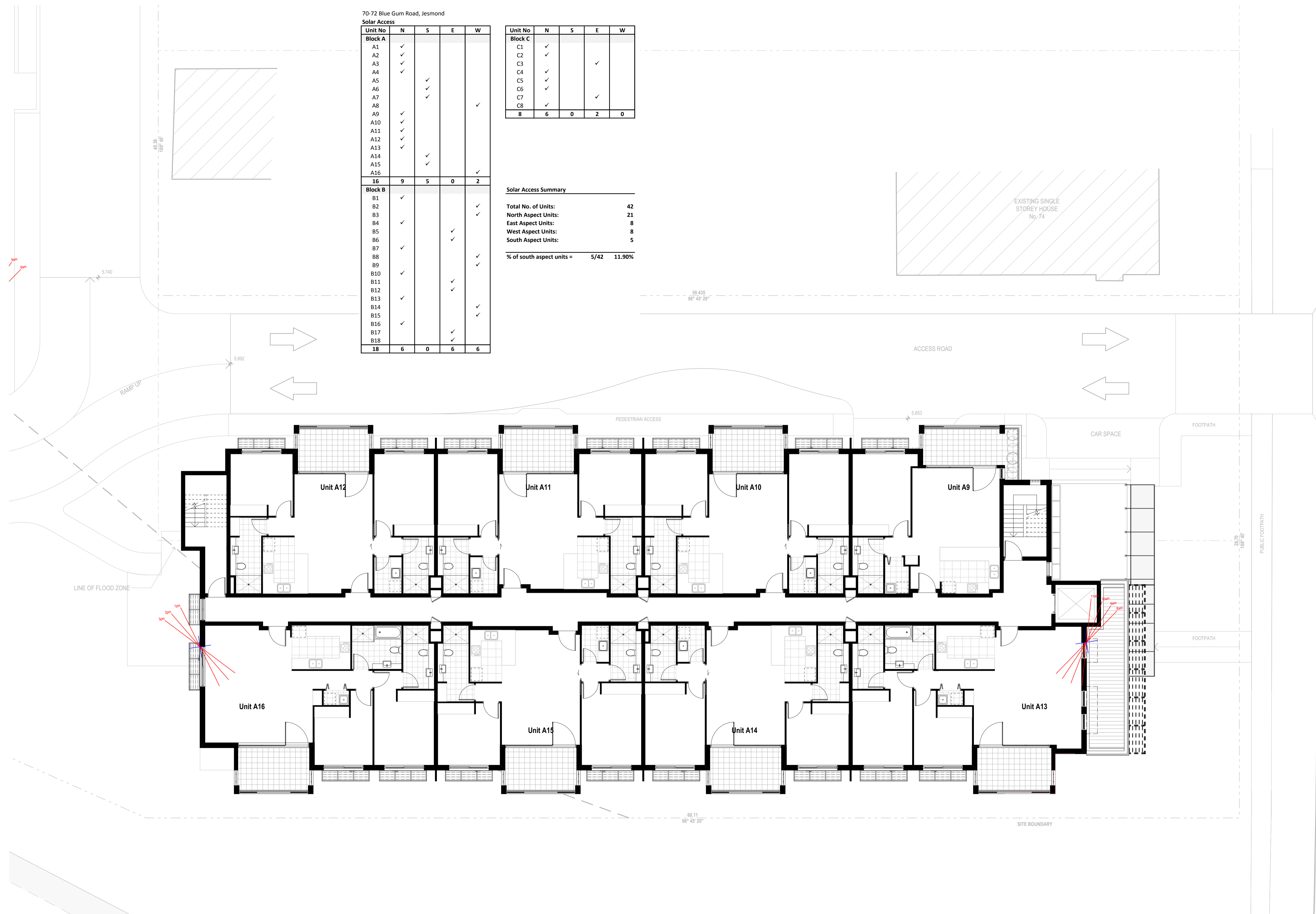
Solar Access

Unit No	N	S	E	W
Block A				
A1	✓			
A2	✓			
A3	✓			
A4	✓			
A5		✓		
A6		✓		
A7		✓		
A8		✓		✓
A9	✓			
A10	✓			
A11	✓			
A12	✓			
A13	✓			
A14		✓		
A15		✓		
A16				✓
16	9	5	0	2
Block B				
B1	✓			✓
B2	✓			✓
B3	✓			✓
B4	✓			✓
B5		✓		
B6		✓		
B7	✓			✓
B8	✓			✓
B9	✓			✓
B10	✓			✓
B11	✓			✓
B12	✓			✓
B13	✓			✓
B14	✓			✓
B15	✓			✓
B16	✓			✓
B17		✓		✓
B18		✓		✓
18	6	0	6	6

Unit No	N	S	E	W
Block C				
C1	✓			
C2	✓			
C3			✓	
C4	✓			
C5	✓			
C6	✓			
C7			✓	
C8	✓			
8	6	0	2	0

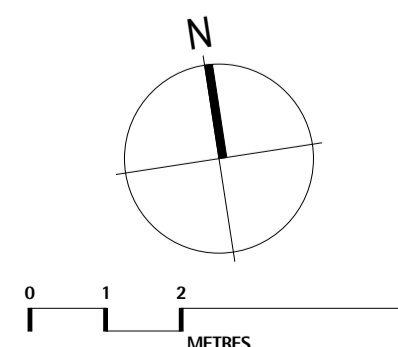
Solar Access Summary

Total No. of Units: 42
North Aspect Units: 21
East Aspect Units: 8
West Aspect Units: 8
South Aspect Units: 5
% of south aspect units = 5/42 **11.90%**



AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
 PO Box 522 Maitland NSW 2320

TITLE
Solar and Shadow Studies
Typical Floor Plan - Block A Solar
Access Diagram

SCALE: **1:100 on A1**
 DATE: **3/12/2018**
 DRAWN: **GB**

PROJECT
167
 DRAWING No.
A7.06-G

SITE BOUNDARY

106.632
278° 44' 15"

CAR SPACE

TURNING AREA

LINE OF FLOOD ZONE



ACCESS ROAD

6.768

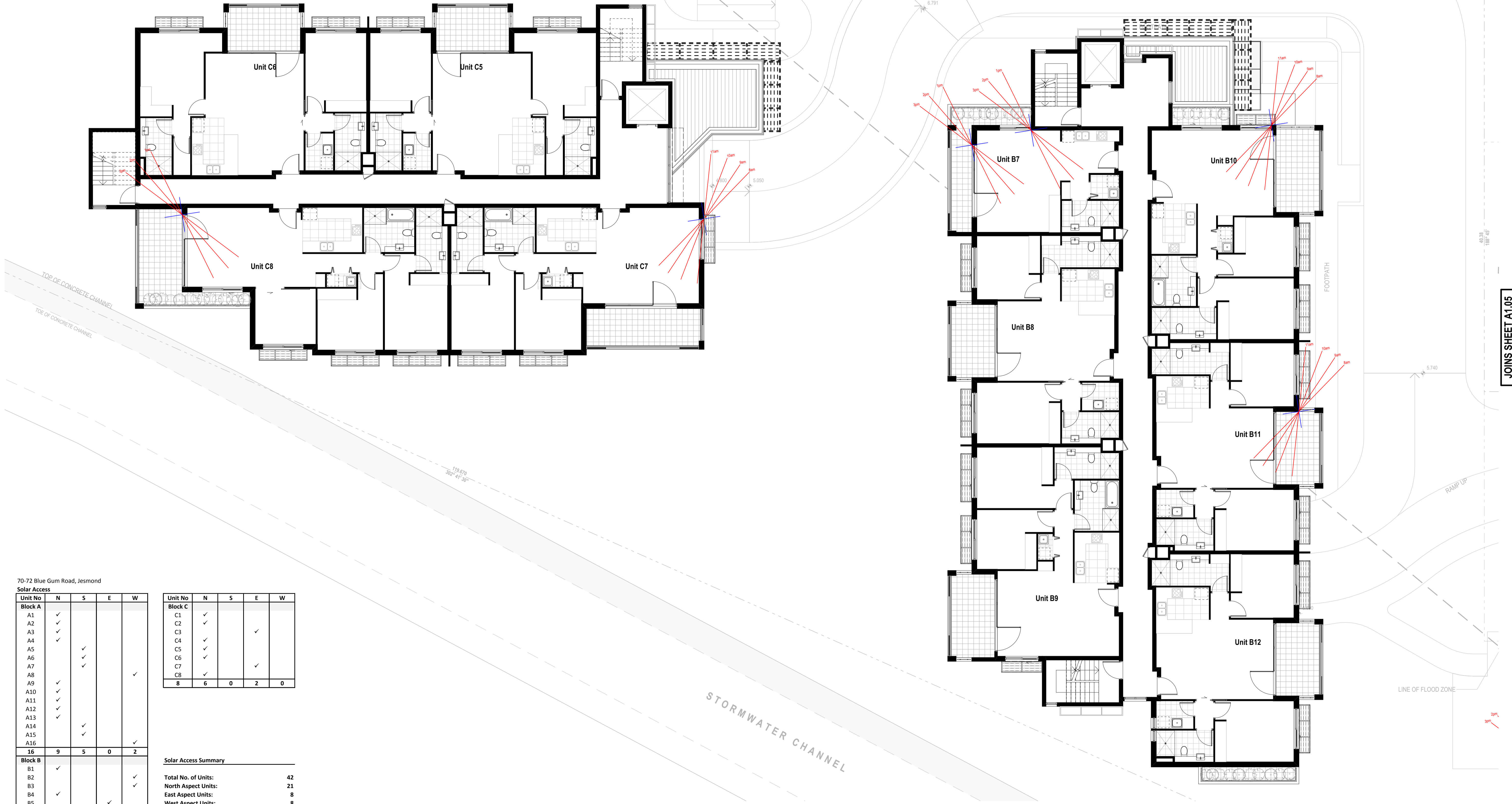
6.791

5.050

5.740

119.870
302° 41' 30"

40.38
188° 45'



70-72 Blue Gum Road, Jesmond

Unit No	N	S	E	W
Block A				
A1	✓			
A2	✓			
A3	✓			
A4	✓			
A5		✓		
A6		✓		
A7		✓		
A8				✓
A9	✓			
A10	✓			
A11	✓			
A12	✓			
A13	✓			
A14		✓		
A15		✓		
A16				✓
16	9	5	0	2
Block B				
B1	✓			✓
B2	✓			✓
B3	✓			✓
B4	✓			✓
B5			✓	
B6			✓	
B7	✓			✓
B8	✓			✓
B9	✓			✓
B10	✓			✓
B11	✓		✓	
B12	✓		✓	
B13	✓		✓	
B14	✓		✓	
B15	✓		✓	
B16	✓		✓	
B17			✓	
B18			✓	
18	6	0	6	6

Unit No	N	S	E	W
Block C				
C1	✓			
C2	✓			
C3			✓	
C4	✓			
C5	✓			
C6	✓			
C7			✓	
C8	✓			
8	6	0	2	0

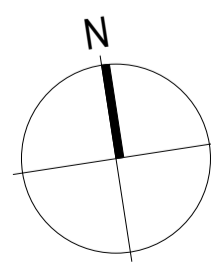
Solar Access Summary

Total No. of Units: 42
 North Aspect Units: 21
 East Aspect Units: 8
 West Aspect Units: 8
 South Aspect Units: 5

% of south aspect units = 5/42 11.90%

AMENDMENTS

Rev	Description	Date
A	Issued for Development Application	1/09/2016
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E	REVISED DA ISSUE	5/10/2017
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018



0 1 2 3 4 5
METRES



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PROJECT

DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

FOR

GHT Holdings Pty Ltd
 PO Box 522, Maitland NSW 2320

TITLE

Solar and Shadow Studies
Typical Floor Plan - Blocks B + C
Solar Access Diagram

SCALE: 1:100 on A1

DATE: 3/12/2018

DRAWN: GB

PROJECT

167

DRAWING No.

A7.07-G

JOINS SHEET A1.05



1 Street View Southeast



2 Street View East



3 Street View Northeast



4 Blocks B and C North

Rev	Description	Date
A	Issued for Development Application	1/09/2016
B	LDGS UPDATED PLANS	2/11/2016
C	UPDATED DA PLANS	17/07/2017
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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299
 FOR
GHT Holdings Pty Ltd
 PO Box 522 Maitland NSW 2320

TITLE
3D Representation
Perspective Views
 SCALE: **NTS**
 DATE: **3/12/2018**
 DRAWN: **GB**
 PROJECT
167
 DRAWING No.
A9.01-G



1 Aerial View from Southeast



2 Aerial View from Park



3 Aerial View from North



4 Aerial View from Northeast

AMENDMENTS		
Rev	Description	Date
F	SECTION 96 SUBMISSION	28/11/2017
G	REVISED DA SUBMISSION	3/12/2018


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PROJECT
DA Submission
Residential Apartments
 At 70-72 Blue Gum Road
 Jesmond NSW 2299

FOR
GHT Holdings Pty Ltd
 PO Box 522 Maitland NSW 2320

TITLE
3D Representation
Perspective Views

SCALE: NTS	PROJECT
DATE: 3/12/2018	167
DRAWN: GB	DRAWING No.
	A9.02-G

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

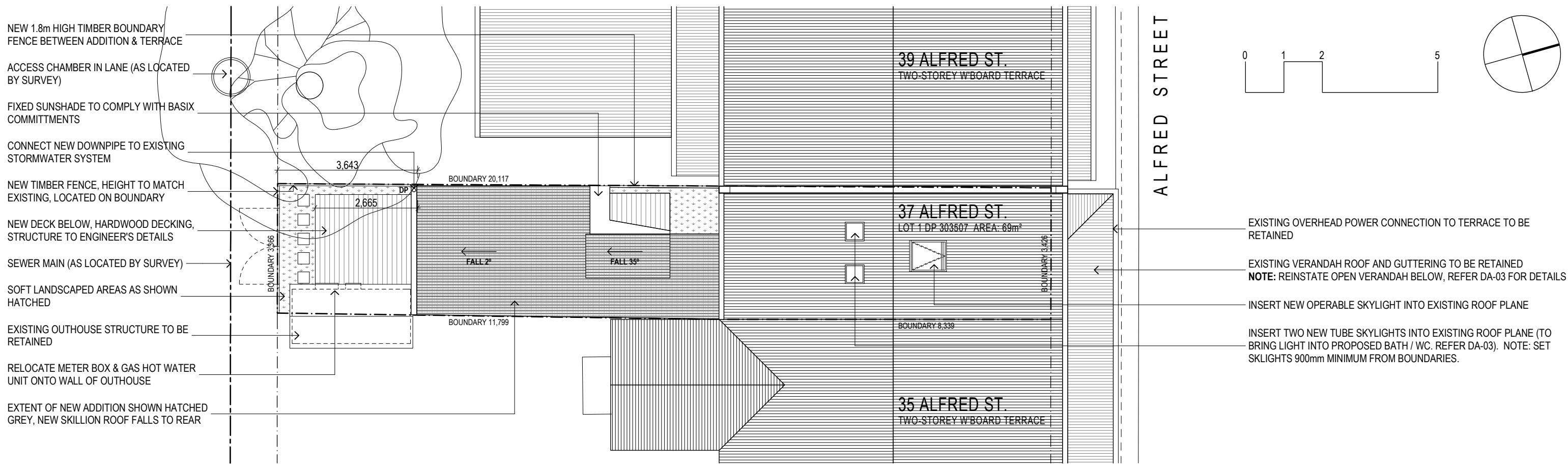
18 June 2019

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

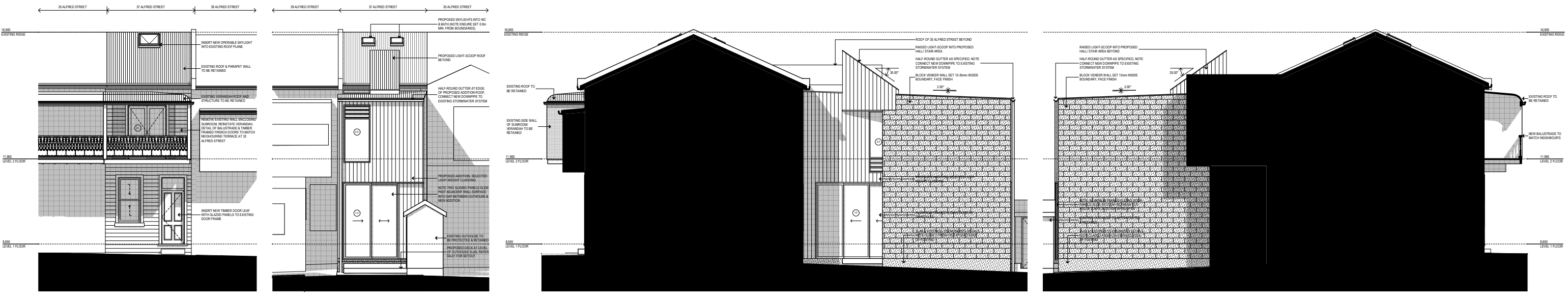
REPORTS BY COUNCIL OFFICERS

Attachment A - Plans DA2018/00968 - 37 Alfred Street Newcastle East
Alterations and additions to dwelling

DISTRIBUTED UNDER SEPARATE COVER



1 **SITE / ROOF PLAN** 1:100



2 **NOTIFICATION ELEVATIONS** 1:150

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Project Name
SCARBOROUGH
37 ALFRED STREET NEWCASTLE EAST

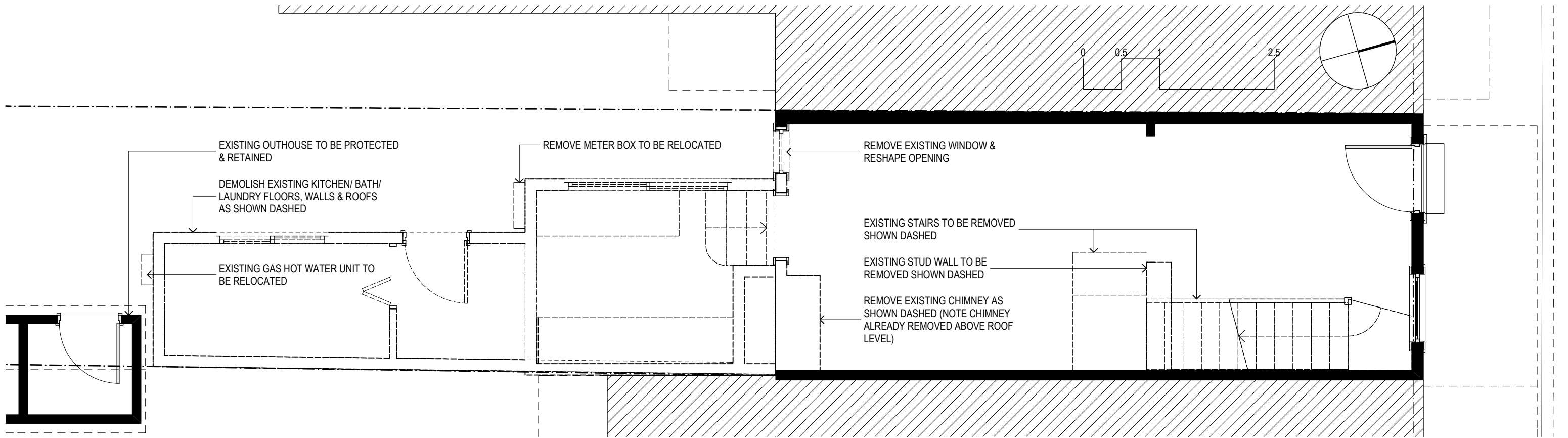
Drawing Title
ROOF / SITE PLAN

Status: DEVELOPMENT APPLICATION

Project No: **497** Drawing No.: **DA-01**

B	DA ISSUE	13/08/18
A	ISSUE FOR CLIENT APPROVAL	03/07/18
ISSUE	AMENDMENT	DATE

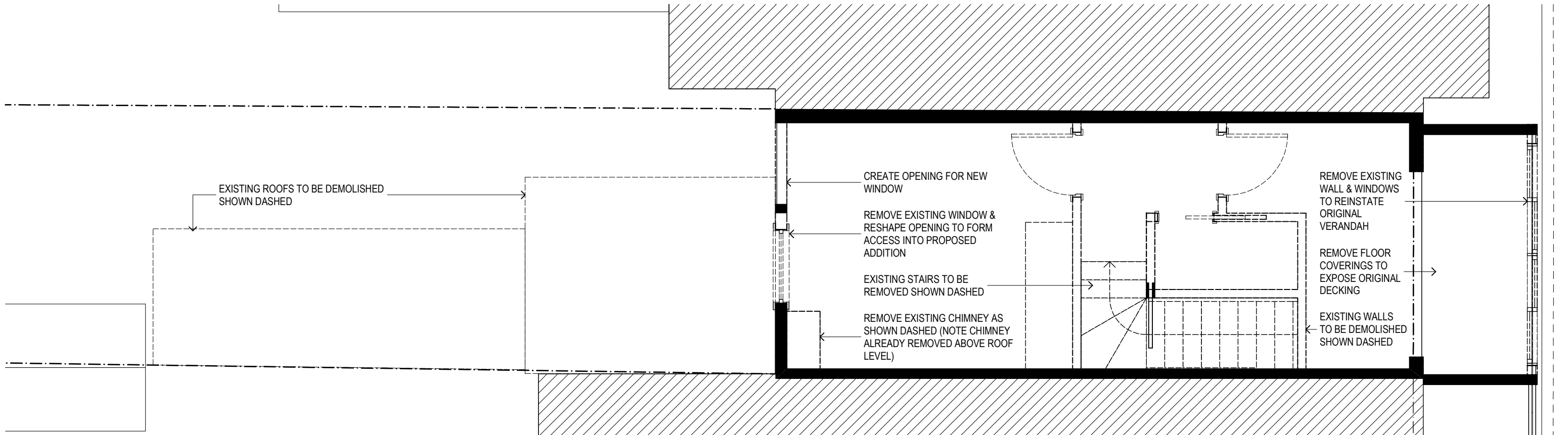
Z:\497 Scarborough\CURRENT\497 D03.dwg



1

LEVEL 1 DEMOLITION PLAN

1:50



2

LEVEL 2 DEMOLITION PLAN

1:50

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C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17
ISSUE	AMENDMENT	DATE

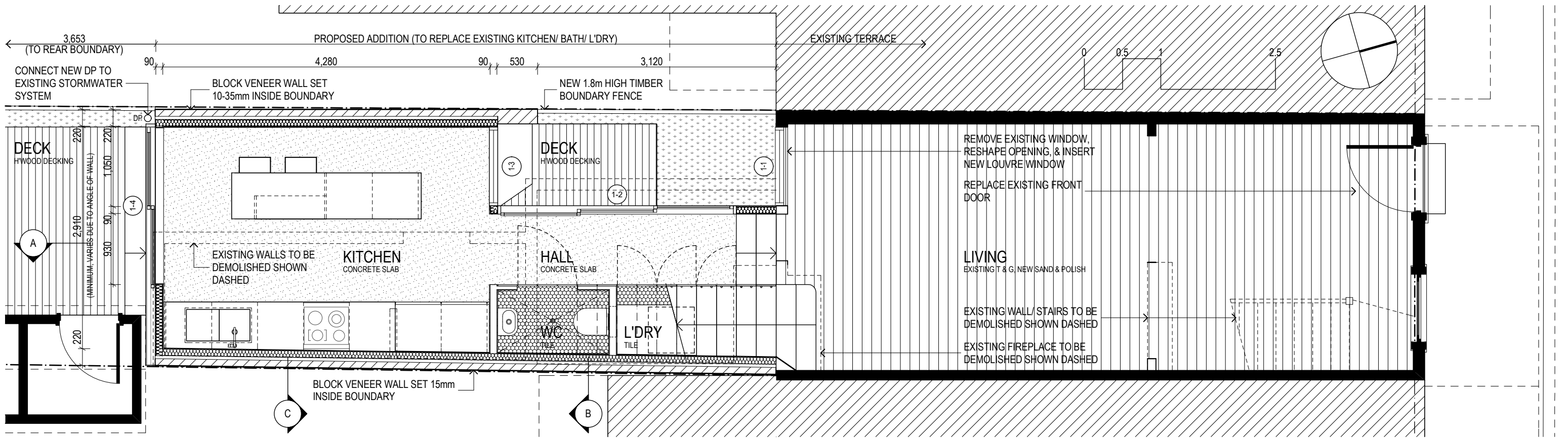
Project Name
SCARBOROUGH
37 ALFRED STREET NEWCASTLE EAST

Drawing Title:
DEMOLITION PLANS

Status: DEVELOPMENT APPLICATION

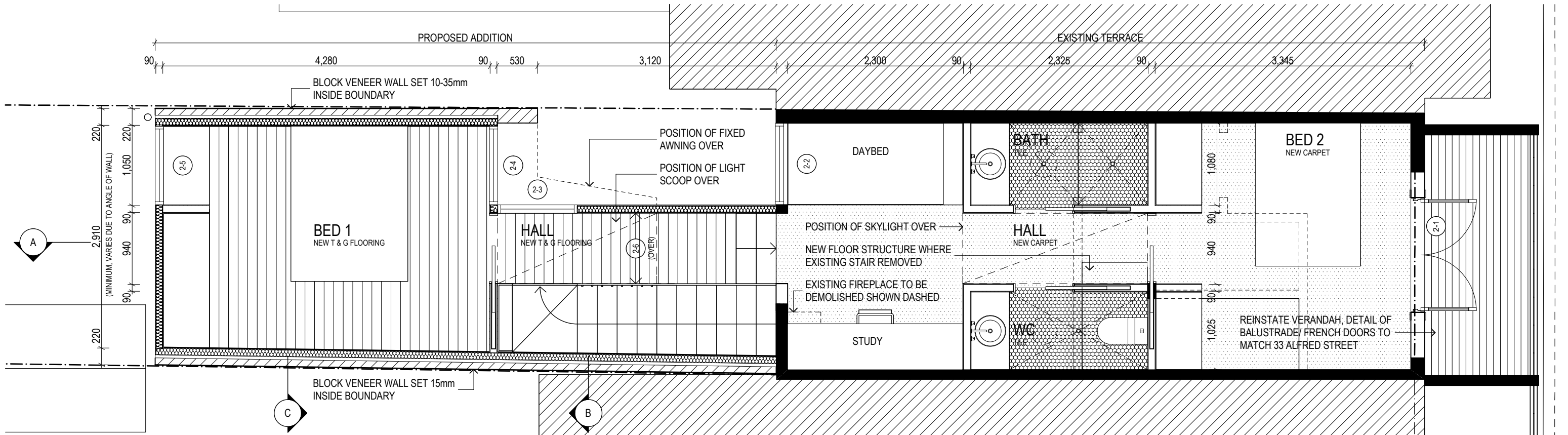
Project No.: **497**
Drawing No.: **DA-02**

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LEVEL 1 PLAN

1:50



LEVEL 2 PLAN

1:50

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C	DA ISSUE	13/08/18
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A	ISSUE TO CLIENT	26/09/17
ISSUE	AMENDMENT	DATE

Project Name
SCARBOROUGH
37 ALFRED STREET NEWCASTLE EAST

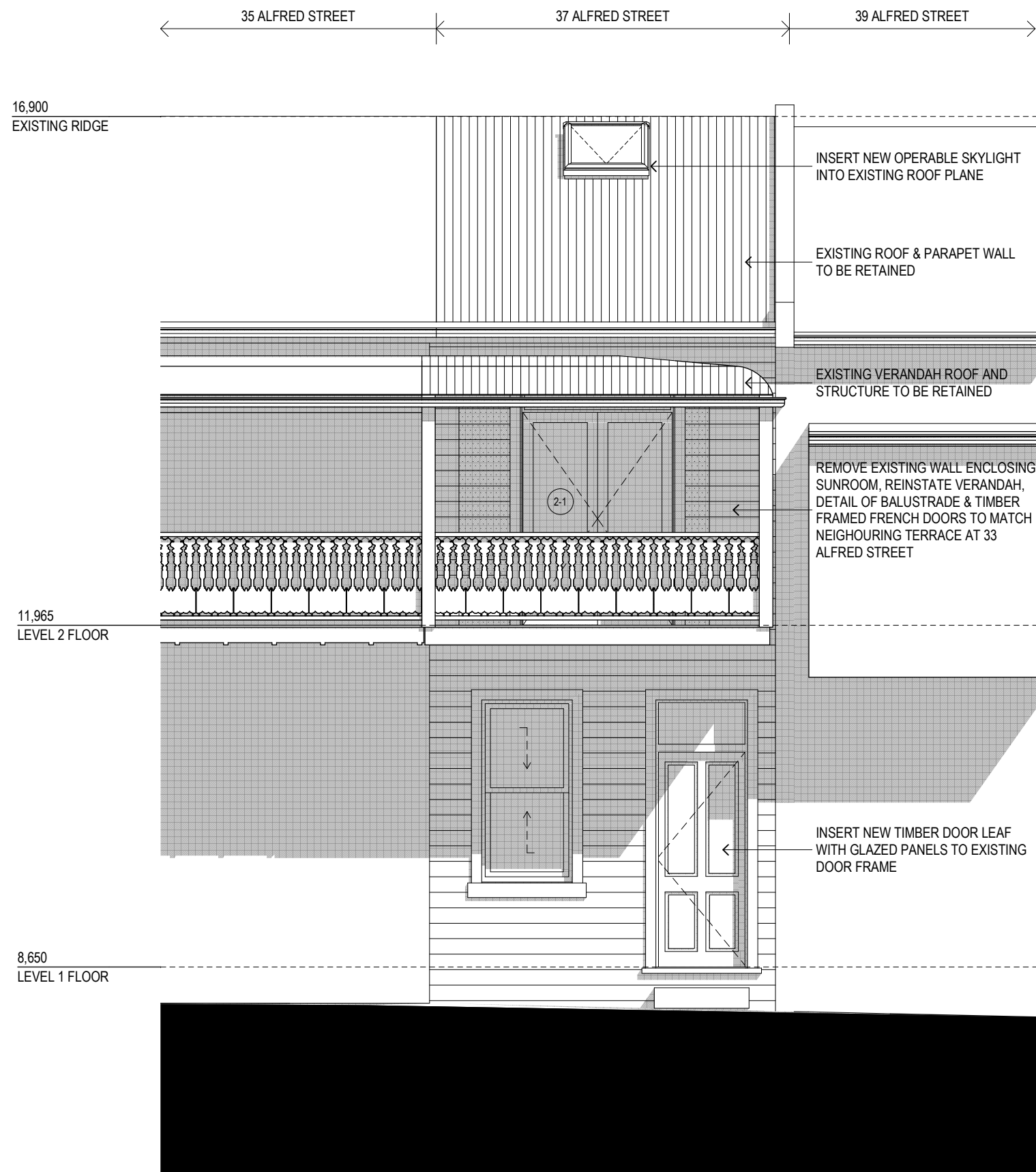
Drawing Title:
FLOOR PLANS

Status: DEVELOPMENT APPLICATION

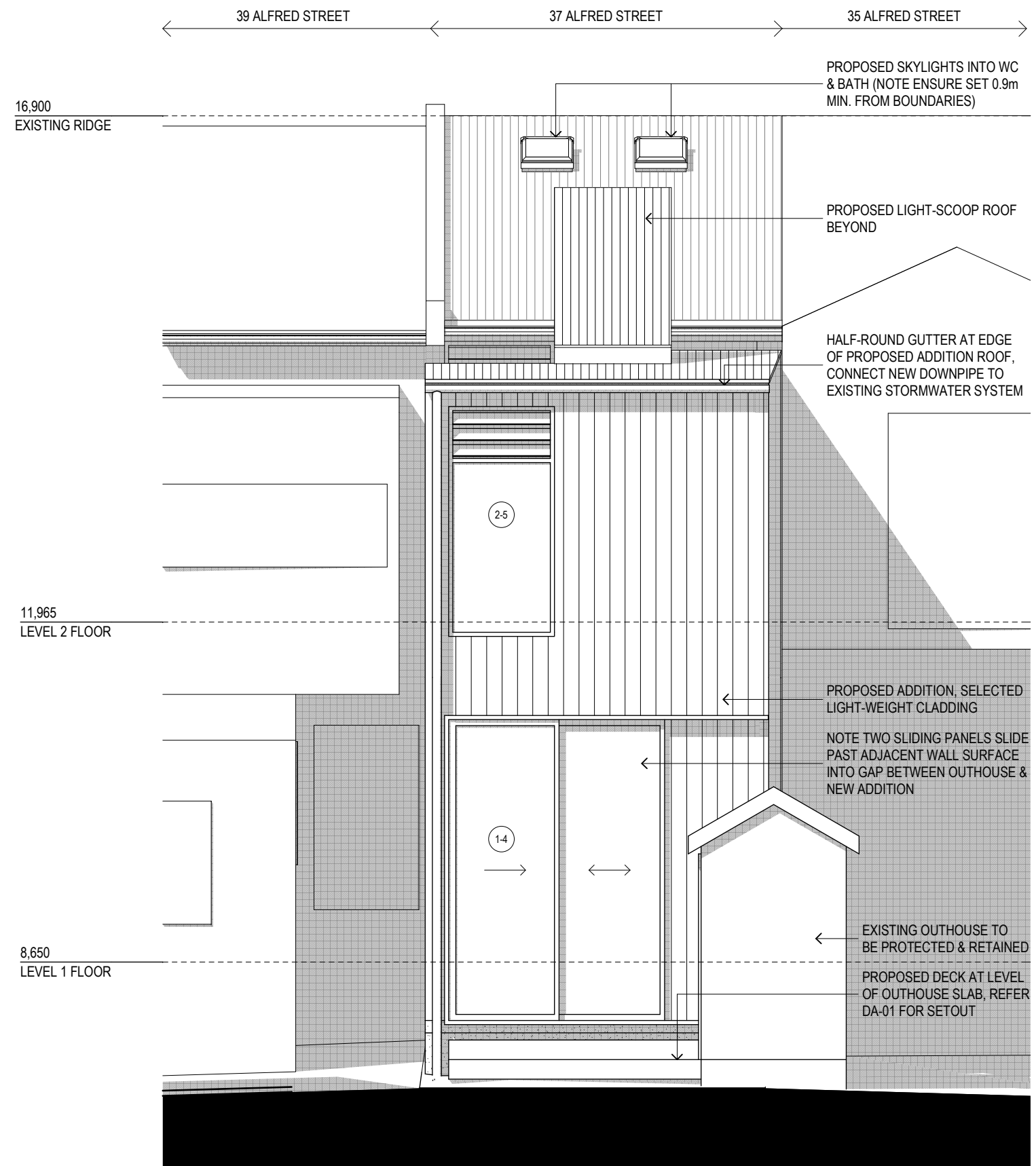
Project No: 497 Drawing No.: DA-03

497 DA-03

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1 ALFRED STREET ELEVATION 1:50



2 SOUTH ELEVATION 1:50

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Project Name
SCARBOROUGH
 37 ALFRED STREET NEWCASTLE EAST

Drawing Title:
ELEVATIONS

Status: DEVELOPMENT APPLICATION

Project No:	Drawing No.:
497	DA-04

ISSUE	AMENDMENT	DATE
C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17

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16,900
EXISTING RIDGE

EXISTING ROOF TO
BE RETAINED

EXISTING SIDE WALL
OF SUNROOM/
VERANDAH TO BE
RETAINED

11,965
LEVEL 2 FLOOR

8,650
LEVEL 1 FLOOR

ROOF OF 35 ALFRED STREET BEYOND
RAISED LIGHT-SCOOP INTO PROPOSED
HALL/ STAIR AREA
HALF-ROUND GUTTER AS SPECIFIED, NOTE
CONNECT NEW DOWNPIPE TO EXISTING
STORMWATER SYSTEM
BLOCK VENEER WALL SET 10-35mm INSIDE
BOUNDARY, FACE FINISH

35.00°

2.00°

PROPOSED ADDITION, SELECTED LIGHT-
WEIGHT CLADDING

ALUMINIUM FRAMED SLIDING DOOR AS
SCHEDULED

SLAB & FOOTINGS TO ENGINEER'S DETAILS.
NOTE CLASS 2 FINISH ON EXPOSED EDGE
OF FOOTING

2-3

1-2

WEST ELEVATION

1:50

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Project Name
SCARBOROUGH
37 ALFRED STREET NEWCASTLE EAST

Drawing Title:
WEST ELEVATION

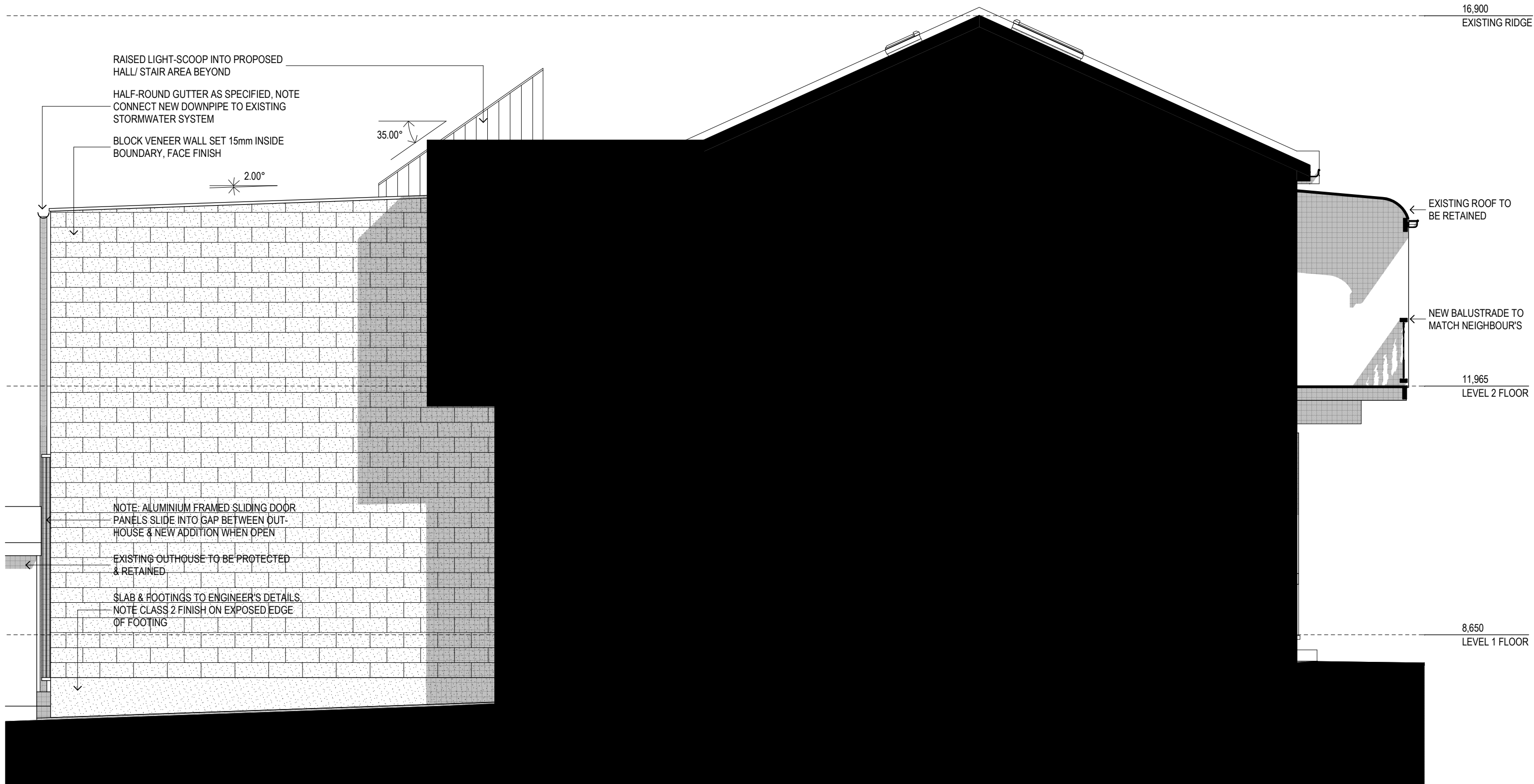
Status: DEVELOPMENT APPLICATION

Project No:
497

Drawing No.:
DA-05

C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17
ISSUE	AMENDMENT	DATE

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RAISED LIGHT-SCOOP INTO PROPOSED HALL/ STAIR AREA BEYOND

HALF-ROUND GUTTER AS SPECIFIED, NOTE CONNECT NEW DOWNPIPE TO EXISTING STORMWATER SYSTEM

BLOCK VENEER WALL SET 15mm INSIDE BOUNDARY, FACE FINISH

35.00°

2.00°

16,900
EXISTING RIDGE

EXISTING ROOF TO BE RETAINED

NEW BALUSTRADE TO MATCH NEIGHBOUR'S

11,965
LEVEL 2 FLOOR

NOTE: ALUMINIUM FRAMED SLIDING DOOR PANELS SLIDE INTO GAP BETWEEN OUT-HOUSE & NEW ADDITION WHEN OPEN

EXISTING OUTHOUSE TO BE PROTECTED & RETAINED

SLAB & FOOTINGS TO ENGINEER'S DETAILS. NOTE CLASS 2 FINISH ON EXPOSED EDGE OF FOOTING

8,650
LEVEL 1 FLOOR

1

EAST ELEVATION

1:50

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C	DA ISSUE	13/08/18
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ISSUE	AMENDMENT	DATE

Project Name
SCARBOROUGH
37 ALFRED STREET NEWCASTLE EAST

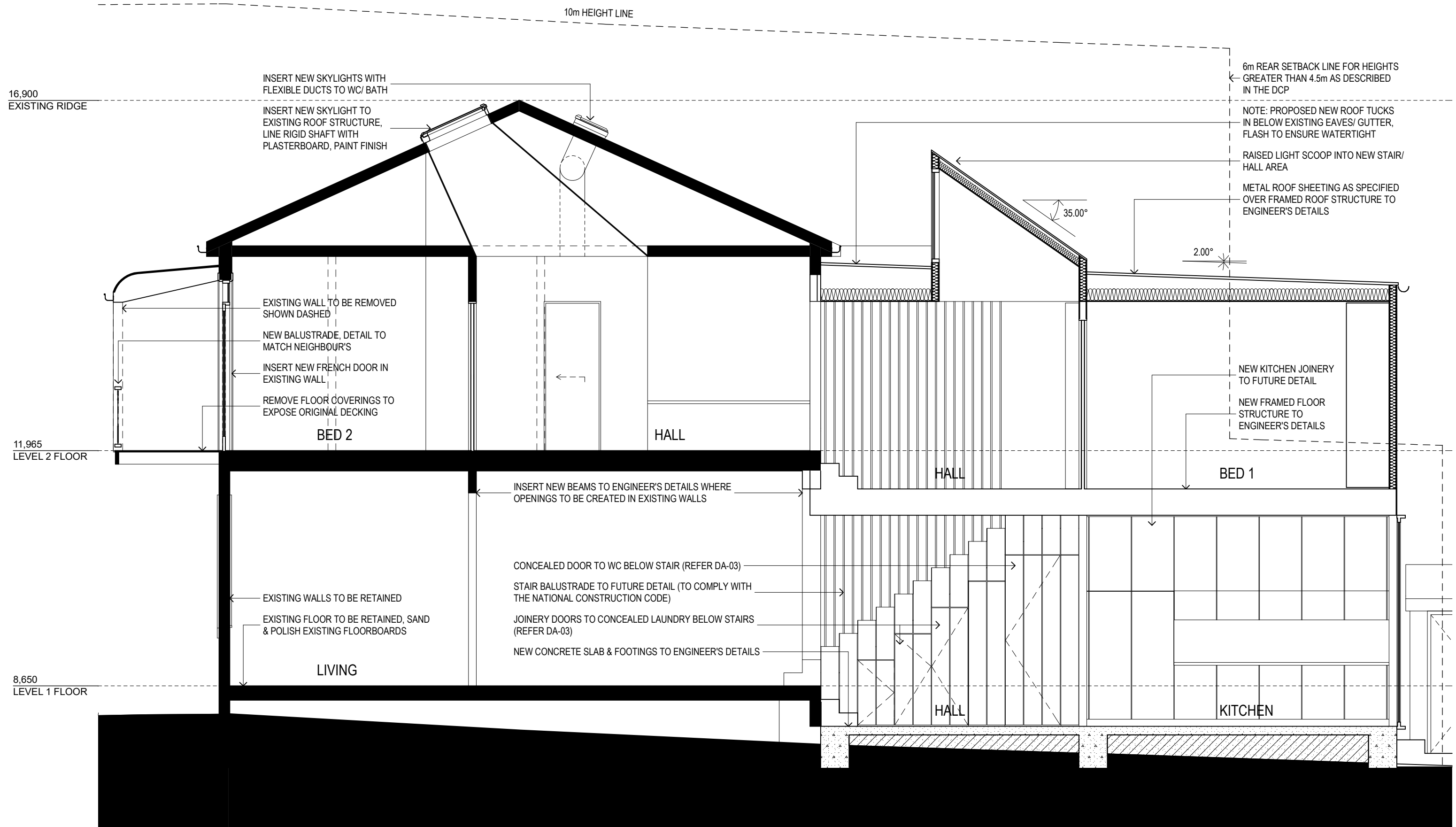
Drawing Title:
EAST ELEVATION

Status: DEVELOPMENT APPLICATION

Project No:
497

Drawing No.:
DA-06

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SECTION AA

1

1:50

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C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17
ISSUE	AMENDMENT	DATE

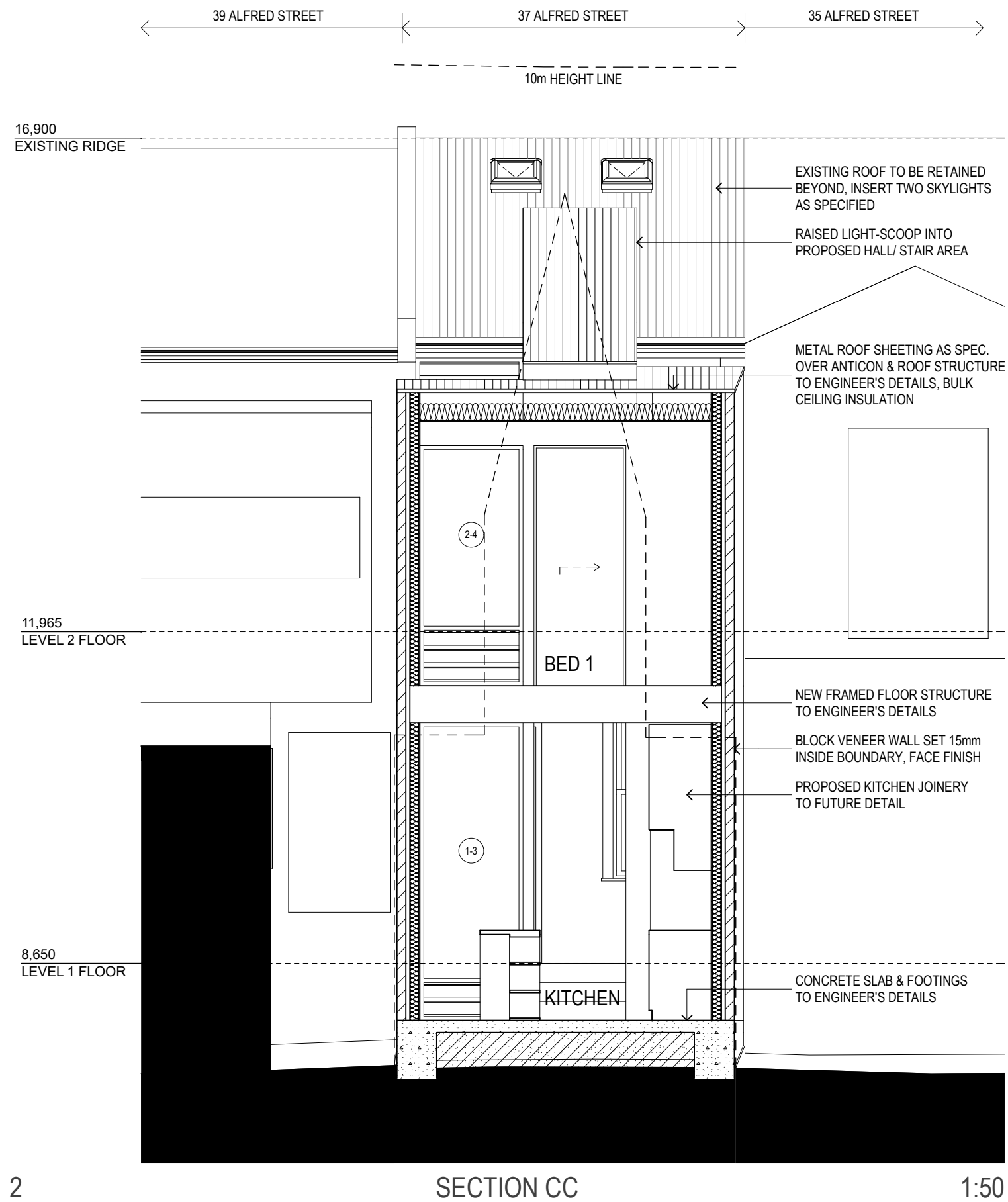
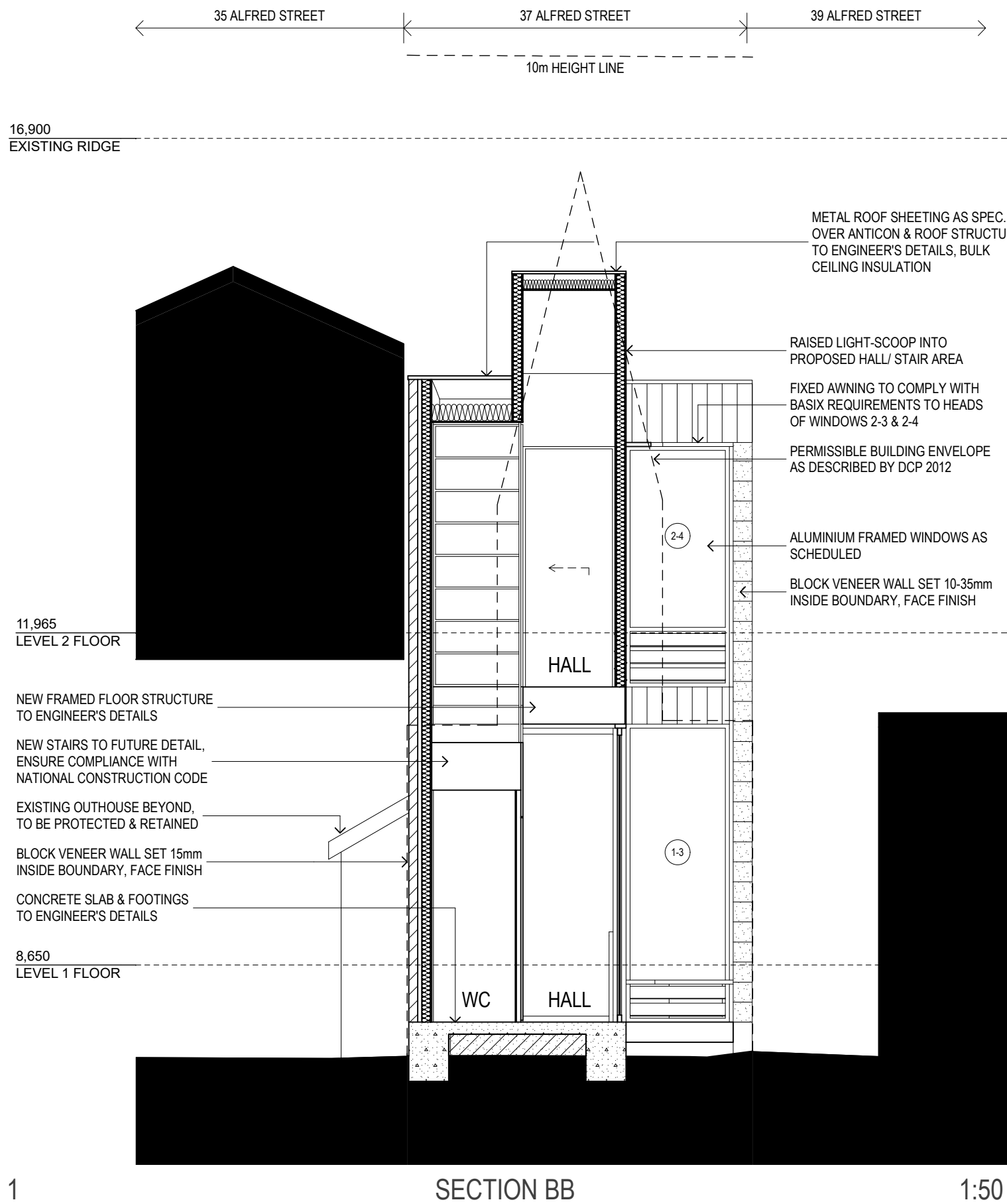
Project Name
SCARBOROUGH
 37 ALFRED STREET NEWCASTLE EAST

Drawing Title:
SECTION AA

Status: DEVELOPMENT APPLICATION

Project No:	Drawing No.:
497	DA-07

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Project Name
SCARBOROUGH
37 ALFRED STREET NEWCASTLE EAST

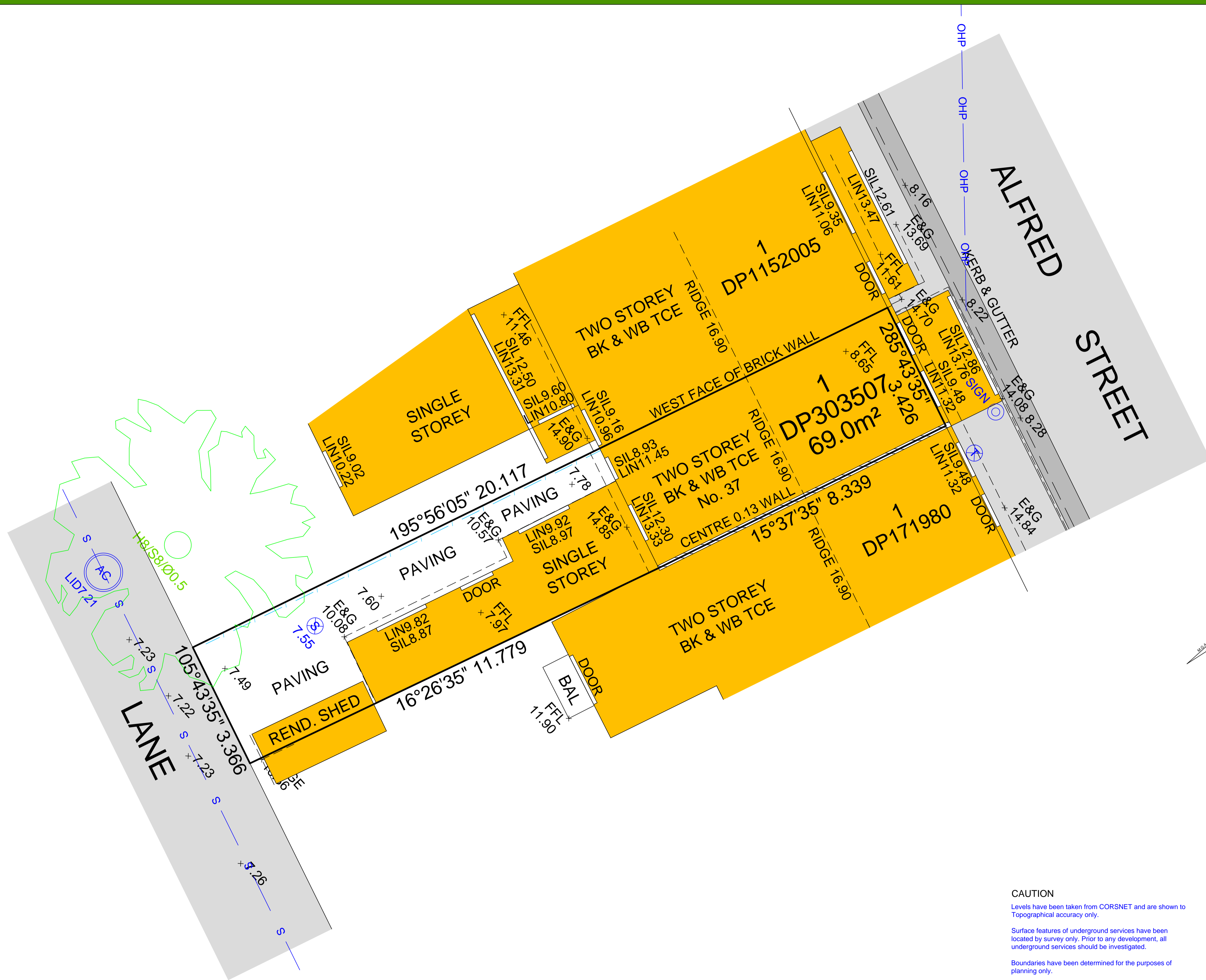
Drawing Title:
SECTIONS BB & CC

Status: DEVELOPMENT APPLICATION

Project No:	Drawing No.:
497	DA-08

C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17
ISSUE	AMENDMENT	DATE

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CAUTION
 Levels have been taken from CORSNET and are shown to Topographical accuracy only.
 Surface features of underground services have been located by survey only. Prior to any development, all underground services should be investigated.
 Boundaries have been determined for the purposes of planning only.
 This Caution is an integral part of this plan.

LEGEND	
ALL SYMBOLS - NOT TO SCALE	
	BENCH MARK
	POWER POLE
	GAS METER
	TELECOMM PIT
	STOP VALVE
	SEWER INSPECTION POINT
	ACCESS CHAMBER
	BOLLARD
	OVERHEAD POWER LINE
	SEWER LINE
	WATER LINE
	CONTOUR LINE
	BOUNDARY LINE
	TREE
	HEIGHT/SPREAD/DIAMETER

L.G.A.: NEWCASTLE
 Parish: NEWCASTLE EAST
 Locality: BOURNEBLUE
 Client: BOURNEBLUE

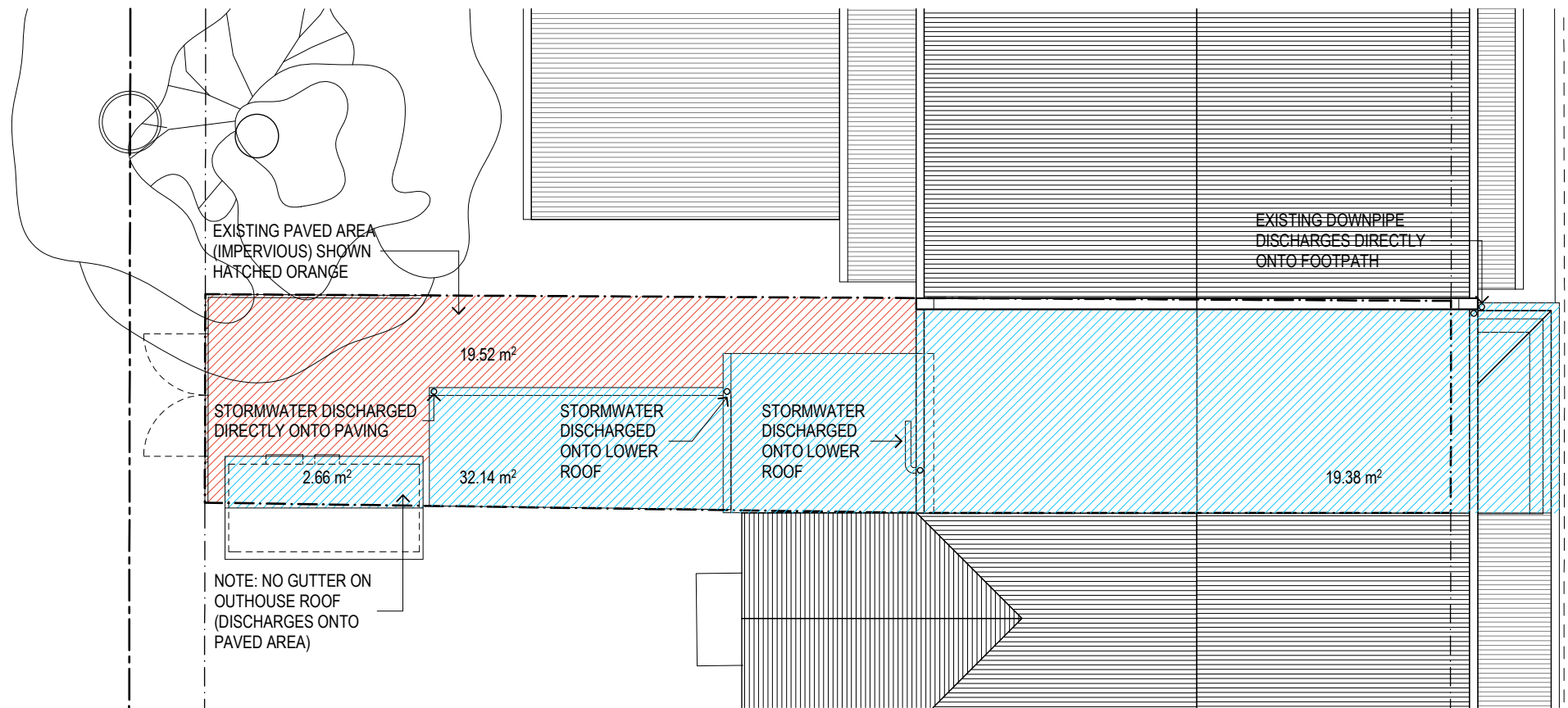
Ratio: 1:100(A2)
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 Origin: AM
 Drawn: AM

Date Surveyed: 6/03/2017
 Date Printed: 7/03/2017
 Reference: 100180
 Drawing: 100180_1.dwg

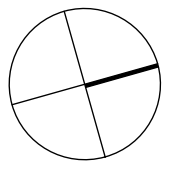
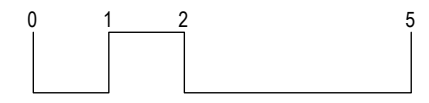
DETAIL SURVEY
LOT M DP3094
37 ALFRED STREET, NEWCASTLE EAST



EARTH SURVEYING
CONSULTING SURVEYORS
 PO Box 4, NEWCASTLE NSW 2300
 02 4929 1900 0405 223133
 andrew@earthsurveying.com.au



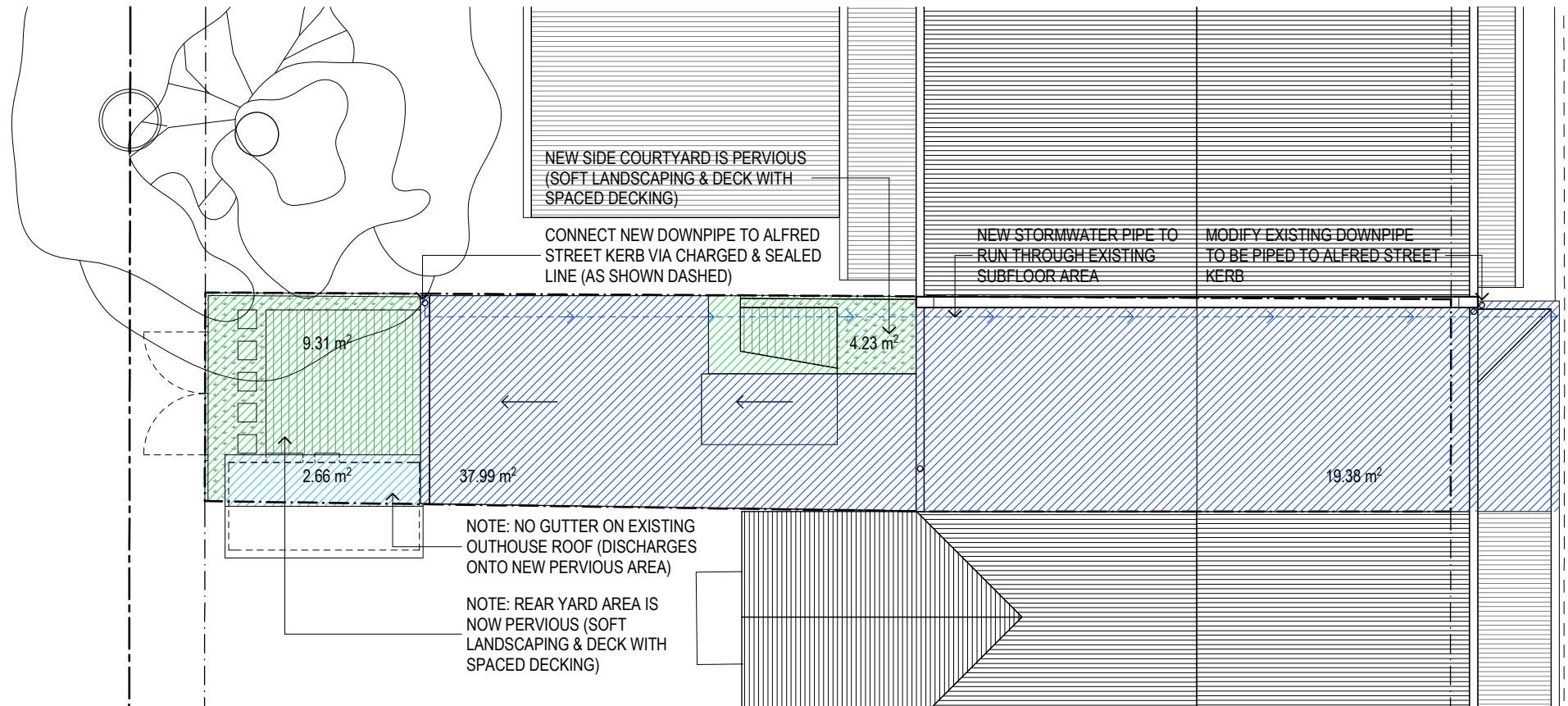
ALFRED STREET



EXISTING STORMWATER ARRANGEMENTS
NOTE: 100% OF STORMWATER IS CURRENTLY UN-MANAGED.
73.7m² UN-MANAGED STORMWATER: REAR LEAN-TO ROOFS (32.14m²) & OUTHOUSE ROOF (2.66m²) AS SHOWN HATCHED LIGHT BLUE + PAVING AREA (19.52m²) AS SHOWN HATCHED ORANGE
NOTE: NO PERVIOUS AREA
NOTE: THERE DO NOT APPEAR TO BE ANY STORMWATER PITS LOCATED IN THE EXISTING REAR PAVED AREA OR IN THE ADJACENT REAR LANE.

STORMWATER PLAN - EXISTING

1:100



ALFRED STREET

PROPOSED STORMWATER ARRANGEMENTS
57.37m² STORMWATER PIPED TO COUNCIL STORMWATER SYSTEM AT ALFRED STREET KERB: FRONT ROOF (19.38m²) + REAR ROOFS (37.99m²) AS SHOWN HATCHED DARK BLUE
2.66m² UN-MANAGED STORMWATER: OUTHOUSE ROOF AS SHOWN HATCHED LIGHT BLUE - NOTE THIS NOW DISCHARGES ONTO PERVIOUS AREA RATHER THAN PAVING.
13.54m² PERVIOUS AREA: SIDE COURTYARD (4.23m²) + REAR YARD AREA (9.31m²) AS SHOWN HATCHED GREEN.
NOTE: NEW CHARGED & SEALED STORMWATER LINE TO BE 100mm SEWER GAUGE UPVC PIPE

STORMWATER PLAN - PROPOSED

1:100

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B	MODIFIED ISSUE	15/04/19
A	DA ISSUE	11/04/19
ISSUE	AMENDMENT	DATE

Project Name
SCARBOROUGH
 37 ALFRED STREET NEWCASTLE EAST

Drawing Title:
STORMWATER PLAN

Status: DEVELOPMENT APPLICATION

Project No.: **497** Drawing No.: **DA-09**

Project No.: **497** Drawing No.: **DA-09**

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