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**DAC 20/04/21 – 61 GIPPS STREET CARRINGTON – DA2020/01248 -
DWELLING HOUSE - ALTERATIONS AND ADDITIONS INCLUDING
DEMOLITION**

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**DAC 20/04/21 – 61 GIPPS STREET CARRINGTON – DA2020/01248 -
DWELLING HOUSE - ALTERATIONS AND ADDITIONS INCLUDING
DEMOLITION**

ITEM-8 Attachment A: Submitted Plans

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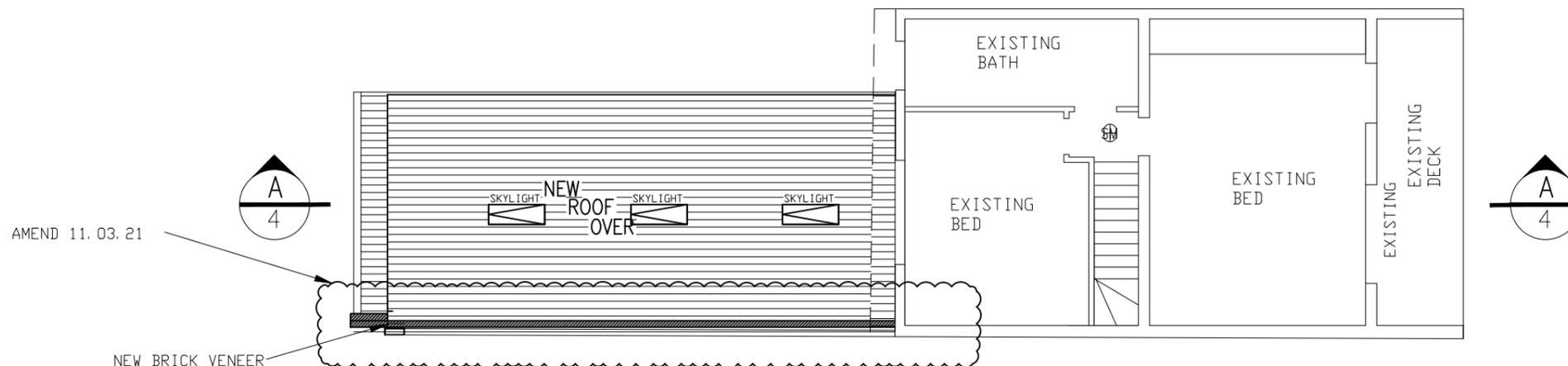


WINDOW SCHEDULE ⁶

NO.	ORI.	SIZE	AREA	GLAZING
W-1	NW	0624 SFS	1.44sqm	C
W-2	NW	0624 SFS	1.44sqm	C
D-01	SW	2136 ASD	7.56sqm	C

NOTES

- ⊕ SMOKE ALARM
 - ⊞ LIFT OFF HINGE
 - BWCJ BRICK CONTROL JOINT
 - ⬠ MECHANICAL EXHAUST
- KITCHEN LAYOUT TO SEPARATE MANUFACTURERS' DETAILED DRAWINGS.



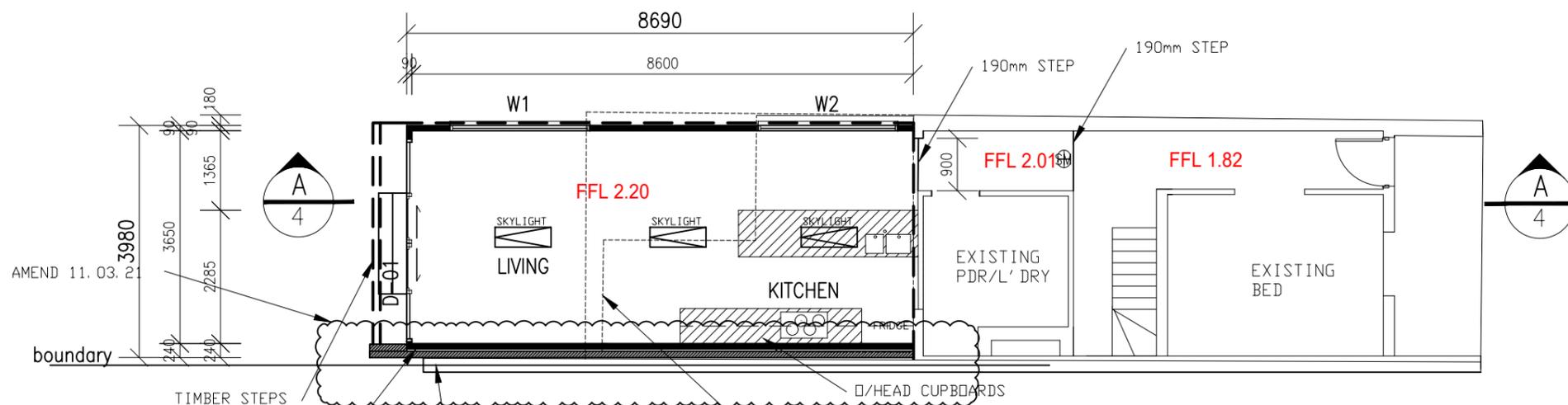
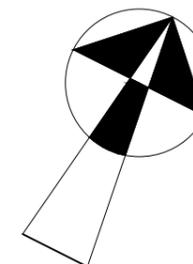
AMEND 11.03.21

NEW BRICK VENEER WALL TO PROVIDE 60/60/60 FIRE RATING TO NEW STRUCTURE. BRICKWORK TO EXTEND BEYOND NEW ROOF LINE

UPPER FLOOR PLAN
NEW WALLS

RETAIN EXISTING STRUCTURE. ADEQUACY TO BE DETERMINED ONSITE.

NORTH



AMEND 11.03.21

NEW BRICK VENEER WALL TO PROVIDE 60/60/60 FIRE RATING TO NEW STRUCTURE. BRICKWORK TO EXTEND BEYOND NEW ROOF LINE

LOWER FLOOR PLAN
NEW WALLS

proprietor KENDYLL
LOT 4, DP499831
61 GIPPS ST
CARRINGTON

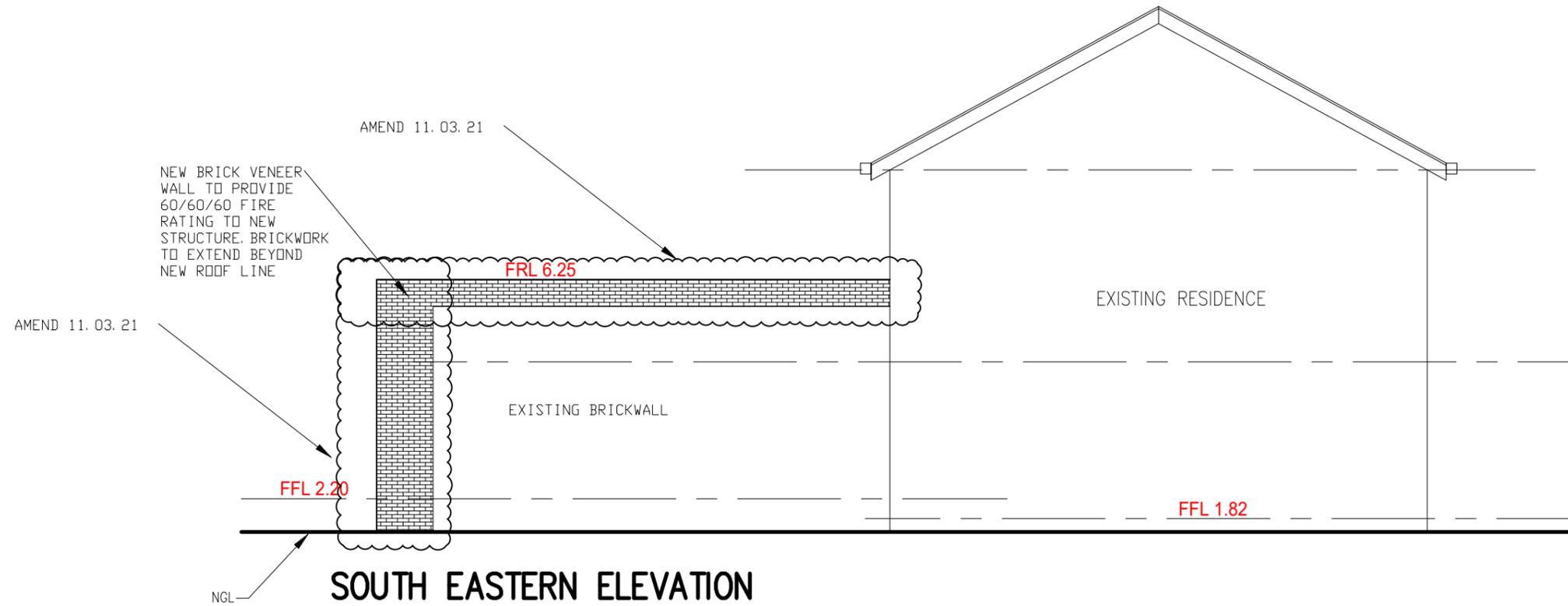
project proposed
EXTENSIONS

drawing FLOOR PLANS

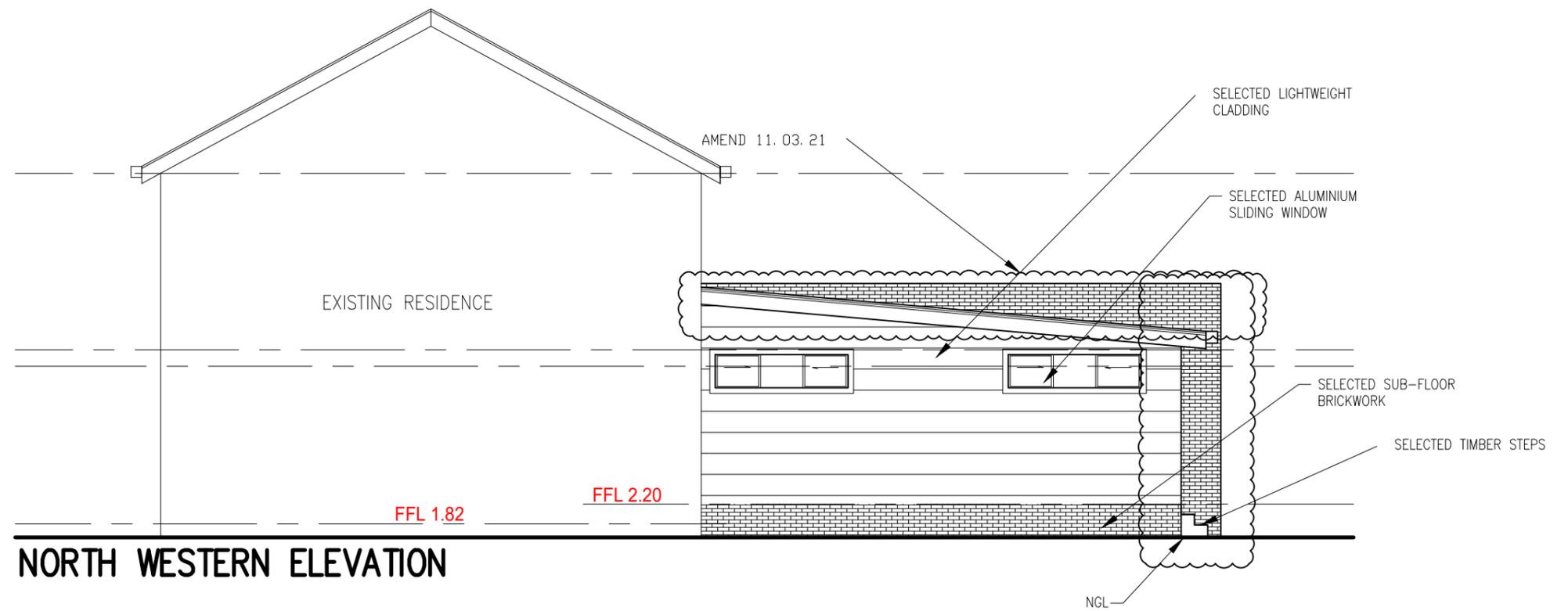
ECODIMENSIONS
JUSTIN CROFT
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all dimensions to be clarified on site

AMENDMENT
DATE 14.10.20
22.10.20
ADJUSTMENT
AMEND
amend

scale 1:200, 1:100
date OCT'20
drawing no. 2OF5
project no. 2021157
drawn by jdc



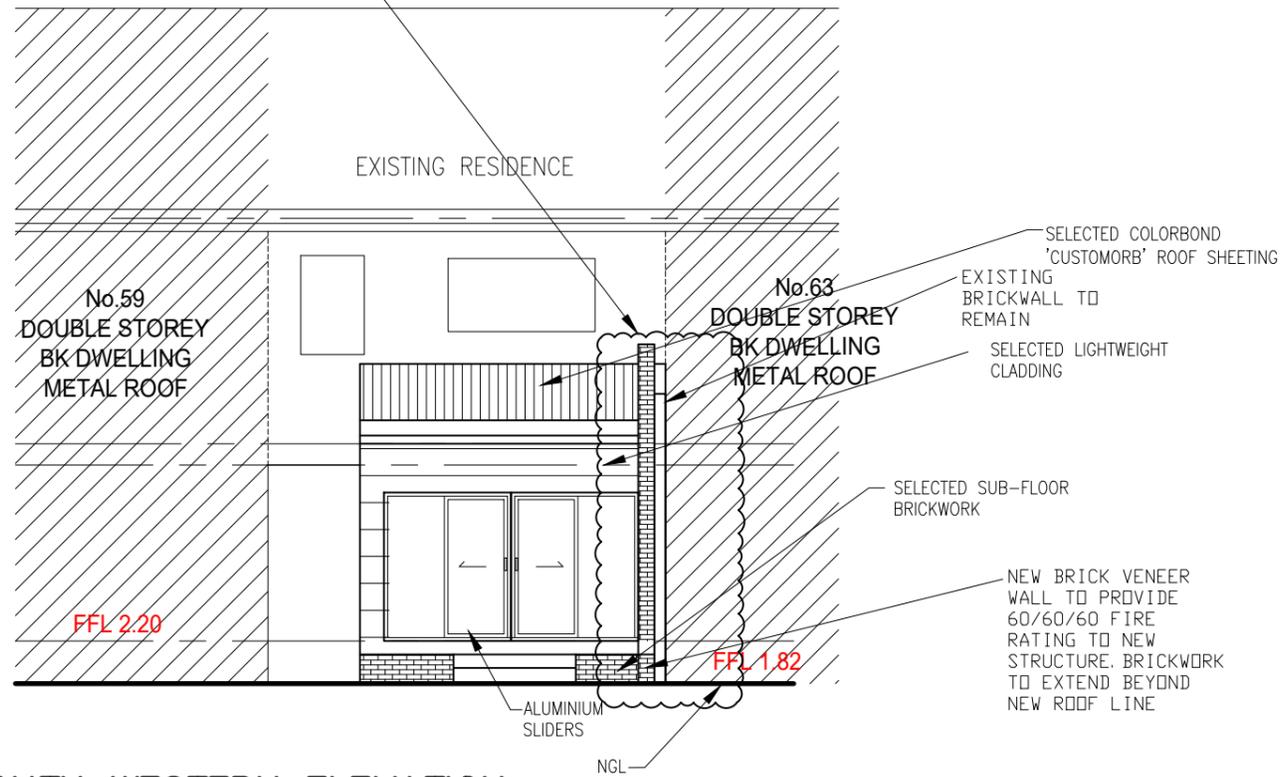
SOUTH EASTERN ELEVATION



NORTH WESTERN ELEVATION

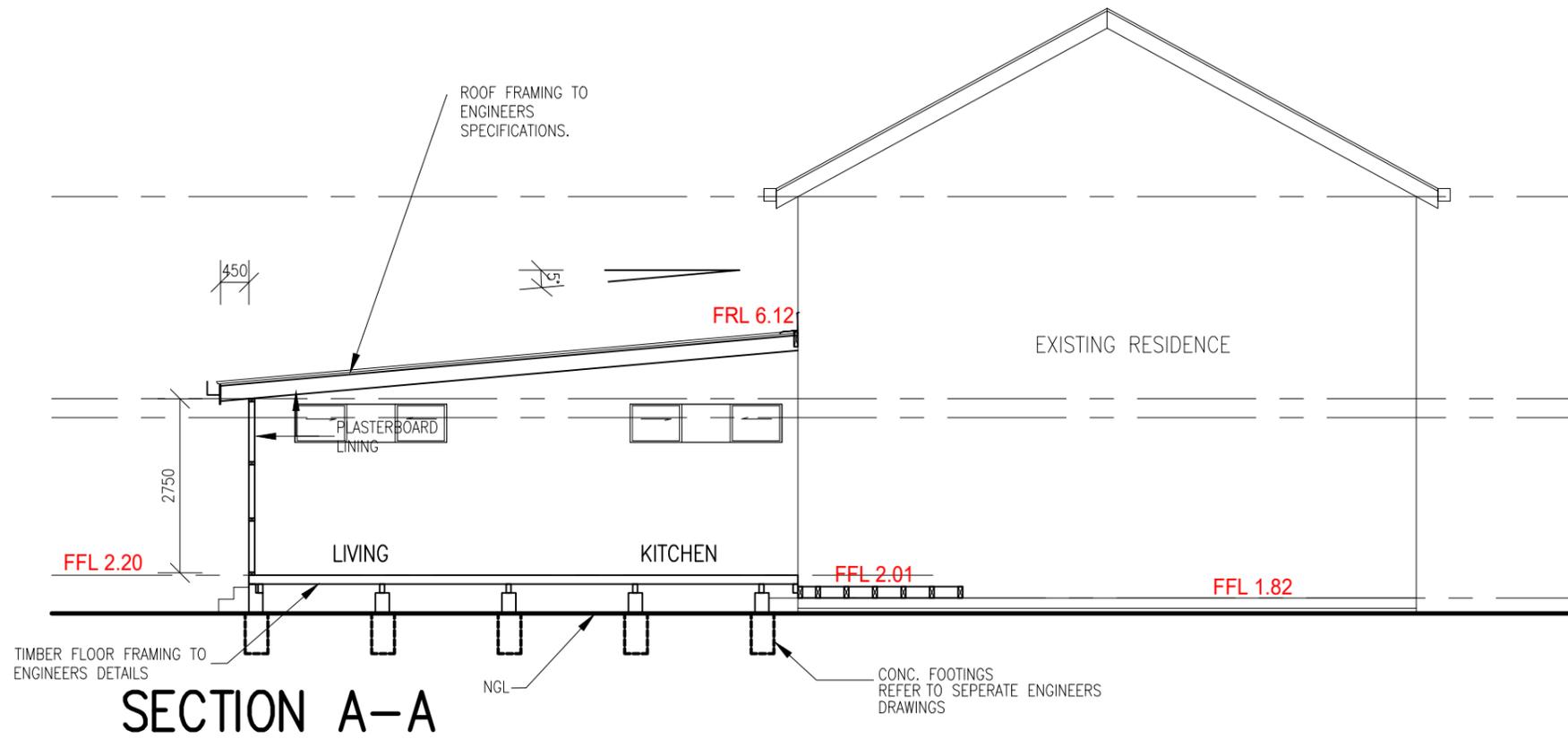
proprietor KENDYLL LOT 4, DP499831 61 GIPPS ST CARRINGTON	project proposed EXTENSIONS	drawing ELEVATIONS	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 14.10.20 22.10.20	ADJUSTMENT AMEND amend	scale 1:200, 1:100	date OCT'20	drawn by jdc drawing no. 3OF5 project no. 2021157
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AMEND 11. 03. 21



SOUTH WESTERN ELEVATION

INSULATION
 R1.5 WALL INSULATION
 R3.0 CEILING INSULATION
 55mm ANTICON BLANKET



SECTION A-A

proprietor KENDYLL LOT 4, DP499831 61 GIPPS ST CARRINGTON	project proposed EXTENSIONS	drawing ELEVATIONS 2 SECTION	ECODIMENSIONS JUSTIN CROFT 0417436249 © copyright all dimensions to be clarified on site	AMENDMENT DATE 14.10.20 22.10.20	ADJUSTMENT AMEND amend	scale 1:200, 1:100	date OCT'20	drawn by jdc
						drawing no. 4OF5	project no. 2021157	

GENERAL SPECIFICATION ONLY. PLEASE REFER TO CLIENT / CONSULTANT OR AUSTRALIAN STANDARD TO ENSURE ACCURACY	
<u>DRAINAGE / PLUMBING</u>	LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION.ALL PLUMBING WORK SHALL COMPLY WITH HUNTER WATER CORPORATION REQUIREMENTS CONNECT ALL SUBSURFACE DRAINS TO EXISTING SYSTEM DOWNPIPES & GUTTERS TO CONNECT TO UPVC PIPE AND DISPENSED TO STORMWATER IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.INSTALL HOT WATER SERVICE AT AS3500-2013.ALL DRAINAGE WORK TO BE CARRIED OUT BY BY A LICENCED DRAINER.
<u>ELECTRICIAN</u>	ALL WORK TO BE CARRIED OUT TO AS3000-2018.ELECTRICAL INSTALLATION TO HOUSE IS TO BE CARRIED OUT IN ACCORDANCE WITH SAA WIRING RULES. LIGHT FITTINGS, SWITCHES AND OUTLETS TO OWNERS SELECTION AND LOCATION U.N.O
<u>GLAZIER</u>	ALL GLASS THROUGHOUT IS TO BE OF APPROVED MANUFACTURE. GLASS TO BE BACK PUTTIED, SPRIGGED INTO PRIMED OR OIL REBATES AND WEATHER PUTTIED. NEW WINDOWS & DOORS SHALL BE SLIDING ALUMINIUM TO OWNER'S SELECTION TO MATCH STYLE OF EXISTING HOUSE U.N.O PROVIDE APPROVED FLASHING UNDER UNDER EACH WINDOW FRAME.
<u>PAINTER</u> WHERE REQUIRED	ALL PAINT COLOURS & FINISHES TO OWNER'S SELECTION ALL PAINT TO BE SUPPLIED BY A REPUTABLE MANUFACTURER. ALL PAINT TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.ALL SURFACES SHALL BE PREPARED PROPERLY.
<u>GENERAL</u> WHERE REQUIRED	<u>DAMPCOURSE</u> ON ALL BRICKWORK AT A LEVEL NOT HIGHER THAN THE BOTTOM OF FLOOR BEARERS, PROVIDE A CONTINUOUS RUN OF APPROVED DAMPCOURSE MATERIAL TO FULL WIDTH OF WALL THICKNESS AND TO ENGAGED PIERS AND PLACE UNDER ALL ANT CAPPING. <u>ANTCAPS</u> CONTINUOUS ANT CAPPING SHALL BE PROVIDED AT LEVEL OF UNDERSIDE OF BEARERS, OVER ALL FOUNDATION WALLS AND PIERS, FENDER WALLS ETC. ANT CAPPING TO BE OF AN APPROVED MATERIAL. <u>SEDIMENT & EROSION CONTROL</u> PROVIDE SILT FENCE AROUND COMPLETE SITE.PROVIDE 1000 WIDE CONSTRUCTION EXIT TO CONTAIN POLLUTED WATER. <u>RUBBISH CONTROL</u> 1800 SQUARE x 1200 HIGH RUBBISH ENCLOSURE CONSTRUCTED OF 1800 HIGH STAR PICKETS, 1200
<u>TILELAYER</u> WHERE REQUIRED	COVER FLOOR OF BATHROOM, TOILETS AND LAUNDRY AND OTHERS AREAS INDICATED ON FIX TILES TO SURFACES OVER SUITABLE WATERPROOFED SHEET MATERIAL WITH APPROVED ADHESIVE PLAN WITH SELECTED TILES SET TO AN APPROVED PLAN. WHEN FIXING TO BRICKWORK USE 3:1 SAND/CEMENT
<u>TIMBER</u>	ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1684.2-2010 'NATIONAL TIMBER FRAMING CODE' ALL WORKMANSHIP & MATERIALS SHALL COMPLY WITH SAA TIMBER STRUCTURES CODE AS1720 AND SAA TIMBER FRAMING CODE AS1684 AS APPLICABLE TIMBER SHALL BE FREE OF DEFECTS AT JOINTS
<u>DESIGN WINDSPEED</u>	(IN ACCORDANCE WITH AS1170 PART-WIND LOAD FOR HOUSING) <u>WIND CLASSIFICATION</u> (FROM TABLE 1.1, NSW TIMBER FRAMING CODE) <u>NOTE:</u> MINIMUM 2 BRACING UNITS EACH EXTERNAL WALL BRACING LOCATIONS MAY BE VARIED PROVIDING MINIMUM NUMBERS ARE MAINTAINED. TYPE A OR TYPE B IN ACCORDANCE WITH AS1684 OR NSW TIMBER FRAMING MANUAL.
<u>CONCRETE</u>	ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600. CONCRETE QUALITY SHALL BE AS FOLLOWS:- TWO (2) TRANSVERSE WIRES PLUS 30mm. TRENCH MESH BAR SPLICE MIN 500mm. AT 'T' INTERSECTIONS BARS ARE TO CONTINUE ACROSS INTERSECTION. AT 'L' BARS ARE TO BE BENT AND LAPPED 500mm. INTERSECTIONS OUTER. CURING COMPOUND IS TO BE APPLIED TO SLABS WITHIN 2 HOURS OF FINISHING. ALL CONCRETE IS TO BE MECHANICALLY VIBRATED. CONCRETE SIZES SHOWN DO NOT INCLUDE THICKNESS OF APPLIED FINISHES. ALL CONCRETE TO BE PLACED IN ACCORDANCE WITH SECTION 19 OF AS 3600. REINFORCEMENT SHALL COMPLY WITH:- AS 1304 - TRENCH MESH AND FABRIC AS 1302 - REINFORCING BARS. EXPOSURE CLASSIFICATION TO AS 3600 CONCRETE SURFACES IS:-
<u>FOUNDATIONS</u>	FOOTINGS HAVE BEEN DESIGNED TO ENGINEERS REQUIREMENTS. TO AS 2870 2011. FURTHER GEOTECHNICAL EVIDENCE MAY LEAD TO AMENDMENTS TO FOOTING REQUIREMENTS. FOOTINGS HAVE BEEN DESIGNED FOR THE FOLLOWING ALLOWABLE BEARING PRESSURES:- FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS PRESSURE BEFORE PLACING CONCRETE IN FOOTINGS. ALL FOOTINGS TO BE FOUNDED INTO NATURAL GROUND TO THE SATISFACTION OF THE SUPERVISING ENGINEER. AREA BENEATH FOUNDATIONS TO BE CLEAR OF ALL ORGANIC MATERIAL. ENGINEER MAY REQUIRE EDGE BEAMS TO BE DEEPENED AND/OR PIERING AFTER INSPECTION OF EXCAVATION. FOR NORMAL GARDEN AND SITE CONDITIONS. OWNERS RESPONSIBILITIES
<u>BRICKWORK</u> WHERE REQUIRED	ALL MASONRY CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700. BRICKS USED IN LOAD BEARING WALLS SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 12 MP _a . MORTAR SHALL BE CLASSIFICATION M3 AND SHALL BE FRESHLY PREPARED AND COMPOSED OF CEMENT : LIME : SAND IN THE RATIO OF 1 : 1 : 6 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2.8 MP _a AT 28 DAYS. MORTAR BED THICKNESS SHALL NOT EXCEED 10mm. WALL TIES SHALL BE MANUFACTURED OF STAINLESS STEEL AND BE PLACED AS FOLLOWS: (A) IN GENERAL WORK @ 600 cts IN EACH DIRECTION. (B) ADJACENT TO LATERAL SUPPORTS, CONTROL JOINTS AND OPENINGS @ 300 cts. WHERE SLABS OR BEAMS PROVIDE 15mm WIDE CONTROL JOINTS IN BRICKWORK AT 7000mm MAXIMUM CENTRES. BEAR INTO MASONRY THE TOP COURSE SHALL BE LEVEL, SMOOTH AND COVERED WITH TWO(2) LAYERS OF PRE-CREASED IRON SLIP JOINT OR OTHER APPROVED MATERIAL MASONRY WALLS SHALL BE FIXED TO ADJACENT ELEMENT WITH STAINLESS STEEL TIES TO THE APPROVAL OF THE ENGINEER.

proprietor
KENDYLL
LOT 4, DP499831
61 GIPPS ST
CARRINGTON

project
proposed
EXTENSIONS

drawing
SPECIFICATIONS

ECODIMENSIONS

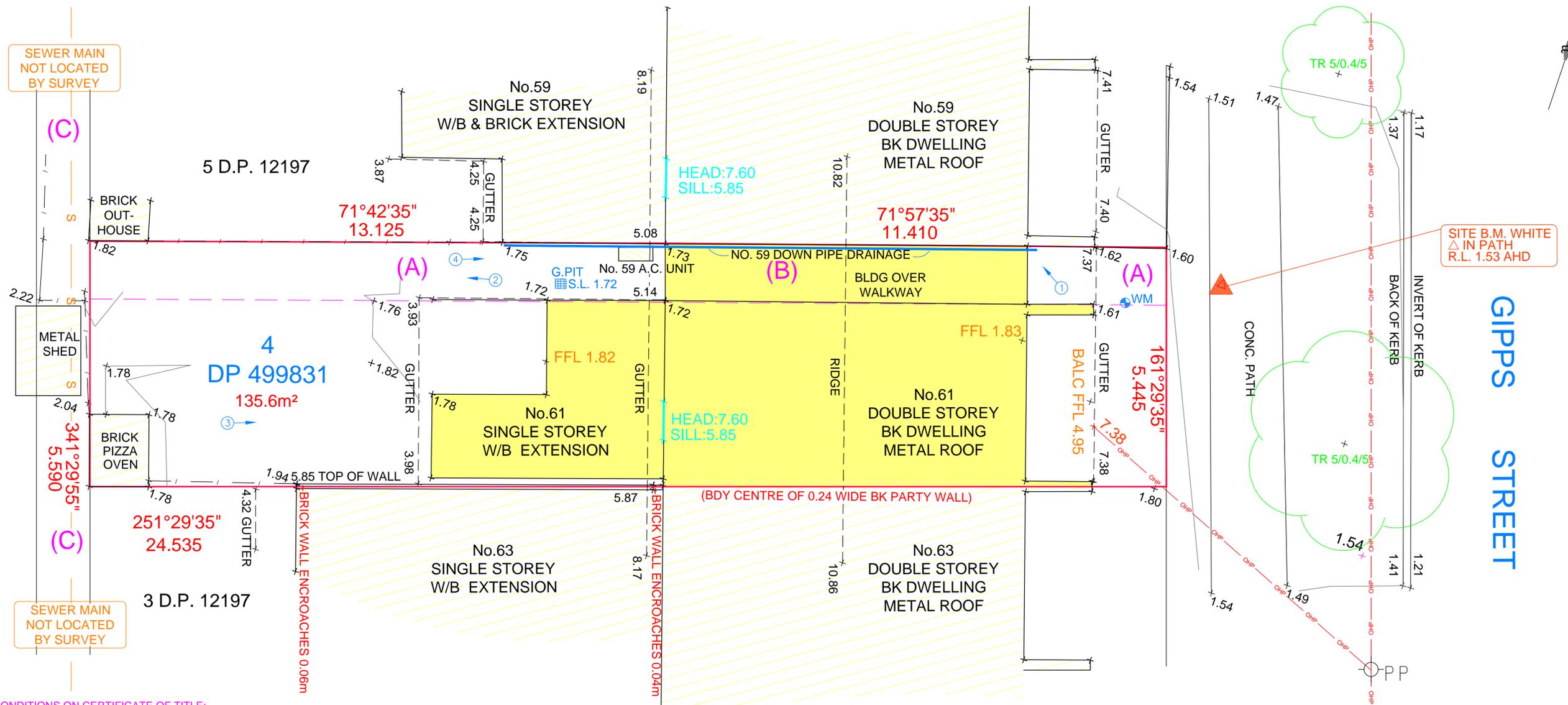
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AMEND
amend

scale
NA
date
OCT'20

drawn by
jdc

drawing no.
5OF5
project no.
2021157



RESERVATIONS AND CONDITIONS ON CERTIFICATE OF TITLE:
 ~ (A) & (B) - RIGHT OF WAY AFFECTING THE SITE (BURDENED) - CREATED BY C629008 AS SHOWN IN D.P. 499831
 ~ CROSS EASEMENTS AFFECTING THE PARTY WALLS ON THE COMMON BOUNDARY OF LOT 3 D.P.12197 AND LOT 4 D.P.499831
 ~ EASEMENT FOR SUPPORT APPURTENANT TO THE LAND AFFECTING LOT 5 D.P.12197
 ~ EASEMENT FOR SUPPORT AFFECTING THE LAND WITHIN LOT 4 D.P.499831
 ~ (C) - DENOTES RIGHT OF WAY - CREATED D.P. 12197

CONVEYANCING ACT 1919 ACT 6 DEFINES RIGHT OF FOOT WAY AS
 'Full and free right for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as the dominant tenement or any part thereof with which the right shall be capable of enjoyment, and every person authorised by that person, to go, pass and repass on foot at all times and for all purposes, without animals or vehicles to and from the said dominant tenement or any such part thereof.'

SCALE 1:50 (A1)



LEGEND

	PHOTO LOCATION & DIRECTION		POWER POLE
	HYDRANT		GAS
	SEWER MAIN		SEWER INSPECTION POINT
	WATER MAIN		SEWER MAN HOLE
	OVERHEAD ELECTRICITY		TELSTRA PIT
	TELSTRA LINE		TELSTRA PILLAR
	FENCE LINE		GRATED PIT
	MINOR CONTOUR LINE		TAP
	MAJOR CONTOUR LINE		WATER METER
	BOUNDARY LINE		SIGN
	TOP & TOE OF BANKS		

NOTE:-
 1. BOUNDARIES HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY, AND HAVE NOT BEEN SURVEYED.
 2. SERVICES HAVE BEEN LOCATED ONLY WHERE VISIBLE, PRIOR TO EXCAVATION OR CONSTRUCTION ALL SERVICES ARE TO BE LOCATED BY RELEVANT AUTHORITY.
 3. SPOT LEVELS AND CONTOURS SHOWN HEREON ARE FOR DESIGN PURPOSES ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO EXCAVATION OR CONSTRUCTION.
 4. APPROXIMATE SITE AREA IS AS SHOWN ON PLAN
 5. DETAILS OF SURVEY ARE CORRECT TO THE DATE SHOWN 21/01/2020



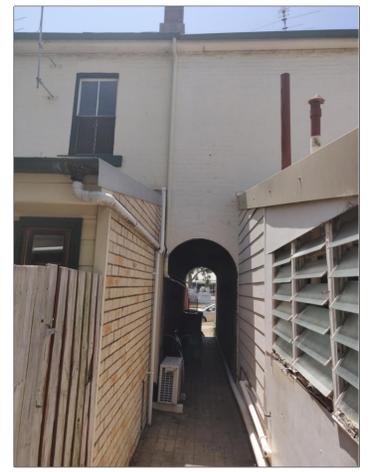
PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



PHOTOGRAPH 4

B	UPDATE SURVEY	25/09/20
A	ISSUED FOR APPROVAL	24/01/20
Ed.	Details of Revisions	Date

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Client / Council Development Consent Number

Scale: 1:100 (A1) 1:200 (A3) Datum: AHD
 Origin: PM13439 - AHD1.188 Contour Int: 0.2
 Surveyor: T.R. Drawn: T.R.
 Checked: J.H. Approved: J.H.
 Job Number: 6300 Drawing File: 6300-DET-2.DWG
 Registered Surveyor:

LAND DEVELOPMENT SOLUTIONS

Surveying • Planning • Engineering

PO Box 853 THE JUNCTION NSW 2291

Phone: (02) 4963 5520 Fax: (02) 4963 5521
 E-mail: mail@lds.net.au

ABN: 42 110 897 928

DETAIL SURVEY OF LOT 4 D.P. 499831 BEING No.61 GIPPS STREET, CARRINGTON, NSW

Drawing Number	Edition
1	A
Sheet 1 of 1	



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**DAC 20/04/21 – 61 GIPPS STREET CARRINGTON – DA2020/01248 -
DWELLING HOUSE - ALTERATIONS AND ADDITIONS INCLUDING
DEMOLITION**

ITEM-8 **Attachment B:** Draft Schedule of Conditions

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Application No:	DA2020/01248
Land:	Lot 4 DP 499831
Property Address:	61 Gipps Street Carrington NSW 2294
Proposed Development:	Dwelling house - alterations and additions including demolition

SCHEDULE 1

APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Site Plan	2021157	Eco dimensions	22/10/2020
Lower Floor Plan	2021157	Eco dimensions	22/10/2020
Upper Floor Plan	2021157	Eco dimensions	22/10/2020
Elevations	2021157	Eco dimensions	22/10/2020
Section A-A	2021157	Eco dimensions	22/10/2020
Basix Certificate	A394477	Justin Croft	20/10/2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

- Building demolition is to be planned and carried out in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*.
- The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
- A Registered Surveyor's certificate detailing the setting out of the proposed building on the site, including the relationship of the set out building to property boundaries, is to be submitted to the Principal Certifier before construction is commenced.
- Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
- Stormwater is to be conveyed to the existing property stormwater drains by way of a sealed pipe system. The existing drains are to be checked for adequacy and cleared

of any obstructions.

7. Any black glassy slag excavated during earthworks, that will not be covered by building structures or reburied on site, is to be removed for disposal at the Summerhill Waste Management Centre or another approved waste disposal site. Any such action is to be verified by the submission of evidence of disposal to the Principal Certifier, eg copy of docket from disposal centre.
8. During construction works, an assessment of acid sulfate soil potential is to be undertaken in the area of excavation. If acid sulfate soils are found to be present, soils are to be treated in accordance with the New South Wales Acid Sulfate Soil Management Advisory Committee's '*Acid Sulfate Soil Manual*'.
9. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
 - a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

10. All building work is to be carried out in accordance with the provisions of the National Construction Code.
11. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
12. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
13. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

14. City of Newcastle's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders

Association Newcastle.

15. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
16. The following waste management measures are to be implemented during construction:
 - a) waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
 - b) the waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
 - c) appropriate provision is to be made to prevent wind blown rubbish leaving the site and
 - d) footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997* (NSW)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

17. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the City of Newcastle with Occupation Certificate documentation.
18. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
19. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
20. All works within the road reserve required by this consent are to be completed prior to the issue of a Occupation Certificate.

ADVISORY MATTERS

- Development applications are not assessed against the provisions of the National Construction Code. An application to modify the application under the *Environmental*

Planning and Assessment Act 1979 will be required if design amendments that cause the proposal to be inconsistent with the development consent are necessary to comply with the provisions of the Building Code of Australia.

- For the purpose of applying the provisions of the National Construction Code for class 1, 2, 3, 4, 9a (health care) and 9c (aged care) buildings, it is advised that the proposed building is located in a Flood Hazard Area and the:
 - a) Defined Flood Level (DFL) is 2.20m Australian Height Datum (AHD)
 - b) Flood Hazard Level is 2.50m AHD (Freeboard is 300mm above DFL)
 - c) Maximum Flow Velocity of floodwaters for the Defined Flood Event is 0m/s
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
 - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to a building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000*.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- The City of Newcastle has considered and accepted the proposed development standard variation made under Clause 4.6 of the *Newcastle Local Environmental Plan 2012*. The proposed 27.7% FSR variation is considered acceptable in the particular circumstances of this case as the variation will not generate significant impacts for the adjoining properties.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



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DWELLING HOUSE - ALTERATIONS AND ADDITIONS INCLUDING
DEMOLITION**

ITEM-8 **Attachment C:** Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER



PROCESSING CHRONOLOGY

DA2020/01248 – 61 Gipps Street, Carrington

- | | |
|-----------------|---|
| 29 October 2020 | - Application lodged |
| 3 November 2020 | - Public notification |
| 15 March 2021 | - Revised clause 4.6 request from applicant submitted |