



City of  
Newcastle



## CITY OF NEWCASTLE

# PUBLIC VOICE COMMITTEE

Councillors,

In accordance with section 367 of the Local Government Act, 1993 notice is hereby given that a Public Voice Committee will be held on:

**DATE:** Tuesday 3 December 2019

**TIME:** 5.30pm

**VENUE:** Council Chambers  
2nd Floor  
City Hall  
290 King Street  
Newcastle NSW 2300

J Bath  
Chief Executive Officer

**City Administration Centre  
282 King Street  
NEWCASTLE NSW 2300**

26 November 2019

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**PUBLIC VOICE COMMITTEE**  
**03 December 2019**

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**PUBLIC VOICE SESSIONS**

**ITEM-1**                      **PV 03/12/19 - NEWCASTLE MARITIME MUSEUM SOCIETY**

**REPORT BY:**              **CHIEF EXECUTIVE OFFICE**  
**CONTACT:**                **CHIEF EXECUTIVE OFFICER**

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**PURPOSE**

An application for Public Voice was received on 16 October 2019 from the Newcastle Maritime Museum Society Inc. seeking an opportunity to brief the elected Council on the Society's proposals for the use of the Newcastle Maritime Museum Society collection.

**ATTACHMENTS**

Nil.

**ITEM-2**                    **PV 03/12/19 - DA2018/00968 - 37 ALFRED STREET  
NEWCASTLE EAST - DWELLING ALTERATIONS AND  
ADDITIONS**

**APPLICANT:**            **SALLY SCARBOROUGH**  
**OWNER:**                **SALLY SCARBOROUGH**  
**REPORT BY:**            **GOVERNANCE**  
**CONTACT:**              **DIRECTOR GOVERNANCE/ MANAGER REGULATORY,  
PLANNING AND ASSESSMENT**

## BACKGROUND

An application has been submitted seeking consent for alterations and additions to a dwelling house.

A copy of the submitted plans for the proposed development is appended at **Attachment A**.

The original application was referred to the Development Applications Committee held on 25 June 2019 for determination, due to a proposed variation to the Floor Space Ratio (FSR) development standard of the Newcastle Local Environmental Plan 2012 (NLEP 2012), being a 28% variation.



**Subject Land:** 37 Alfred Street Newcastle East

At the time of the meeting, it was resolved to defeat the motion put forward to approve the subject application. As no alternate recommendations to refuse the application were put to the meeting, the subject application remains undetermined.

The applicant subsequently lodged a revised proposal for consideration on 11 September 2019. The revised scheme has been reduced in scale and proposes a 7% variation to the Floor Space Ratio (FSR) development standard of NLEP 2012.

The original proposal was considered at a meeting of the Public Voice Committee held on 21 May 2019.

The concerns of the objector that were discussed at the Public Voice Committee meeting in relation to the original plans were FSR exceedance, impact on heritage character of the area, amenity impacts, overshadowing impacts, view impacts, privacy impacts, bulk and scale, inadequate landscaping area and stormwater management.

The amended application was publicly notified on 13 September 2019 in accordance with the Newcastle Development Control Plan 2012 (NDCP 2012). One submission has been received.

It is noted that the previous objector did not lodge a submission in respect of the revised proposal.

The submission in respect of the revised proposal raised concerns regarding:

- i) Bulk and scale
- ii) Building envelope exceedance on side boundaries
- iii) Overshadowing impacts due to wall height
- iv) Inadequate landscaping area

## **1.0 THE SITE**

The subject property comprises Lot 1 in DP 303507 and is a small rectangular allotment located on the southern side of Alfred Street. The site has a frontage of 3.426m to Alfred Street, an average depth of 20.118m and a total area of 69m<sup>2</sup>. The site is relatively flat, with road frontage to Alfred Street and a rear boundary to a laneway that is connected to Telford Street and Zaara Street.

The subject property is occupied by a two-storey, painted weatherboard clad, metal roofed terrace-style dwelling house that is part of a row of seven connected terrace-style dwelling houses. The general built form of the subject property and the surrounding terrace-style dwelling houses comprises of painted brick and weatherboard construction, with elevated timber balconies and metal roof sheeting.

Development in the immediate area predominantly consists of dwelling houses that are of a similar scale and style to that of the subject property.

The site is located within the Newcastle East Heritage Conservation Area.

## **2.0 THE PROPOSAL**

The applicant seeks consent for alterations and additions to a dwelling house, consisting of:

- i) Demolition of the rear single-storey structures (existing kitchen, laundry and bathroom).
- ii) Demolition of the internal stair and chimney structure.
- iii) Extend the existing two storey dwelling by 1.395m and construction a single storey rear addition as detailed on the accompanying plans.

- iv) Reinstatement of the open verandah overhanging the Alfred Street footpath (verandah in this location is currently enclosed), with detail to match 33 Alfred Street (at the end of the row of terraces).
- v) Construction of ground level deck to the rear of the proposed addition.
- vi) Kitchen and bathroom fit-outs.
- vii) Installation of two new skylights (operable skylight) into the existing gable roof.

A copy of the amended submitted plans is appended at **Attachment A**.

The various steps in the processing of the application to date are outlined in the Processing Chronology appended at **Attachment B**.

### **3.0 PUBLIC NOTIFICATION**

The amended application was publicly notified on 13 September 2019 for a period of 14 days in accordance with the NDCP 2012 and one submission was received in response.

The concerns raised by the objector in respect of the proposed development are summarised as follows:

#### **a) Amenity Issues**

- i) Solar access impacts on neighbouring area of private open space.

#### **b) Design and Aesthetic Issues**

- i) The proposed length of the single storey rear addition located on the side boundary exceeds the numerical requirements as stated in the DCP.
- ii) The height of the proposed single storey rear addition is not in keeping with the existing built form (single storey) of the area.

#### **c) Miscellaneous**

- i) Inadequate landscaping area.

### **4.0 DEVELOPMENT OFFICER PLANNING ASSESSMENT**

The submitted application has been assigned to Development Officer Mark McMellon for assessment.

The proposal generally complies with City of Newcastle's controls. FSR and solar access are consistent with surrounding properties in this area.

Landscaping area proposed is greater than existing landscaped area.

**ATTACHMENTS**

**Item 2 Attachment A: Submitted Plans - 37 Alfred Street Newcastle East-  
Distributed Under Separate Cover**

**Item 2 Attachment B: Processing Chronology - 37 Alfred Street Newcastle  
East – Distributed Under Separate Cover**

**Attachments A and B are distributed under separate cover**

## **ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**ITEM 2      DA2018/00968 - 37 ALFRED STREET NEWCASTLE EAST**

**Attachment A** - Submitted Plans

**Attachment B** - Processing Chronology

**PUBLIC VOICE COMMITTEE MEETING**

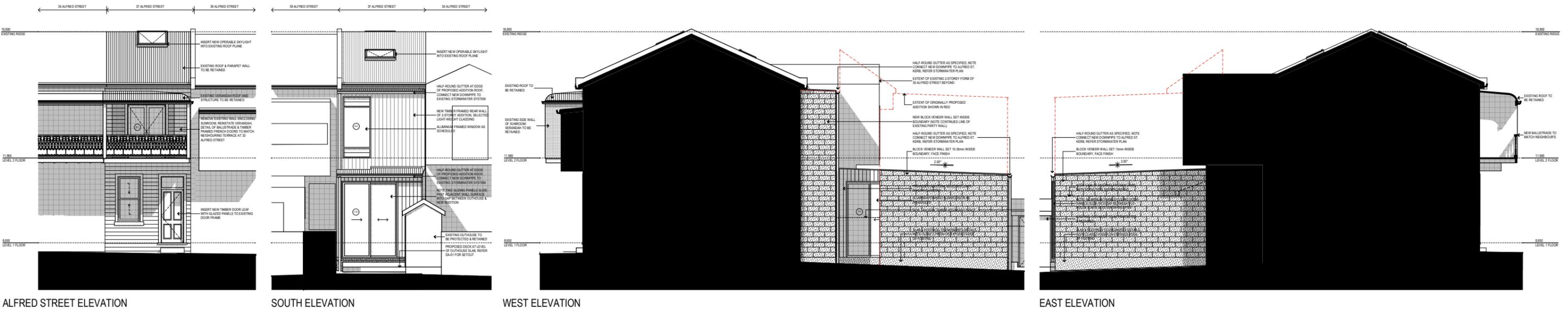
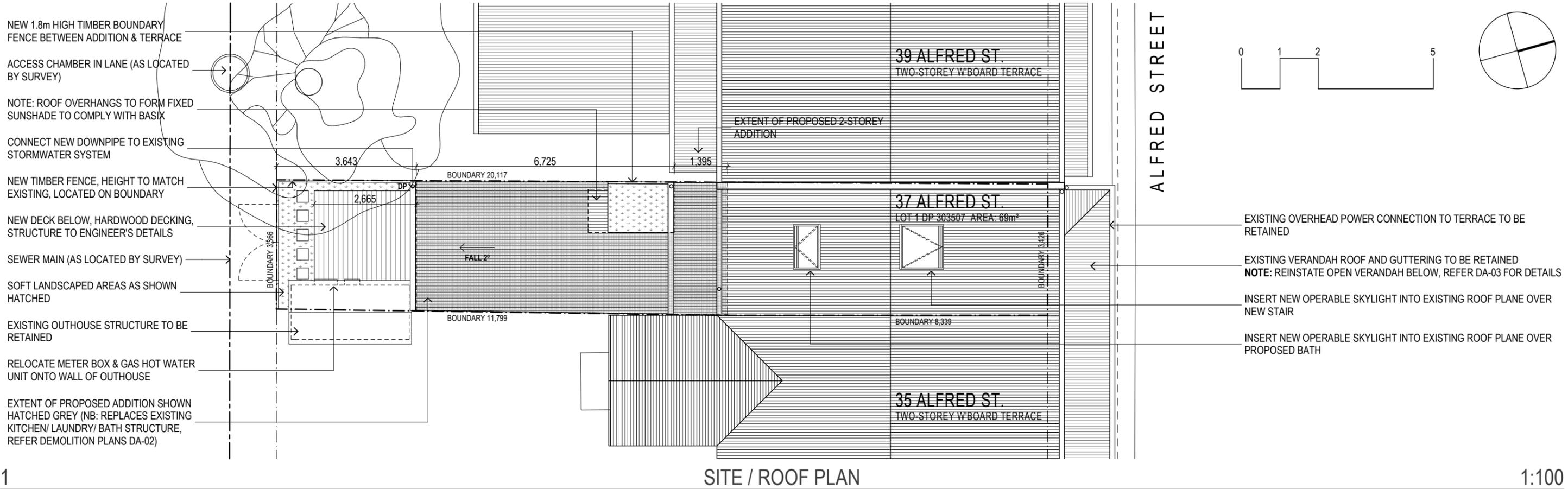
3 December 2019

**PV**

**DA2018/00968 - 37 Alfred Street Newcastle East**

**Attachment A: Submitted Plans**

**DISTRIBUTED UNDER SEPARATE COVER**



**2**

**BOURNE + BLUE ARCHITECTURE**

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Project Name  
**SCARBOROUGH**  
 37 ALFRED STREET NEWCASTLE EAST

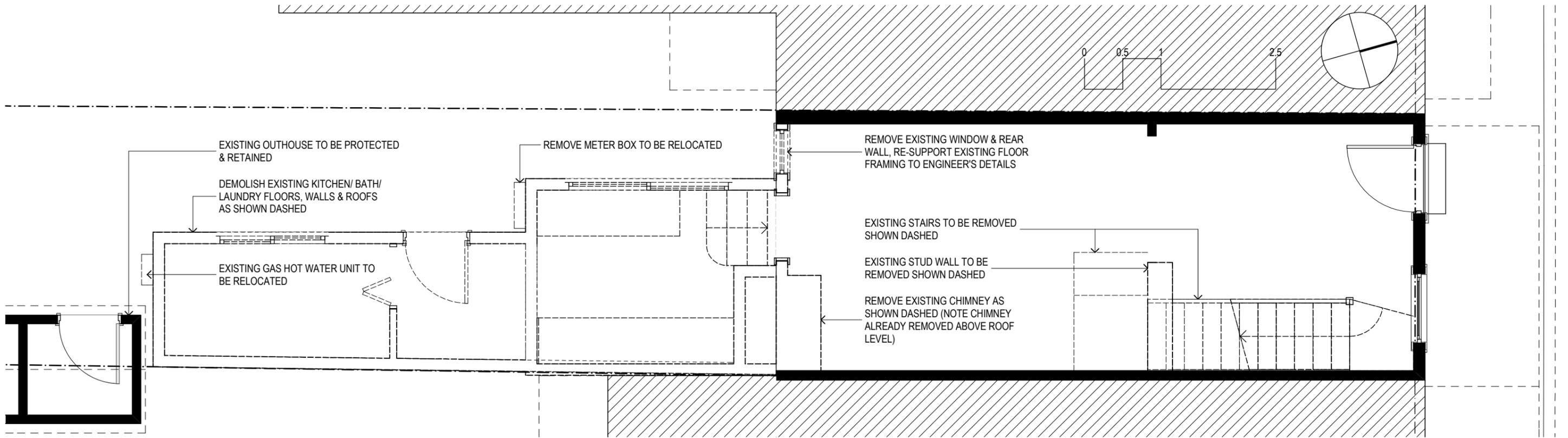
Drawing Title:  
**ROOF/ SITE PLAN**

Status: DEVELOPMENT APPLICATION

Project No: **497** Drawing No.: **DA-01**

ISSUE	AMENDMENT	DATE
C	AMENDED DA ISSUE	10/09/19
B	DA ISSUE	13/08/18
A	ISSUE FOR CLIENT APPROVAL	03/07/18

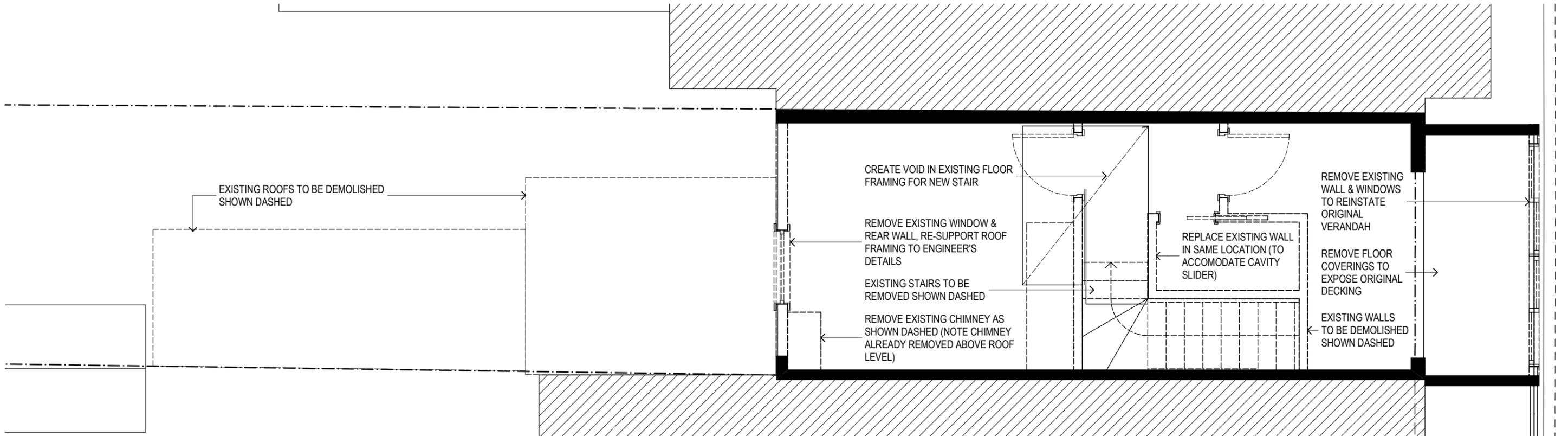
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1

LEVEL 1 DEMOLITION PLAN

1:50



2

LEVEL 2 DEMOLITION PLAN

1:50

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ISSUE	AMENDMENT	DATE
D	AMENDED DA ISSUE	10/09/19
C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17

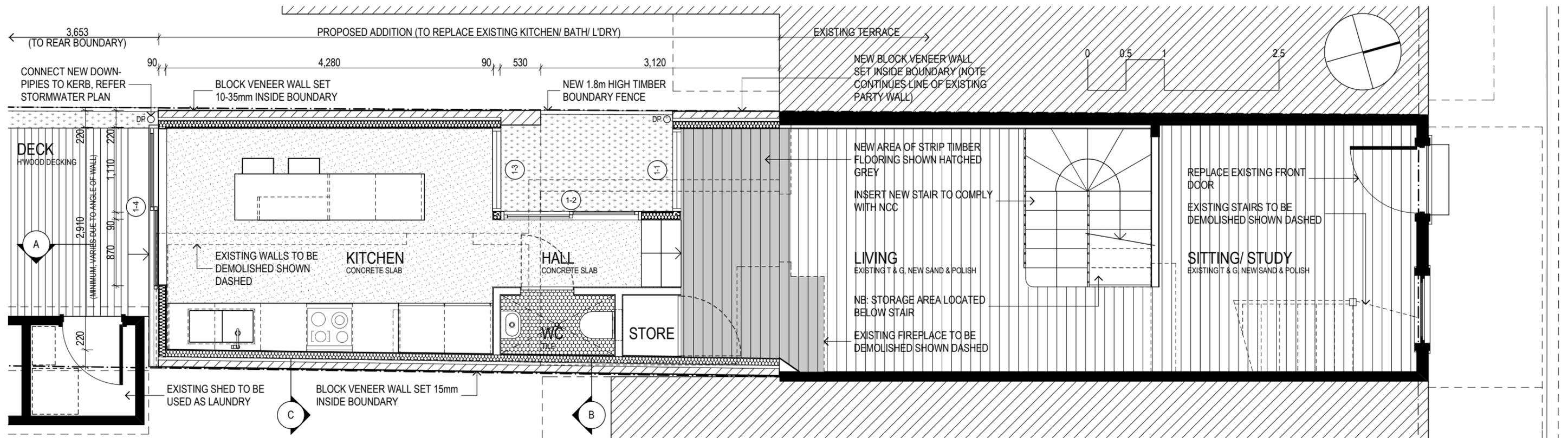
Project Name  
**SCARBOROUGH**  
37 ALFRED STREET NEWCASTLE EAST

Drawing Title:  
**DEMOLITION PLANS**

Status: DEVELOPMENT APPLICATION

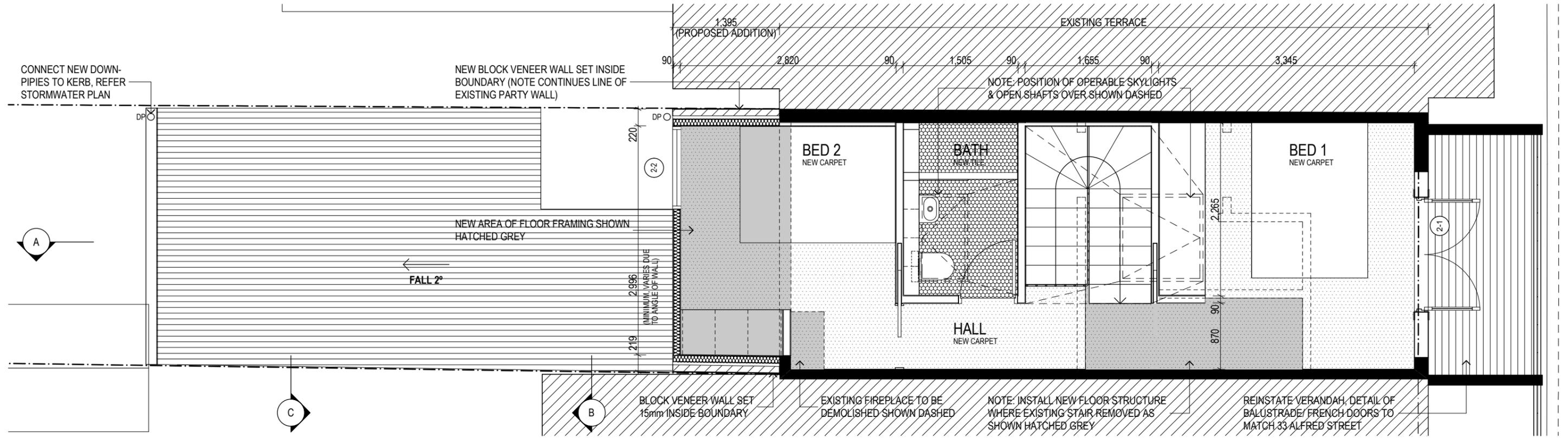
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**LEVEL 1 PLAN**

1:50



**LEVEL 2 PLAN**

1:50

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Project Name  
**SCARBOROUGH**  
37 ALFRED STREET NEWCASTLE EAST

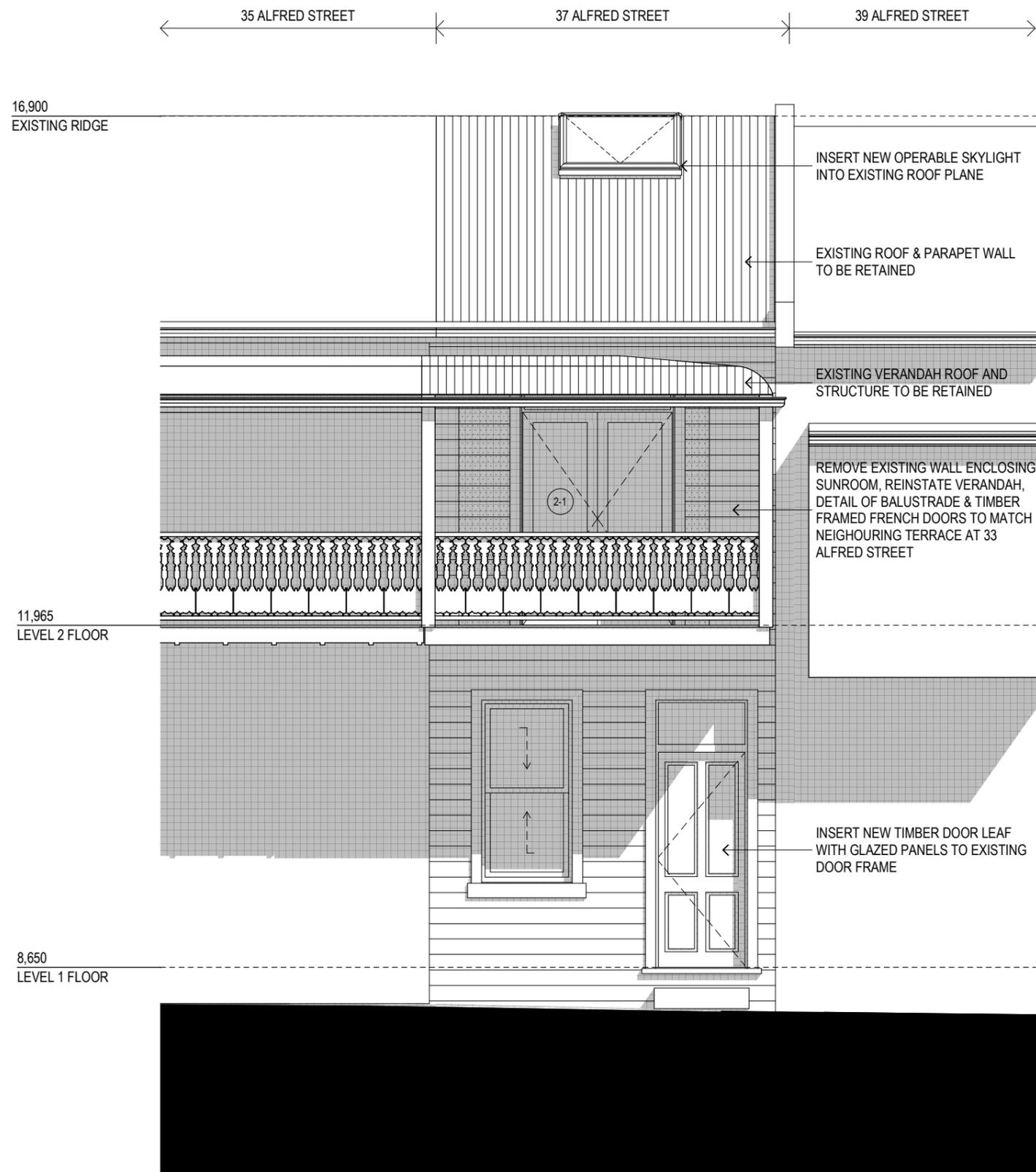
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Status: DEVELOPMENT APPLICATION

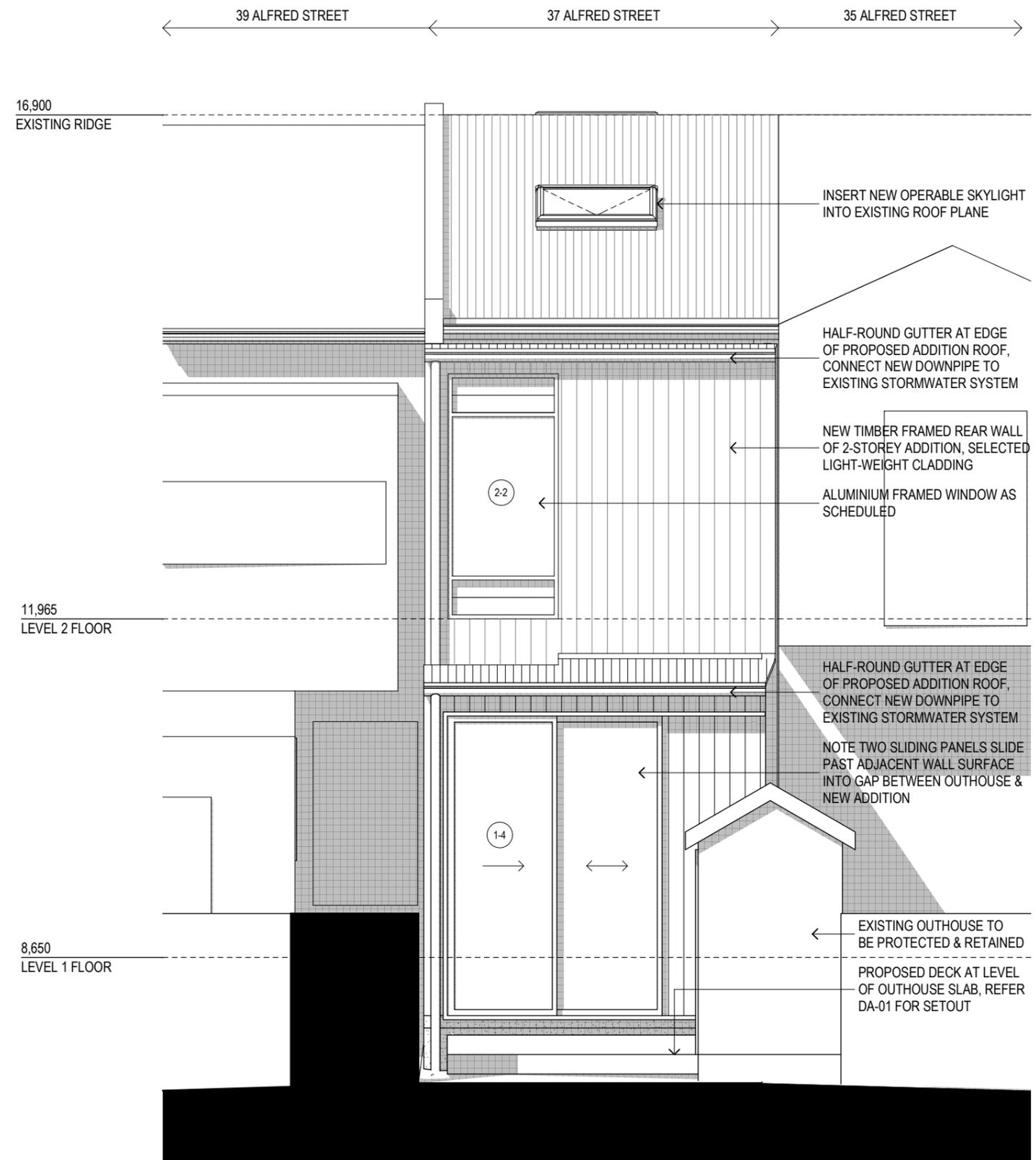
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C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17

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1 ALFRED STREET ELEVATION 1:50



2 SOUTH ELEVATION 1:50

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C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17

Project Name  
**SCARBOROUGH**  
 37 ALFRED STREET NEWCASTLE EAST

Drawing Title:  
**ELEVATIONS**

Status: DEVELOPMENT APPLICATION

Project No: <b>497</b>	Drawing No.: <b>DA-04</b>
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16,900  
EXISTING RIDGE

EXISTING ROOF TO  
BE RETAINED

EXISTING SIDE WALL  
OF SUNROOM/  
VERANDAH TO BE  
RETAINED

11,965  
LEVEL 2 FLOOR

8,650  
LEVEL 1 FLOOR

HALF-ROUND GUTTER AS SPECIFIED, NOTE  
CONNECT NEW DOWNPIPE TO ALFRED ST.  
KERB, REFER STORMWATER PLAN

EXTENT OF EXISTING 2-STOREY FORM OF  
35 ALFRED STREET BEYOND

EXTENT OF ORIGINALLY PROPOSED  
ADDITION SHOWN IN RED

NEW BLOCK VENEER WALL SET INSIDE  
BOUNDARY (NOTE CONTINUES LINE OF  
EXISTING PARTY WALL)

HALF-ROUND GUTTER AS SPECIFIED, NOTE  
CONNECT NEW DOWNPIPE TO ALFRED ST.  
KERB, REFER STORMWATER PLAN

BLOCK VENEER WALL SET 10-35mm INSIDE  
BOUNDARY, FACE FINISH

2.00°

PROPOSED ADDITION, SELECTED LIGHT-  
WEIGHT CLADDING

ALUMINIUM FRAMED SLIDING DOOR AS  
SCHEDULED

NEW 1.8m HIGH TIMBER BOUNDARY FENCE

SLAB & FOOTINGS TO ENGINEER'S DETAILS,  
NOTE CLASS 2 FINISH ON EXPOSED EDGE  
OF FOOTING

1-2

# WEST ELEVATION

1:50

1

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C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17
ISSUE	AMENDMENT	DATE

Project Name  
**SCARBOROUGH**  
37 ALFRED STREET NEWCASTLE EAST

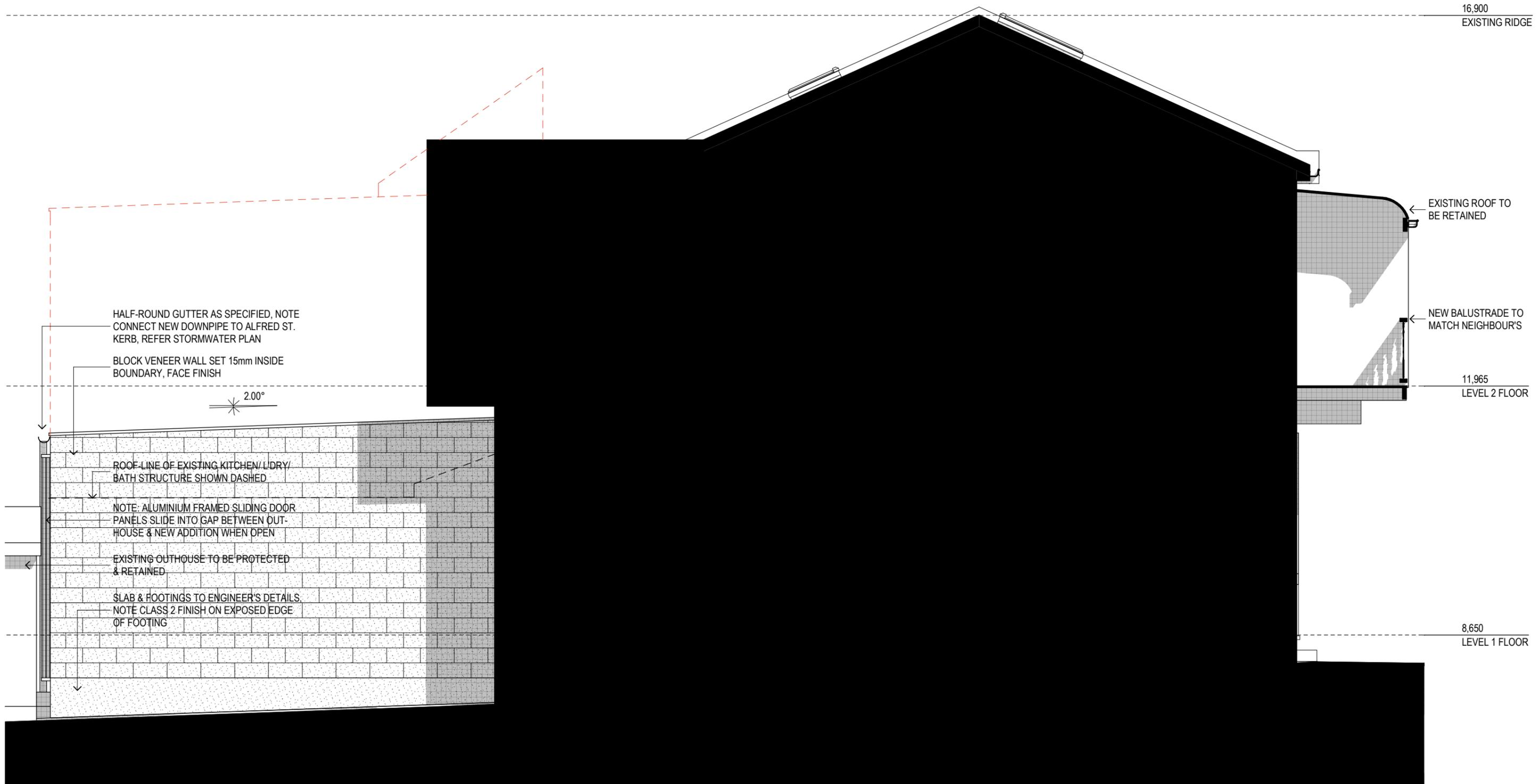
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**WEST ELEVATION**

Status: DEVELOPMENT APPLICATION

Project No:  
**497**

Drawing No.:  
**DA-05**

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1

EAST ELEVATION

1:50

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B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17

Project Name  
**SCARBOROUGH**  
37 ALFRED STREET NEWCASTLE EAST

Drawing Title:  
**EAST ELEVATION**

Status: DEVELOPMENT APPLICATION

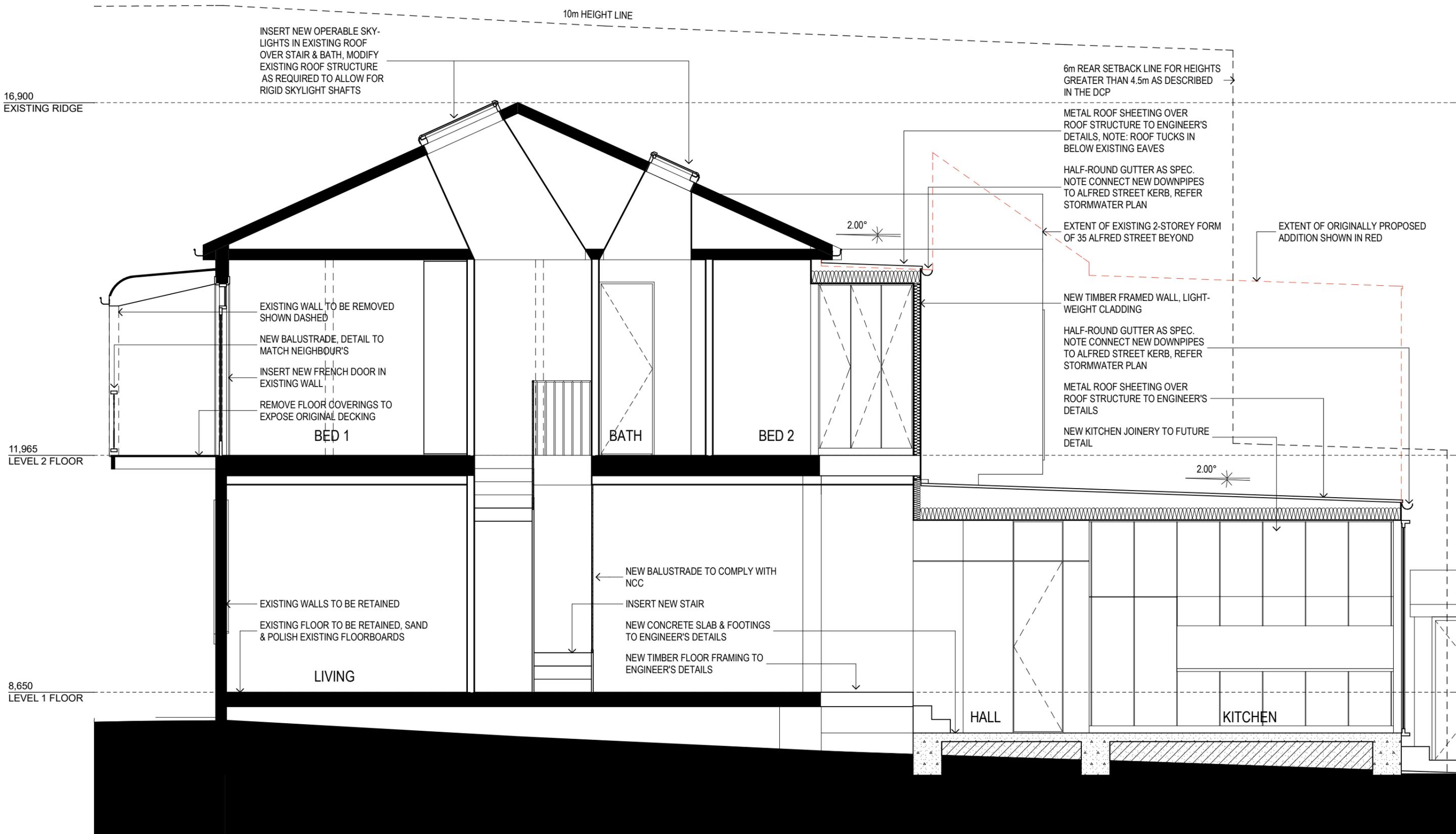
Project No:

**497**

Drawing No.:

**DA-06**

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SECTION AA

1

1:50

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Project Name  
**SCARBOROUGH**  
 37 ALFRED STREET NEWCASTLE EAST

Drawing Title:  
**SECTION AA**

Status: DEVELOPMENT APPLICATION

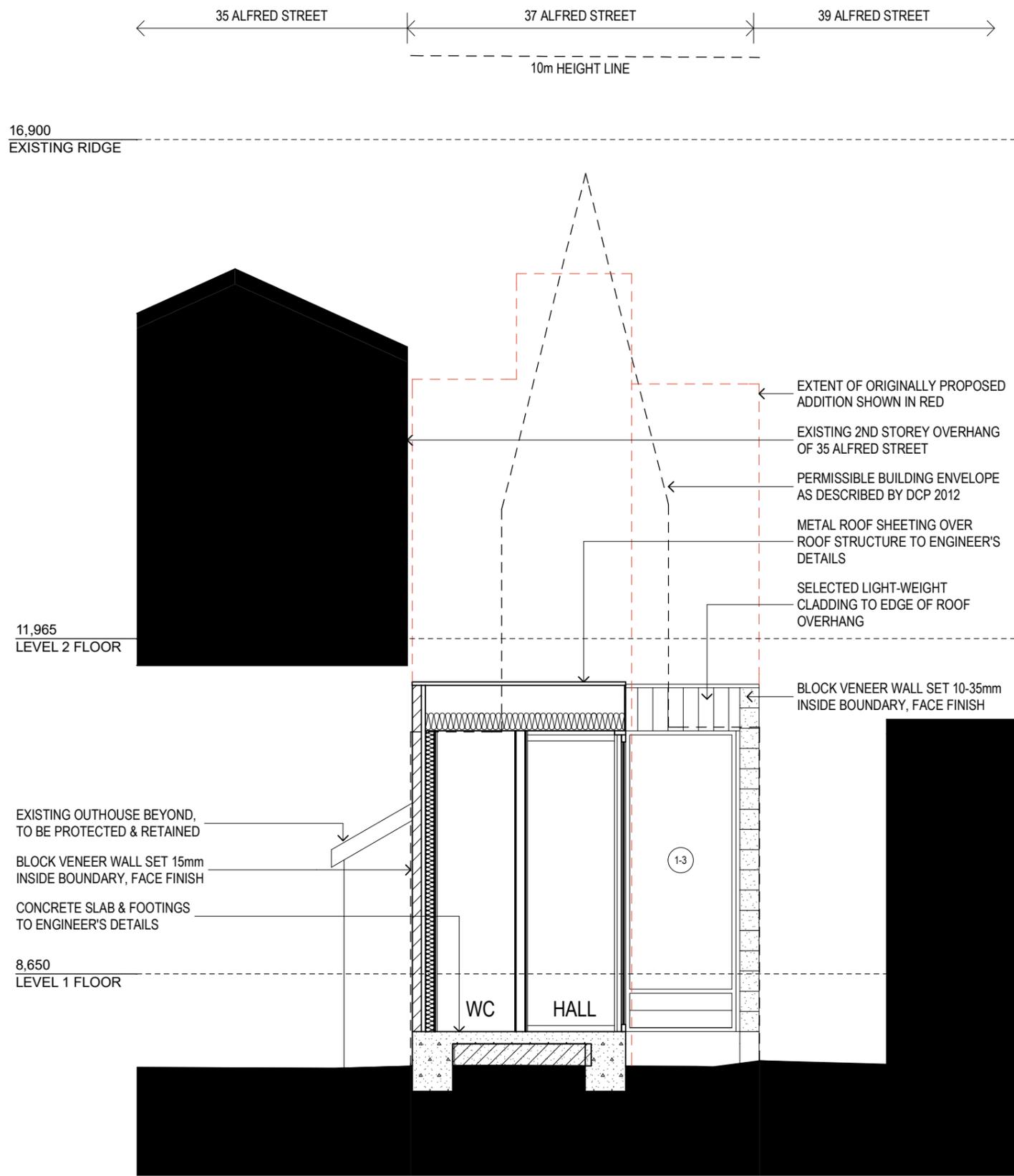
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<b>497</b>	<b>DA-07</b>

ISSUE AMENDMENT DATE

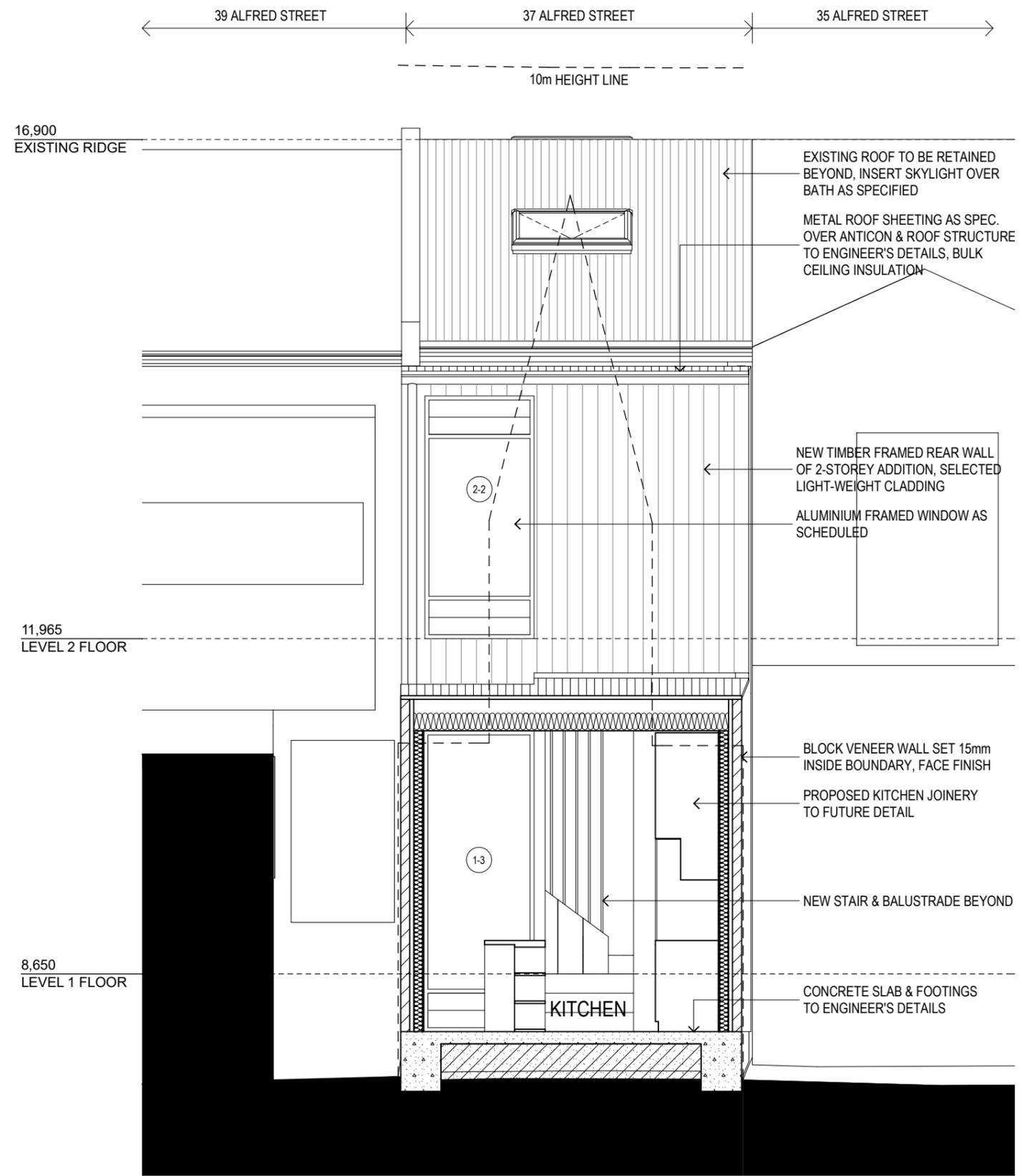
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A	ISSUE TO CLIENT	26/09/17

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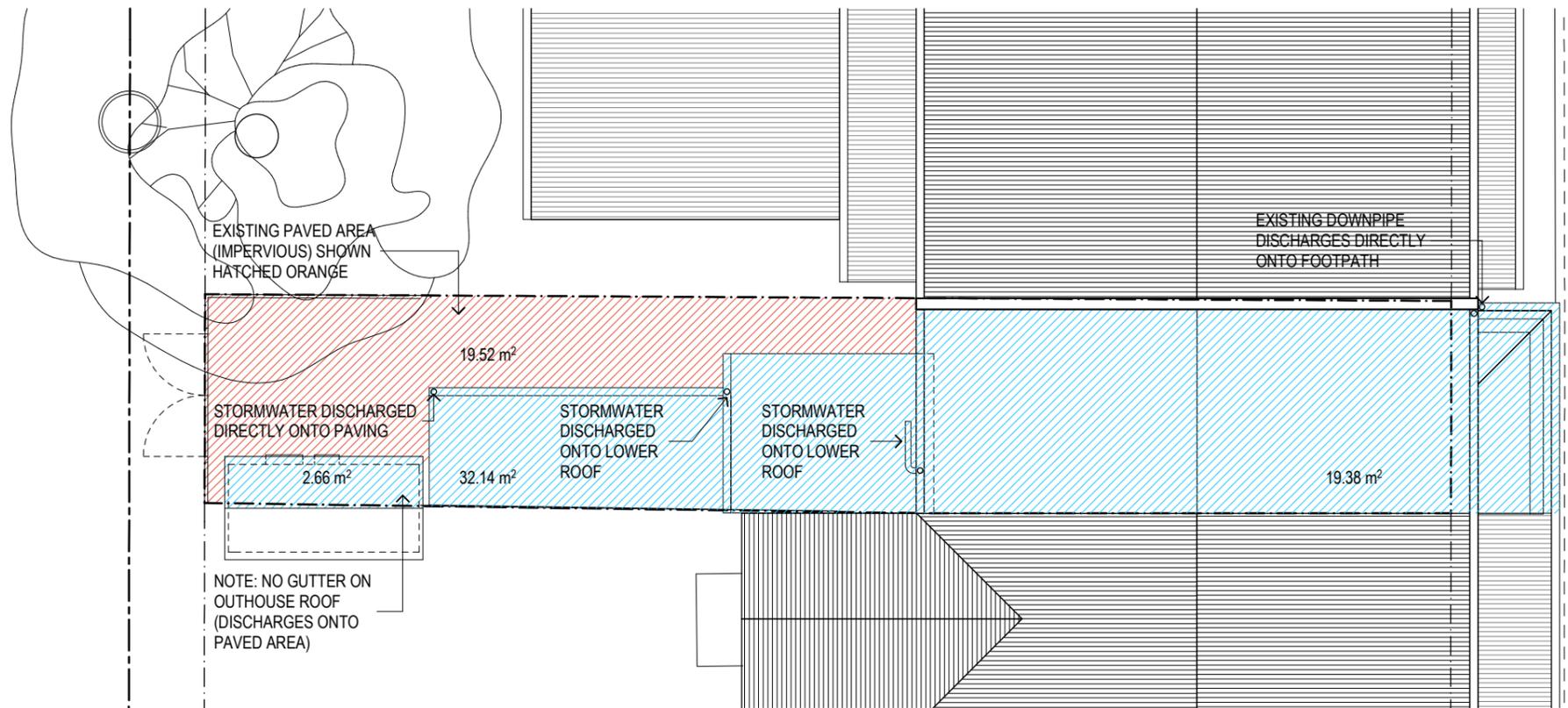


1 SECTION BB 1:50

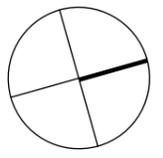
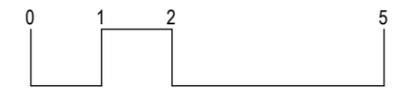


2 SECTION CC 1:50

ISSUE	AMENDMENT	DATE
D	AMENDED DA ISSUE	10/09/19
C	DA ISSUE	13/08/18
B	ISSUE FOR CLIENT APPROVAL	03/07/18
A	ISSUE TO CLIENT	26/09/17



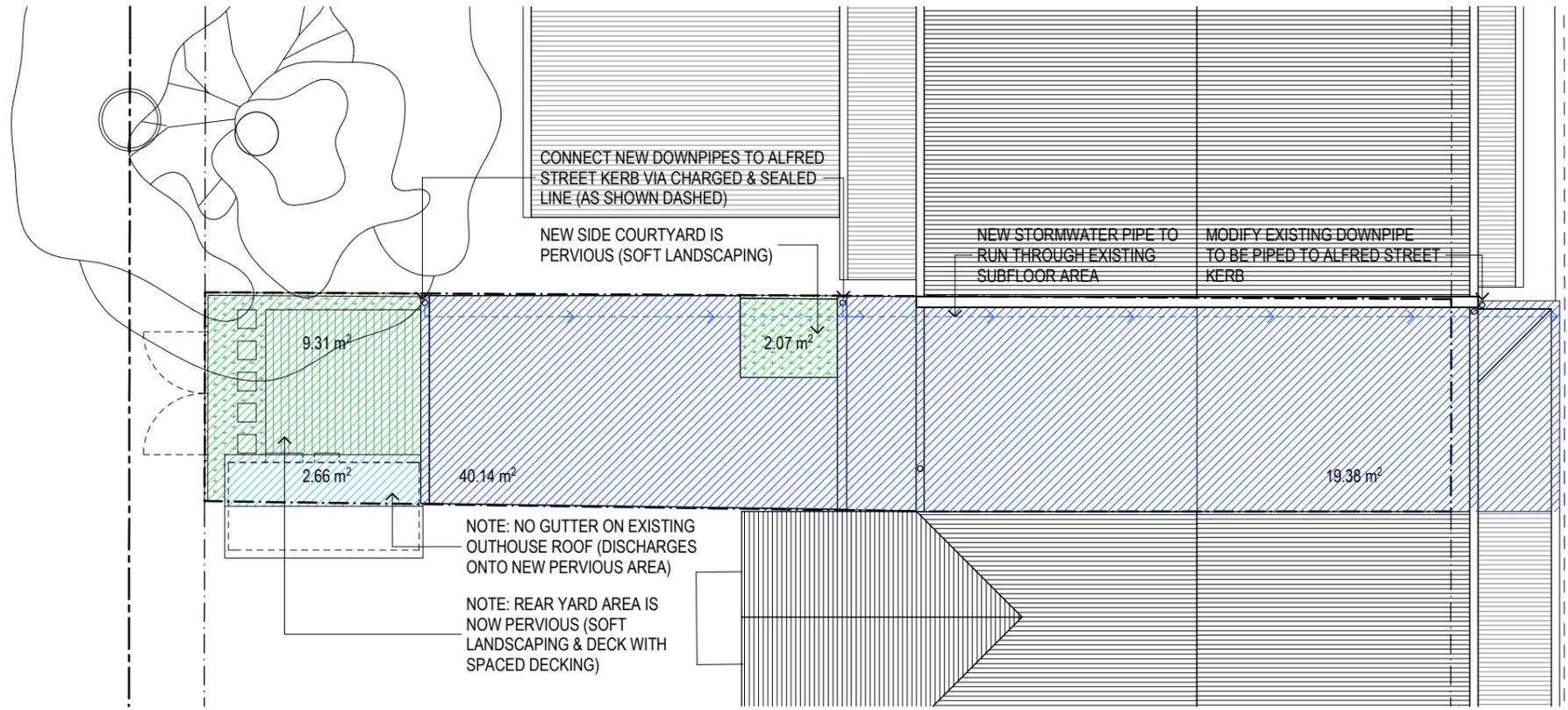
ALFRED STREET



**EXISTING STORMWATER ARRANGEMENTS**  
**NOTE:** 100% OF STORMWATER IS CURRENTLY UN-MANAGED.  
**73.7m² UN-MANAGED STORMWATER:** REAR LEAN-TO ROOFS (32.14m²) & OUTHOUSE ROOF (2.66m²) AS SHOWN HATCHED LIGHT BLUE + PAVING AREA (19.52m²) AS SHOWN HATCHED ORANGE  
**NOTE:** NO PERVIOUS AREA  
**NOTE:** THERE DO NOT APPEAR TO BE ANY STORMWATER PITS LOCATED IN THE EXISTING REAR PAVED AREA OR IN THE ADJACENT REAR LANE.

STORMWATER PLAN - EXISTING

1:100



ALFRED STREET

**PROPOSED STORMWATER ARRANGEMENTS**  
**59.52m² STORMWATER PIPED TO COUNCIL STORMWATER SYSTEM AT ALFRED STREET KERB:** FRONT ROOF (19.38m²) + REAR ROOFS (40.14m²) AS SHOWN HATCHED DARK BLUE  
**2.66m² UN-MANAGED STORMWATER:** OUTHOUSE ROOF AS SHOWN HATCHED LIGHT BLUE - NOTE THIS NOW DISCHARGES ONTO PERVIOUS AREA RATHER THAN PAVING.  
**11.38m² PERVIOUS AREA:** SIDE COURTYARD (2.07m²) + REAR YARD AREA (9.31m²) AS SHOWN HATCHED GREEN.  
**NOTE:** NEW CHARGED & SEALED STORMWATER LINE TO BE 100mm SEWER GAUGE UPVC PIPE

STORMWATER PLAN - PROPOSED

1:100

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ISSUE	AMENDMENT	DATE
C	AMENDED DA ISSUE	10/09/19
B	MODIFIED ISSUE	15/04/19
A	DA ISSUE	11/04/19

Project Name  
**SCARBOROUGH**  
 37 ALFRED STREET NEWCASTLE EAST

Drawing Title:  
**STORMWATER PLAN**

Status: DEVELOPMENT APPLICATION

Project No.: **497**  
 Drawing No.: **DA-09**

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**PUBLIC VOICE COMMITTEE MEETING**

3 December 2019

**PV**

**DA2018/00968 - 37 Alfred Street Newcastle East**

**Attachment B: Processing Chronology**

**DISTRIBUTED UNDER SEPARATE COVER**

**PROCESSING CHRONOLOGY**

**DA2018/00968 – 37 Alfred Street Newcastle East**

29/08/2018	-	Application lodged
10/09/2018	-	Public notification
21/05/2019	-	Application presented to Public Voice Committee meeting
25/06/2019	-	Application presented to Extraordinary Development Applications Committee meeting (resolved to defeat motion put forward to approve, no alternative motion put forward to determine application)
11/09/2019	-	Amended plans received
13/09/2019	-	Public notification of amended proposal