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**PV 20/04/21 – 99 FREDERICK STREET, MEREWETHER –
DA2020/01212 – PUB - ALTERATIONS, ADDITIONS AND SIGNAGE**

PAGE 3 ITEM-1 Attachment A: Submitted Plans

PAGE 23 ITEM-1 Attachment B: Processing Chronology

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**PV 20/04/21 – 99 FREDERICK STREET, MEREWETHER –
DA2020/01212 – PUB - ALTERATIONS, ADDITIONS AND SIGNAGE**

ITEM-1 **Attachment A:** Submitted Plans

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BEACH HOTEL ALTERATIONS & ADDITIONS

LOT 1 DP79757, 99 FREDERICK STREET,
MEREWETHER, NSW, 2291

DA ISSUE

REV M

ARCHITECTURAL DRAWING SCHEDULE

	REV	SCALE	PAGE
A00	I	NTS	A1
A01	J	1:200	A1
A02	I	1:200	A1
A03	L	1:100	A1
A04	M	1:100	A1
A05	M	1:100	A1
A06	L	1:100	A1
A07	M	1:100	A1
A08	M	1:100	A1
A09	M	1:100	A1
A10	I	1:100	A1
A11	I	1:100	A1
A12	G	1:100	A1
A13	F	1:500	A1
A14	G	NTS	A1
A15	G	NTS	A1
A16	G	NTS	A1
A17	G	NTS	A1



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 FILE NAME: 13001-DA_F.ph | PRINTED ON: 18/03/2021

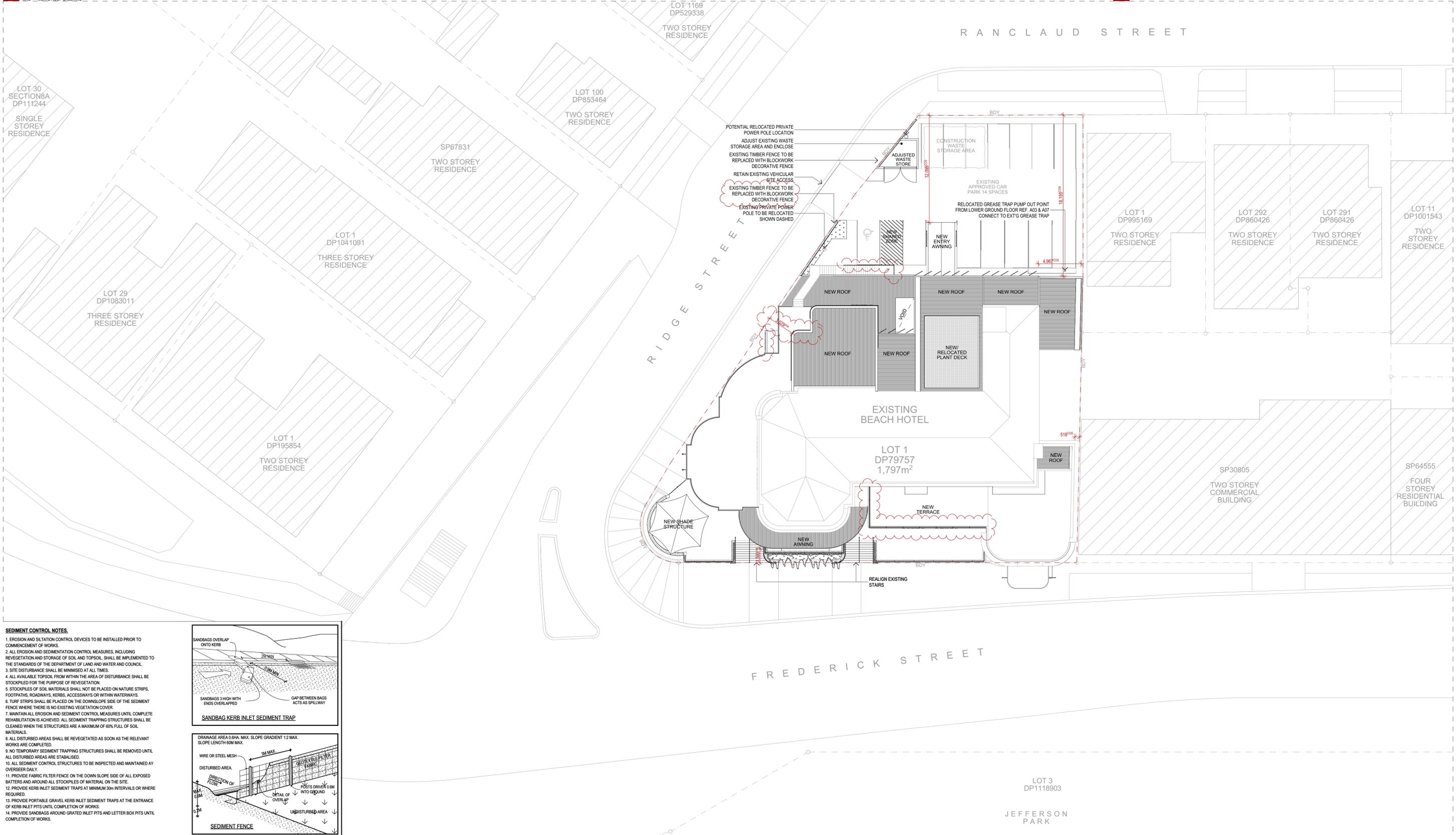


ABBREVIATIONS

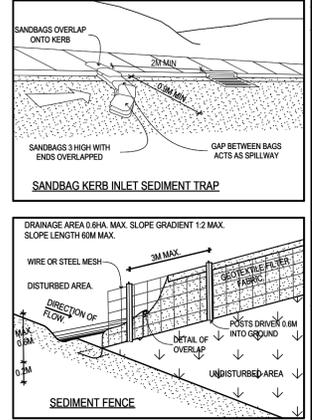
ACC.	ACCESSIBLE	NGL	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	RM	ROOM
CFC	COMPRESSED FIBRE CEMENT	SW	STORMWATER
CLNS	CLEANER	TGI	TACTILE GROUND SURFACE INDICATORS
CONC	CONCRETE	TME	TO MATCH EXISTING
COS	CONFIRM ON SITE	WC	WATER CLOSET
CR	CREST RENDER		
(E)	EXISTING		
EXTG	EXISTING		
FTL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MBS	METAL ROOF SHEETING		

LEGEND

[Red outline]	SUBJECT SITE
[Hatched pattern]	EXISTING CONTEXT
[Dotted pattern]	NEW LANDSCAPING/PLANTER



- SEDIMENT CONTROL NOTES.**
1. EROSION AND SILTATION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORKS.
 2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE DEPARTMENT OF LAND AND WATER AND COUNCIL.
 3. SITE DISTURBANCE SHALL BE MINIMISED AT ALL TIMES.
 4. ALL AVAILABLE TOPSOIL FROM WITHIN THE AREA OF DISTURBANCE SHALL BE STOCKPILED FOR THE PURPOSE OF REVEGETATION.
 5. STOCKPILES OF SOIL MATERIALS SHALL NOT BE PLACED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS OR WITHIN WATERWAYS.
 6. TURF STRIPS SHALL BE PLACED ON THE DOWNSLOPE SIDE OF THE SEDIMENT FENCE WHERE THERE IS NO EXISTING VEGETATION COVER.
 7. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL COMPLETE REHABILITATION IS ACHIEVED. ALL SEDIMENT TRAPPING STRUCTURES SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS.
 8. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 9. NO TEMPORARY SEDIMENT TRAPPING STRUCTURES SHALL BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILISED.
 10. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AND MAINTAINED BY OVERSEER DAILY.
 11. PROVIDE FABRIC FILTER FENCE ON THE DOWN SLOPE SIDE OF ALL EXPOSED BATTERS AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.
 12. PROVIDE KERB INLET SEDIMENT TRAPS AT MINIMUM 30m INTERVALS OR WHERE REQUIRED.
 13. PROVIDE PORTABLE GRAVEL KERB INLET SEDIMENT TRAPS AT THE ENTRANCE OF KERB INLET PITS UNTIL COMPLETION OF WORKS.
 14. PROVIDE SANDBAGS AROUND GRATED INLET PITS AND LETTER BOX PITS UNTIL COMPLETION OF WORKS.



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CLUB PROJECTS

beach hotel

REV	DATE	COMMENTS
B	9/09/2020	ISSUED TO STRUCTURAL ENGINEER
C	1/10/2020	ISSUED TO CERTIFIER FOR INFORMATION
D	1/10/2020	ISSUED TO HERITAGE CONSULTANT
E	1/10/2020	ISSUED TO CLIENT FOR REVIEW
F	2/10/2020	ISSUED FOR PLAN STAMPING
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DRN	CHKD	VRFD
JAC	DJW	
JAC	RIW	DJW
JAC	RIW	DJW
JAC	DJW	DJW
JAC	DJW	
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER
 SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291
 DRAWING: SITE PLAN

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
 FILENAME: 13001-DA_F.ppt
 DRAWN: JAC
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 SCALES @A1: 1:200
 PROJECT No: 13001 DA
 PHASE: A01
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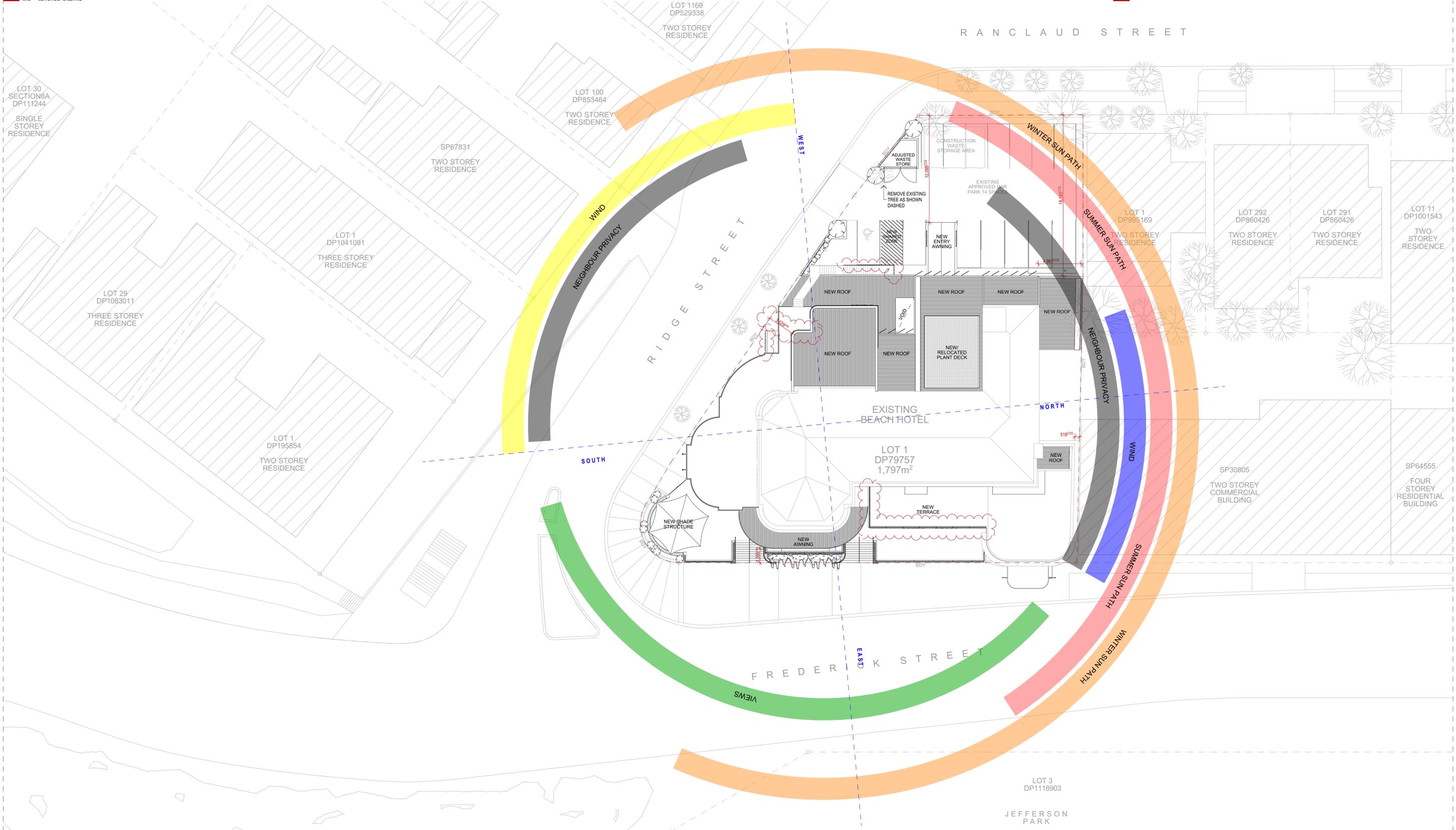
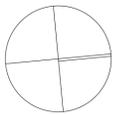
EJE architecture

ABBREVIATIONS

ACC.	ACCESSIBLE	NGL.	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT.	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
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LEGEND

[Symbol]	SUBJECT SITE
[Symbol]	EXISTING CONTEXT
[Symbol]	NEW LANDSCAPING/PLANTER



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CLUB PROJECTS

beach hotel

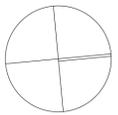
REV	DATE	COMMENTS	DRN	CHKD	VRFD
A	9/09/2020	ISSUED TO STRUCTURAL ENGINEER	JAC	DJW	
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DRN	CHKD	VRFD
JAC	DJW	
JAC	RIW	DJW
JAC	RIW	
JAC	DJW	DJW
JAC	DJW	
JAC	DJW	

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 SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291
 DRAWING: SITE ANALYSIS PLAN

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
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 PROJECT No: 13001 DA
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 DRAWING No: A02
 REV: I

EJE architecture



ACC.	ACCESSIBLE	NGL.	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT.	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
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CLS	CLEANER	TME	TO MATCH EXISTING
CONC	CONCRETE	WC	WATER CLOSET
COS	CONFIRM ON SITE		
CR	CEMENT RENDER		
(E)	EXISTING		
EXTO	EXISTING		
FLL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		

NOTES:

- DEMOLITION PLANS ARE INDICATIVE ONLY AND TO BE USED AS A GUIDE ONLY. ALLOW TO DEMOLISH, REMOVE OR RELOCATE ALL EXISTING BUILDING AND SERVICES TO ACCOMMODATE THE NEW WORKS.
- ALLOW TO CAP OFF ALL REDUNDANT SERVICES.
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LEGEND

	EXISTING
	DEMOLISHED



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 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 DRAWING: EXISTING / DEMOLITION LOWER
 GROUND FLOOR PLAN

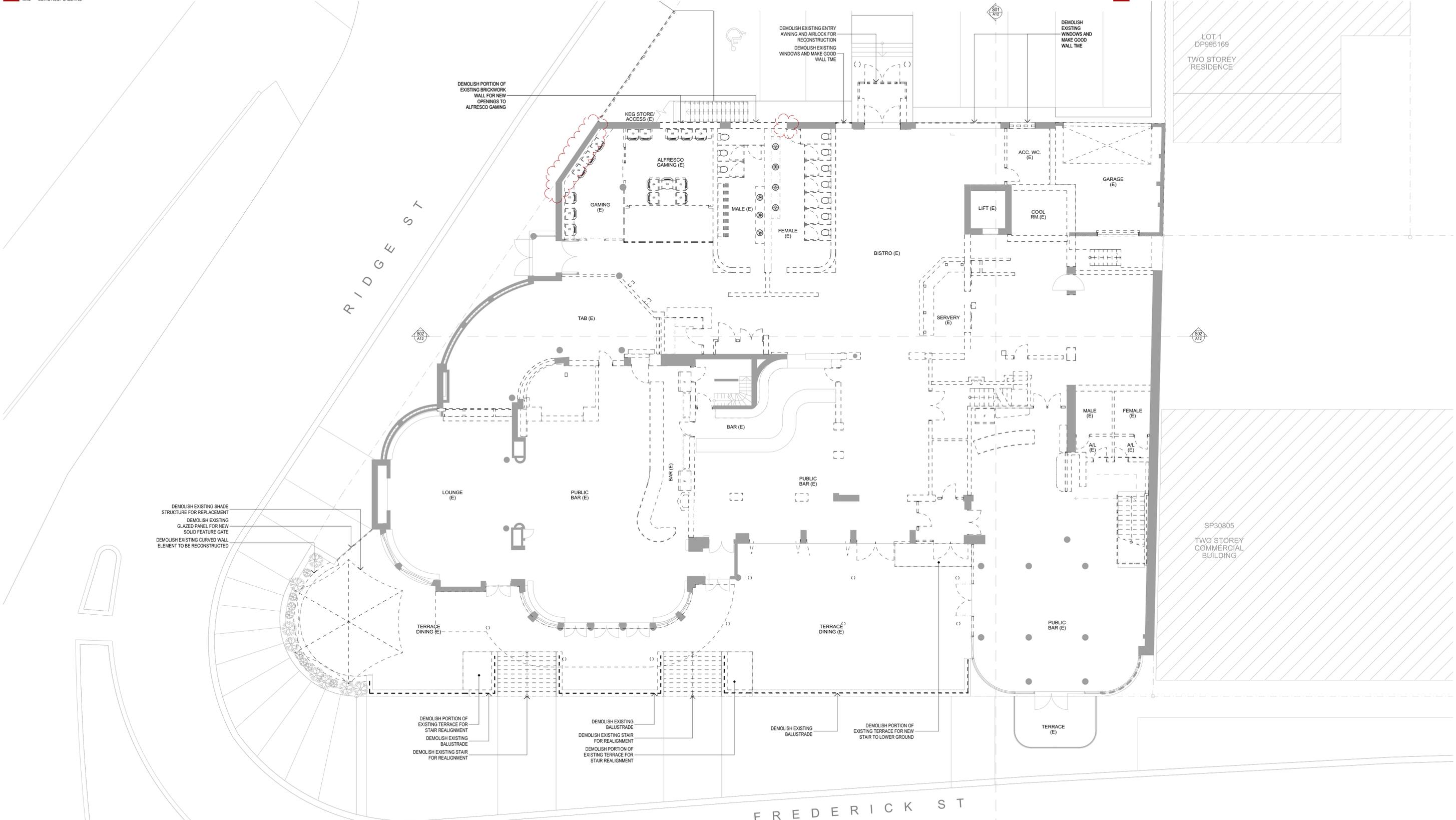
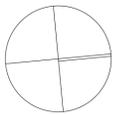
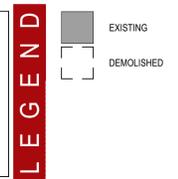
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 REV: L



0 25mm 100mm 200mm ON ORIGINAL A1

ABBREVIATIONS		NGL NATURAL GROUND LEVEL	
ACC.	ACCESSIBLE	PT.	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
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CLUB PROJECTS

beach hotel

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 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291
 DRAWING: EXISTING / DEMOLITION GROUND
 FLOOR PLAN

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 FILENAME: 13001-DA_F.pln
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 PHASE: DA
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 REV: M

EJE architecture

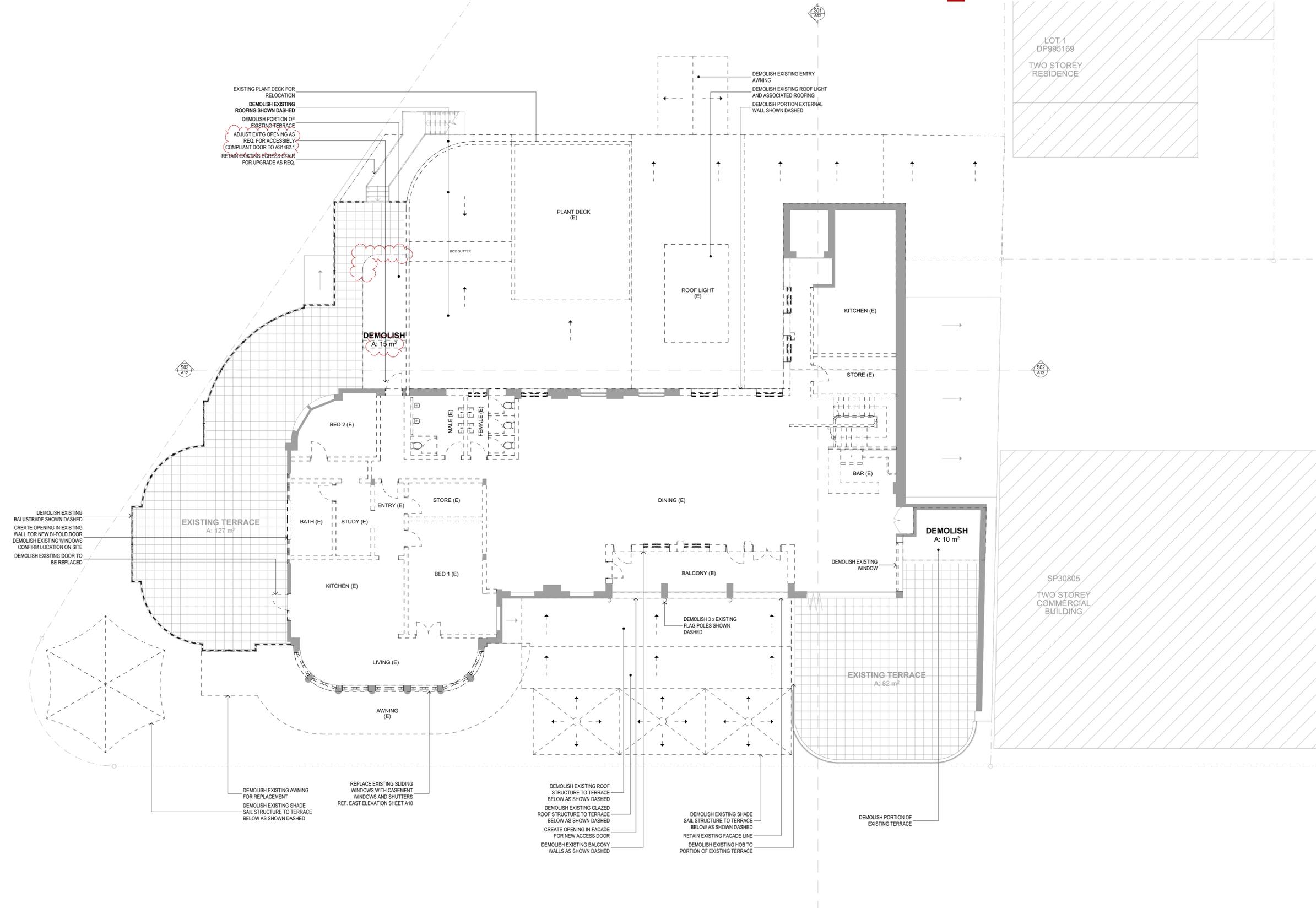


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LEGEND

	EXISTING
	DEMOLISHED



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CLUB PROJECTS

beach hotel

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 SITE: LOT 1 DP79757
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 MEREWETHER, NSW, 2291

CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

DRAWING: EXISTING / DEMOLITION FIRST FLOOR PLAN

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.

FILENAME: 13001-DA_F.pptx
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 DATE: 18/03/2021
 SCALES @A1: 1:100

PROJECT No: 13001 DA
 PHASE: DA
 DRAWING No: A05
 REV: M

EJE architecture



ABBREVIATIONS		LEGEND	
ACC.	ACCESSIBLE	NGL	NATURAL GROUND LEVEL
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LEGEND	
	EXISTING
	NEW WORKS



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 SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291
 DRAWING: LOWER GROUND FLOOR

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
 FILENAME: 13001-DA_F.ph
 DRAWN: JAC
 DATE: 18/03/2021
 SCALES @A1: 1:100
 PROJECT No: 13001 DA
 PHASE: A06
 DRAWING No: A06
 REV: L



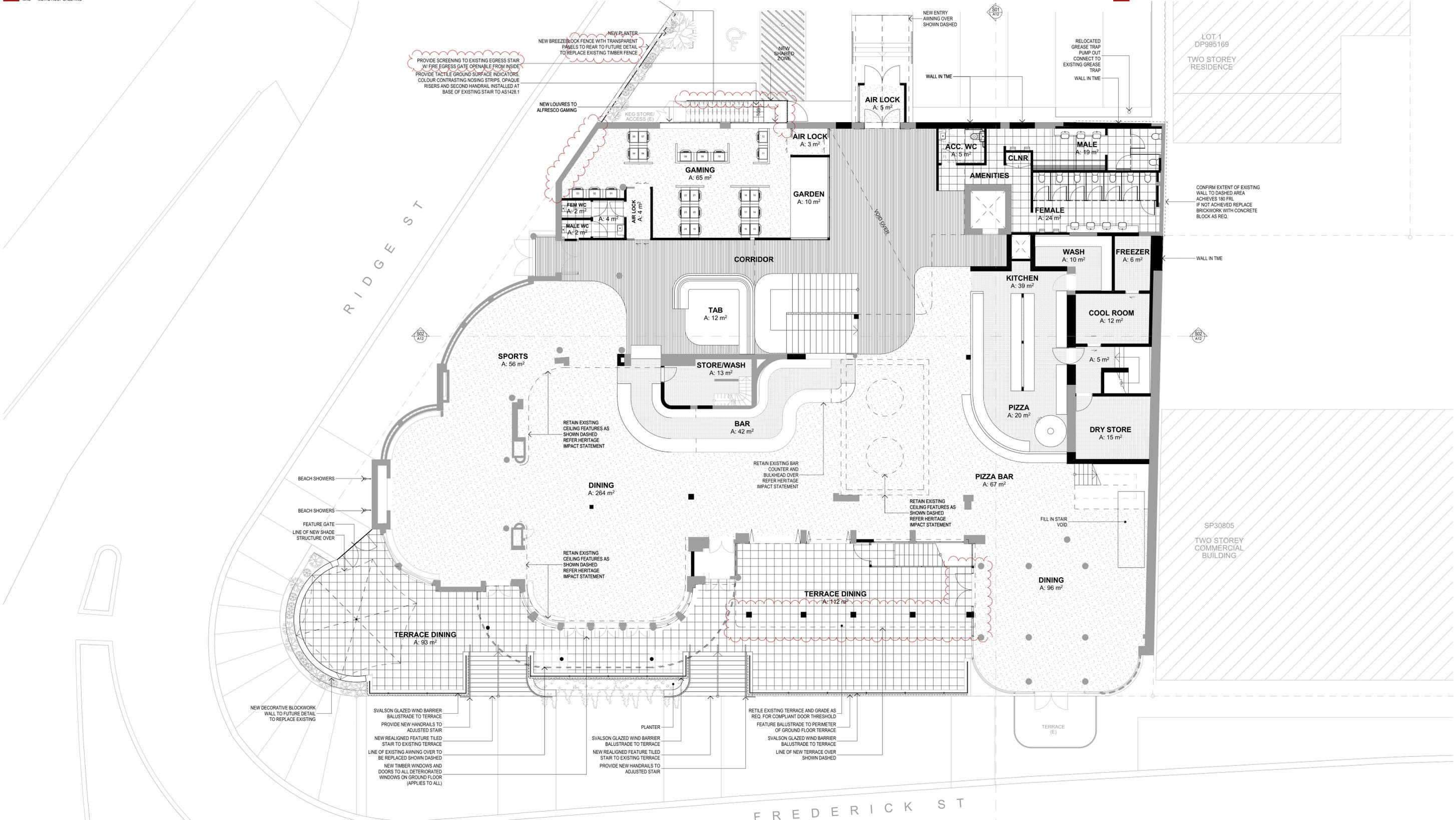


ABBREVIATIONS

ACC.	ACCESSIBLE	NGL	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	RM	ROOM
CFC	COMPRESSED FIBRE CEMENT	SW	STORMWATER
CLNK	CLEANER	TMSI	TACTILE GROUND SURFACE INDICATORS
CONC	CONCRETE	TME	TO MATCH EXISTING
COS	CONFORM ON SITE	WC	WATER CLOSET
CR	CEMENT RENDER		
(E)	EXISTING		
EXTO	EXISTING		
FRL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		

LEGEND

	EXISTING
	NEW WORKS



EJE ARCHITECTURE
 ACN: 002 912 843 | ABN: 82 644 649 849
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CLUB PROJECTS

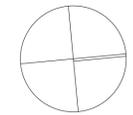
beach hotel

REV	DATE	COMMENTS	DRN	CHKD	VRFD
E	29/09/2020	ISSUED TO CERTIFIER FOR INFORMATION	JAC	RIW	
F	1/10/2020	ISSUED TO CERTIFIER FOR INFORMATION	JAC	RIW	
G	1/10/2020	ISSUED TO HERITAGE CONSULTANT	JAC	RIW	
H	1/10/2020	ISSUED TO CLIENT FOR REVIEW	JAC	RIW	
I	2/10/2020	ISSUED FOR PLAN STAMPING	JAC	RIW	DJW
J	21/10/2020	ISSUED FOR QA CHECK	JAC	RIW	DJW
K	21/10/2020	ISSUED FOR DA	JAC	DJW	DJW
L	16/03/2021	ISSUE TO CLIENT FOR REVIEW	JAC	DJW	
M	18/03/2021	ISSUE TO COUNCIL FOR RFI	JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER
 SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291
 DRAWING: GROUND FLOOR PLAN

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
 FILENAME: 13001-DA_F.gbh
 DRAWN: JAC
 DATE: 18/03/2021
 SCALES @A1: 1:100
 PROJECT No: 13001 DA
 PHASE: DA
 DRAWING No: A07
 REV: M

EJE architecture

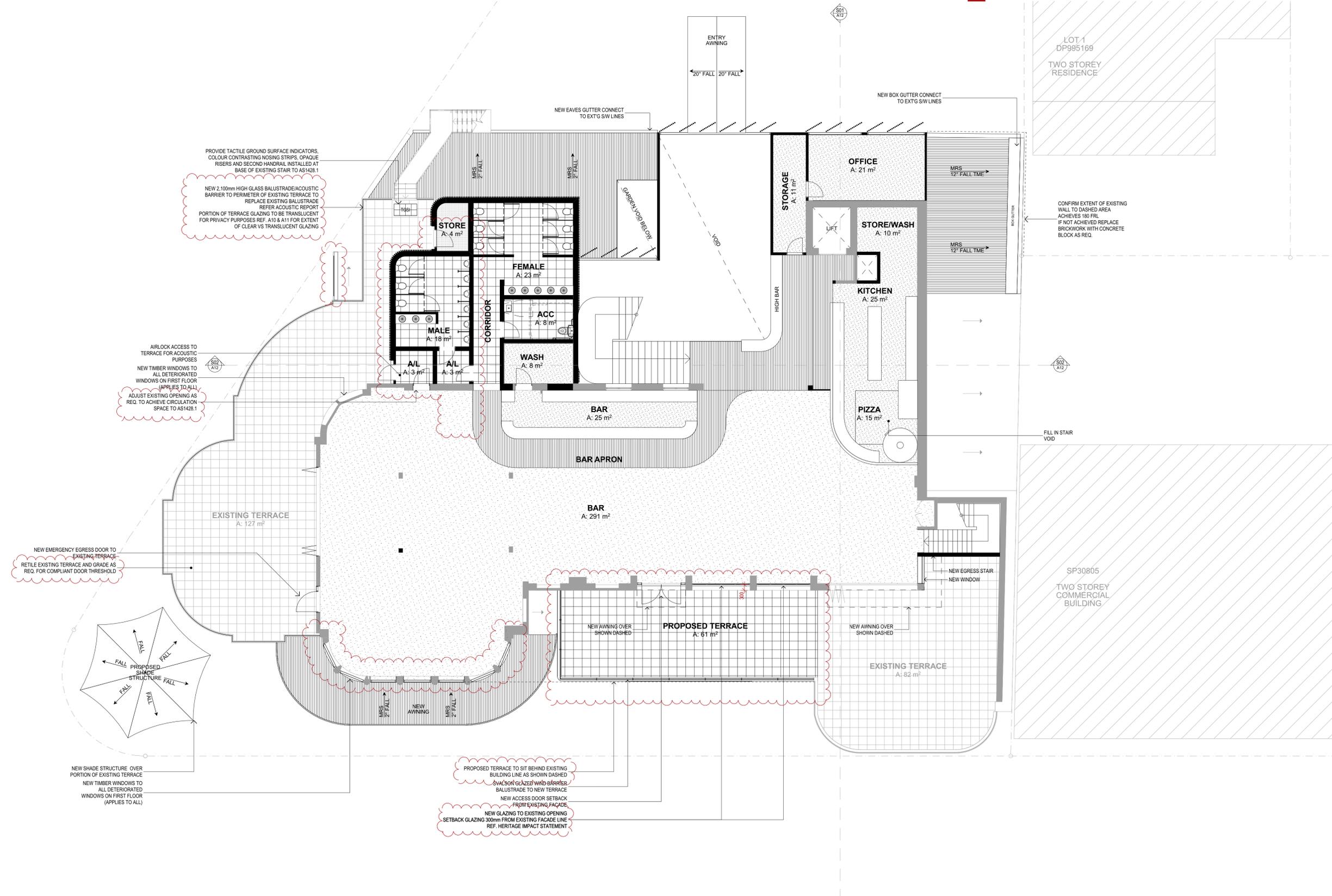


ABBREVIATIONS

ACC.	ACCESSIBLE	NGL	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	SW	STORMWATER
C/C	COMPRESSED FIBRE CEMENT	TMSI	TACTILE GROUND SURFACE INDICATORS
CLNK	CLEANER	TME	TO MATCH EXISTING
CONC	CONCRETE	WC	WATER CLOSET
COS	CONFIRM ON SITE		
CR	CEMENT RENDER		
(E)	EXISTING		
EXTG	EXISTING		
FFL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		

LEGEND

	EXISTING
	NEW WORKS



EJE ARCHITECTURE
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CLUB PROJECTS

beach hotel

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J	21/10/2020	ISSUED FOR QA CHECK	JAC	RIW	DJW
K	21/10/2020	ISSUED FOR DA	JAC	DJW	DJW
L	16/03/2021	ISSUE TO CLIENT FOR REVIEW	JAC	DJW	
M	18/03/2021	ISSUE TO COUNCIL FOR RFI	JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER
 SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291

CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

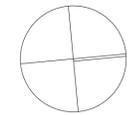
DRAWING: FIRST FLOOR PLAN

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.

FILENAME: 13001-DA_F.pptx
 DRAWN: JAC
 DATE: 18/03/2021
 SCALE: @A1: 1:100

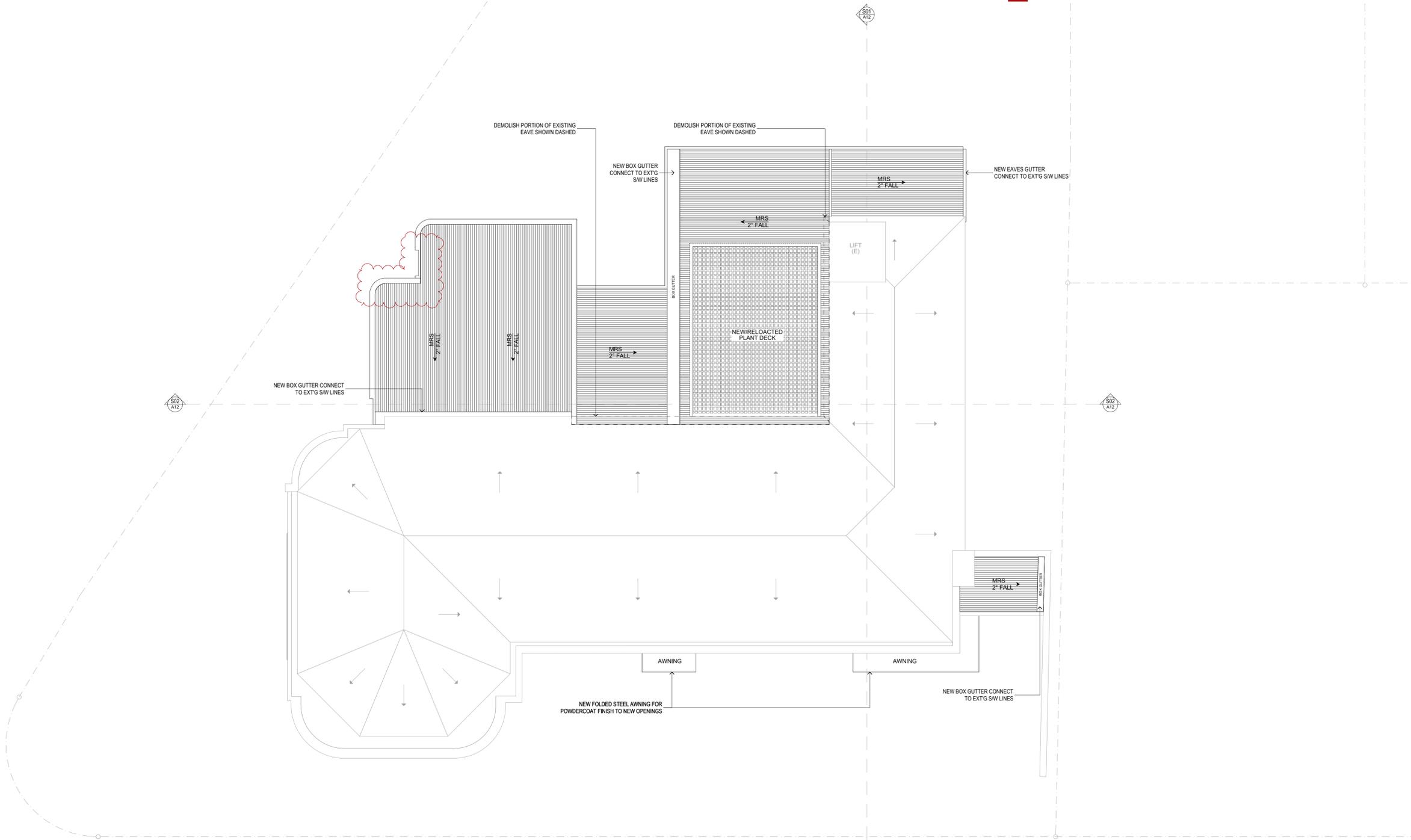
PROJECT No: 13001 DA
 PHASE: DA
 DRAWING No: A08
 REV: M

EJE architecture



ABBREVIATIONS			
ACC.	ACCESSIBLE	NGL	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	SW	STORMWATER
CFC	COMPRESSED FIBRE CEMENT	TGSI	TACTILE GROUND SURFACE INDICATORS
CLNS	CLEANER	TME	TO MATCH EXISTING
CONC	CONCRETE	WC	WATER CLOSET
COS	CONFORM ON SITE		
CR	CEMENT RENDER		
(E)	EXISTING		
EXTG	EXISTING		
FLL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		

LEGEND	
	EXISTING
	DEMOLISHED
	NEW WORKS



EJE ARCHITECTURE
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 Nominated Architect - Bernard Collins
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K	21/10/2020	ISSUED FOR DA	JAC	DJW	DJW
L	16/03/2021	ISSUE TO CLIENT FOR REVIEW	JAC	DJW	
M	18/03/2021	ISSUE TO COUNCIL FOR RFI	JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER

SITE: LOT 1 DP79757
99 FREDERICK STREET
MEREWETHER, NSW, 2291

CLIENT: THE BEACH HOTEL
99 FREDERICK ST, MEREWETHER
NSW, 2291

DRAWING: ROOF PLAN

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.

FILENAME : 13001-DA_F.ppt

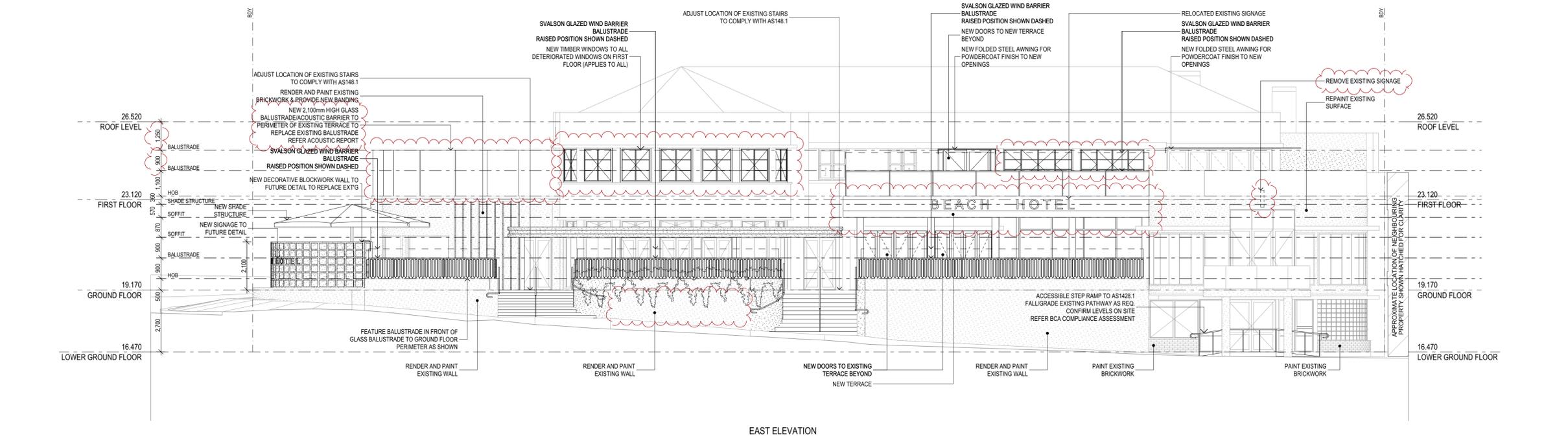
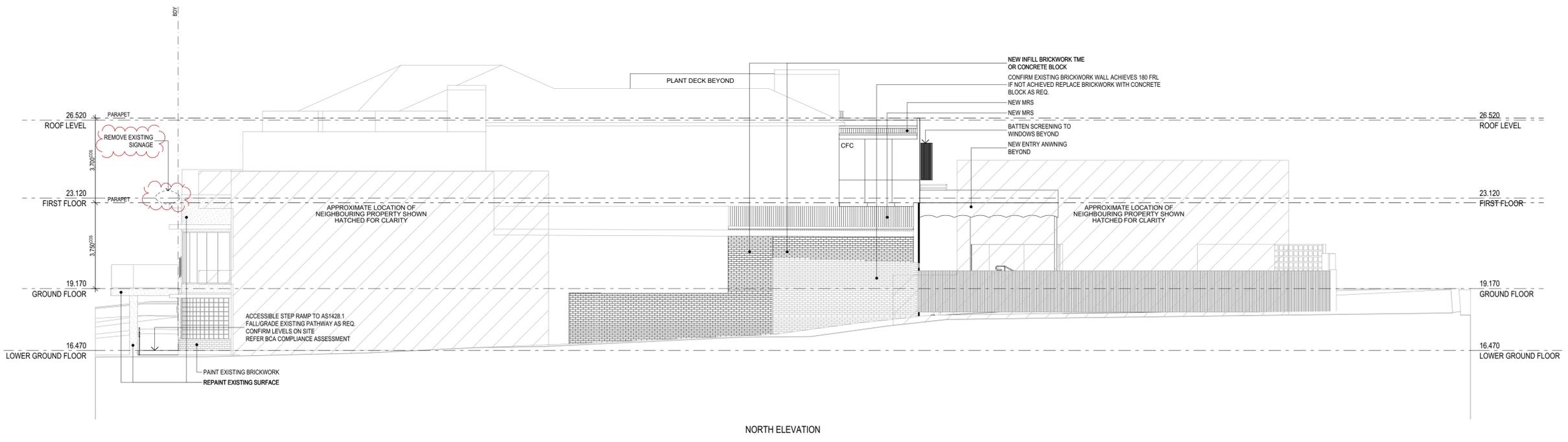
DRAWN : JAC DATE : 18/03/2021 SCALES @A1 : 1:100

PROJECT No : 13001 DA PHASE : A09 DRAWING No : M REV : M



ABBREVIATIONS		NGL NATURAL GROUND LEVEL	
ACC.	ACCESSIBLE	PT	PAINT FINISH
ALS	VERTICAL ALUMINIUM SCREEN	REF.	REFER
AP	ACCESS PANEL	REQ.	REQUIRED
AS	AUSTRALIAN STANDARD	RL	REDUCED LEVEL
BAL	BALUSTRADE	RM	ROOM
BAT	BATTENS	SW	STORMWATER
BDY	BOUNDARY	TISI	TACTILE GROUND SURFACE INDICATORS
C/C	COMPRESSED FIBRE CEMENT	TME	TO MATCH EXISTING
CLNS	CLEANER	WC	WATER CLOSET
CONC	CONCRETE		
COS	CONFIRM ON SITE		
CR	CEMENT RENDER		
(E)	EXISTING		
EXTG	EXISTING		
FLL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		

LEGEND	
	EXISTING
	NEW WORKS



EJE ARCHITECTURE
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 P +61 2 4929 2353 | F +61 2 4928 2300 | E mail@eje.com.au | W www.eje.com.au



REV	DATE	COMMENTS
A	9/09/2020	ISSUED TO STRUCTURAL ENGINEER
B	25/09/2020	ISSUED TO HERITAGE CONSULTANT
C	1/10/2020	ISSUED TO HERITAGE CONSULTANT
D	1/10/2020	ISSUED TO CLIENT FOR REVIEW
E	2/10/2020	ISSUED FOR PLAN STAMPING
F	21/10/2020	ISSUED FOR QA CHECK
G	21/10/2020	ISSUED FOR DA
H	16/03/2021	ISSUE TO CLIENT FOR REVIEW
I	18/03/2021	ISSUE TO COUNCIL FOR RFI

DRN	CHKD	VRFD
JAC	DJW	
JAC	RIW	DJW
JAC	RIW	
JAC	RIW	
JAC	DJW	DJW
JAC	DJW	
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 DRAWING: NORTH & EAST ELEVATIONS

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
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 DRAWN: JAC
 DATE: 18/03/2021
 SCALES @A1: 1:100
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 PHASE: A10
 DRAWING No: A10
 REV: I

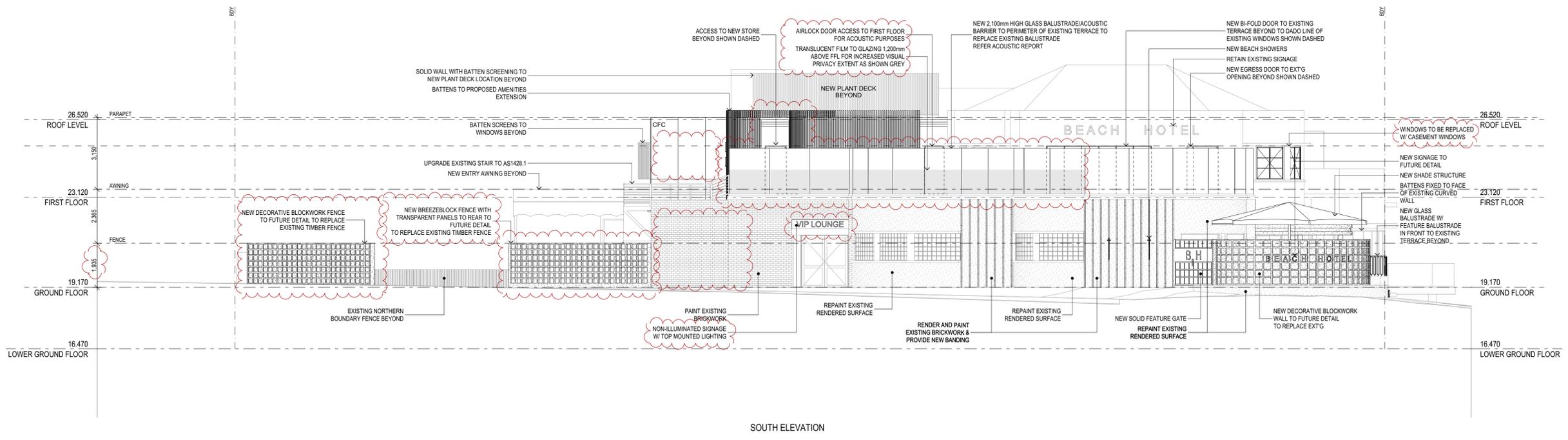


ABBREVIATIONS

ACC.	ACCESSIBLE	NGL	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	SW	STORMWATER
CFC	COMPRESSED FIBRE CEMENT CLEANSER	TSSI	TACTILE GROUND SURFACE INDICATORS
CLS	CONCRETE	TME	TO MATCH EXISTING
CONC	CONCRETE	WC	WATER CLOSET
COS	CONFIRM ON SITE		
CR	CEMENT RENDER		
(E)	EXISTING		
EXTG	EXISTING		
FLL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		

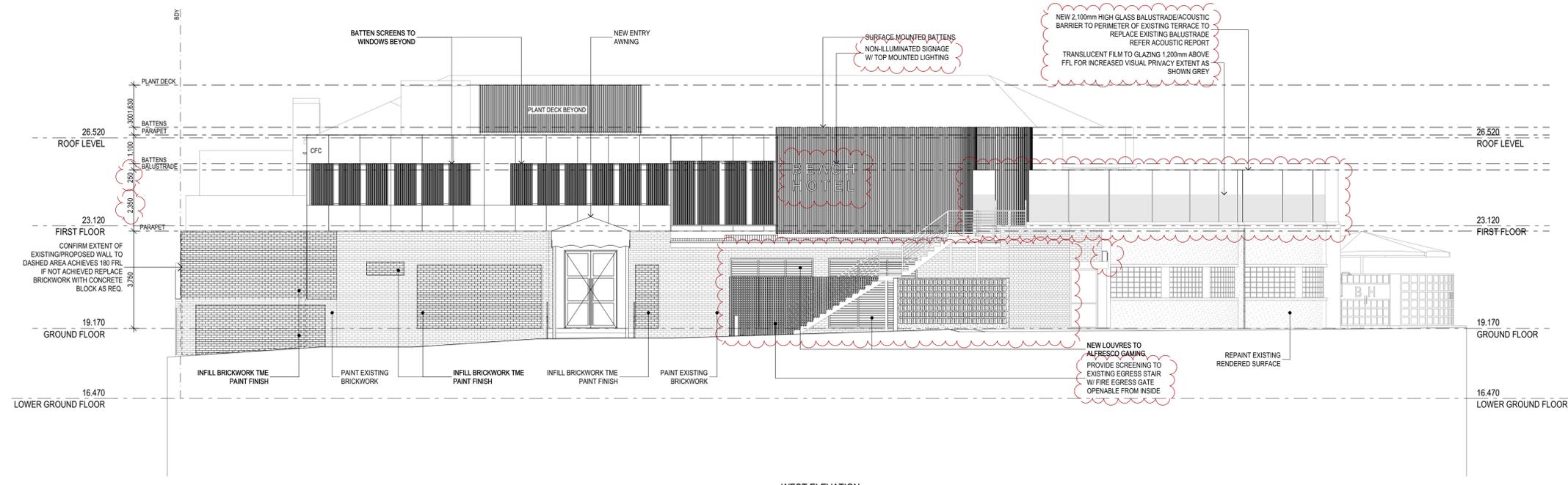
LEGEND

	EXISTING
	NEW WORKS



SOUTH ELEVATION

1:100



WEST ELEVATION

1:100

EJE ARCHITECTURE
 ACN 002 912 843 | ABN 82 644 649 849
 Nominated Architect - Bernard Collins
 NSW Architects Registration No. 4438
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CLUB PROJECTS

beach hotel

REV	DATE	COMMENTS
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C	1/10/2020	ISSUED TO HERITAGE CONSULTANT
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E	2/10/2020	ISSUED FOR PLAN STAMPING
F	21/10/2020	ISSUED FOR QA CHECK
G	21/10/2020	ISSUED FOR DA
H	16/03/2021	ISSUE TO CLIENT FOR REVIEW
I	18/03/2021	ISSUE TO COUNCIL FOR RFI

DRN	CHKD	VRFD
JAC	DJW	
JAC	RIW	DJW
JAC	RIW	
JAC	DJW	DJW
JAC	DJW	
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER

SITE: LOT 1 DP79757
99 FREDERICK STREET
MEREWETHER, NSW, 2291

CLIENT: THE BEACH HOTEL
99 FREDERICK ST, MEREWETHER
NSW, 2291

DRAWING: SOUTH & WEST ELEVATIONS

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.

FILENAME: 13001-DA_F.plt

DRAWN: JAC DATE: 18/03/2021 SCALES @A1: 1:100

PROJECT No: 13001 DA PHASE: A11 DRAWING No: A11 REV: I

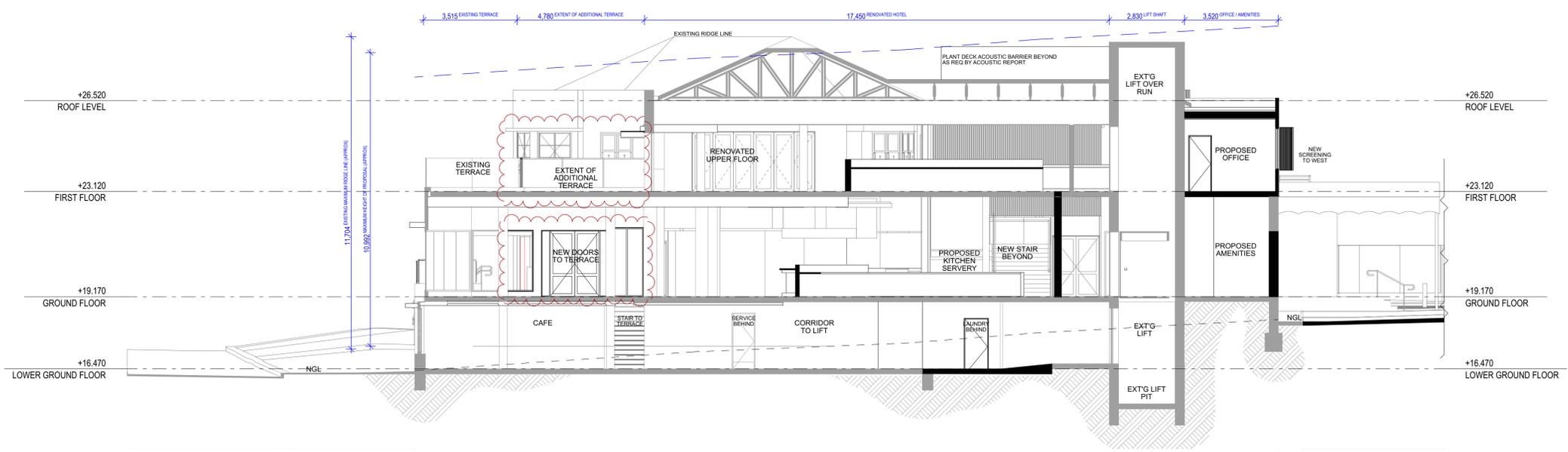
EJE architecture

ABBREVIATIONS

ACC.	ACCESSIBLE	NGL	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	RM	ROOM
CFC	COMPRESSED FIBRE CEMENT	SW	STORMWATER
CLNS	CLEANER	TSSI	TACTILE GROUND SURFACE INDICATORS
CONC	CONCRETE	TME	TO MATCH EXISTING
COS	CONFORM ON SITE	WC	WATER CLOSET
CR	CEMENT RENDER		
(E)	EXISTING		
EXTG	EXISTING		
FFL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		

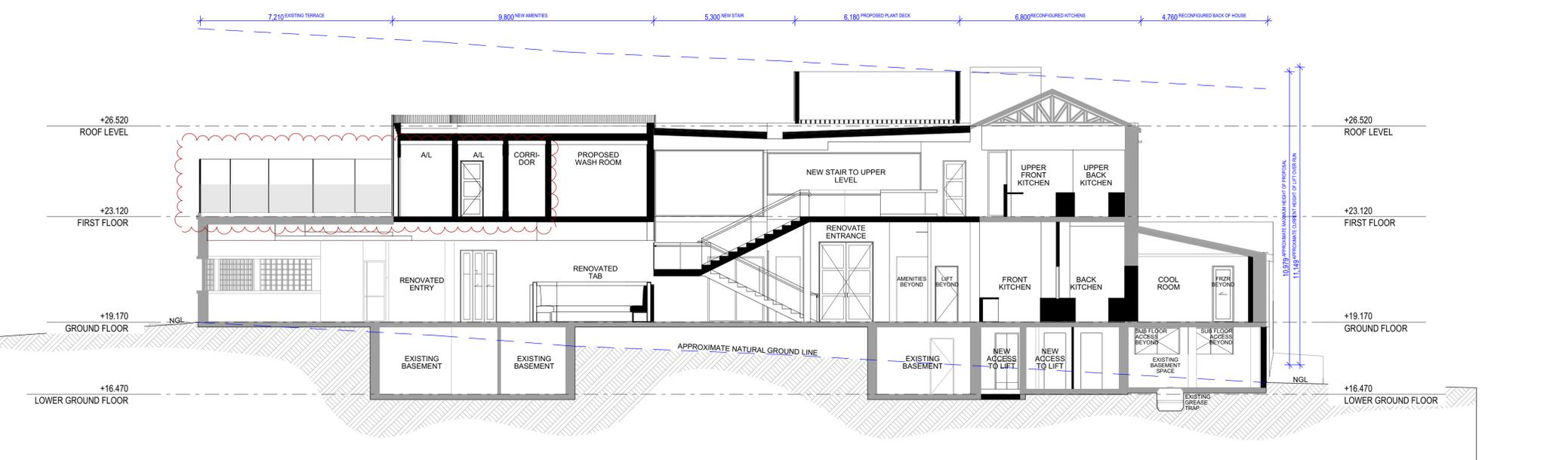
LEGEND

	EXISTING
	NEW WORKS



SECTION 01

1:100



SECTION 02

1:100

EJE ARCHITECTURE
 ACN 002 912 843 | ABN 82 644 649 849
 Nominated Architect - Bernard Collins
 NSW Architects Registration No. 4438
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G	18/03/2021	ISSUE TO COUNCIL FOR RFI

DRN	CHKD	VRFD
JAC	RIW	
JAC	RIW	DJW
JAC	DJW	DJW
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER

SITE: LOT 1 DP79757
99 FREDERICK STREET
MEREWETHER, NSW, 2291

CLIENT: THE BEACH HOTEL
99 FREDERICK ST, MEREWETHER
NSW, 2291

DRAWING: SECTION 01 & 02

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.

FILENAME: 13001-DA_F.ppt

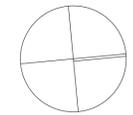
DRAWN: JAC DATE: 18/03/2021 SCALES @A1: 1:100

PROJECT No: 13001 DA PHASE: A12 DRAWING No: A12 REV: G

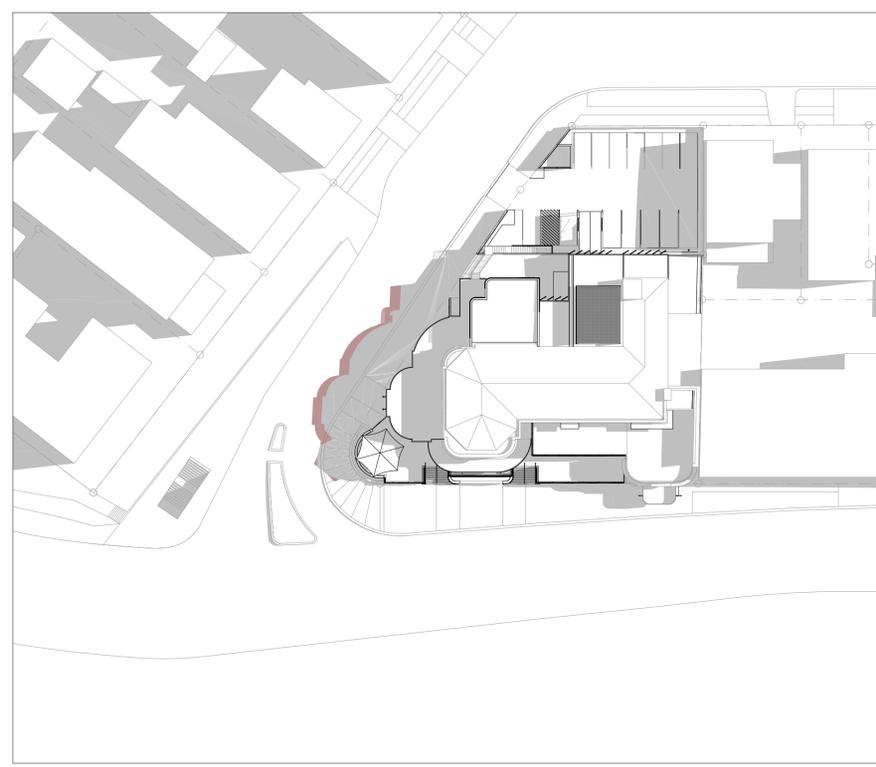


ABBREVIATIONS	ACC. ACCESSIBLE	NGL. NATURAL GROUND LEVEL
ALS. VERTICAL ALUMINIUM SCREEN	PT. PAINT FINISH	REF. REFER
AP. ACCESS PANEL	REQ. REQUIRED	RL. REDUCED LEVEL
AS. AUSTRALIAN STANDARD	RK. ROOM	SW. STORMWATER
BAL. BALUSTRADE	TGSI TACTILE GROUND SURFACE INDICATORS	TIME TO MATCH EXISTING
BAT. BATTENS	WC. WATER CLOSET	
BDY. BOUNDARY		
CFC. COMPRESSED FIBRE CEMENT		
CLNS. CLEANER		
CONC. CONCRETE		
COS. CONFORM ON SITE		
CR. CEMENT RENDER		
(E). EXISTING		
EXTO. EXISTING		
FFL. FINISHED FLOOR LEVEL		
FRL. FIRE RESISTANCE LEVEL		
MRS. METAL ROOF SHEETING		

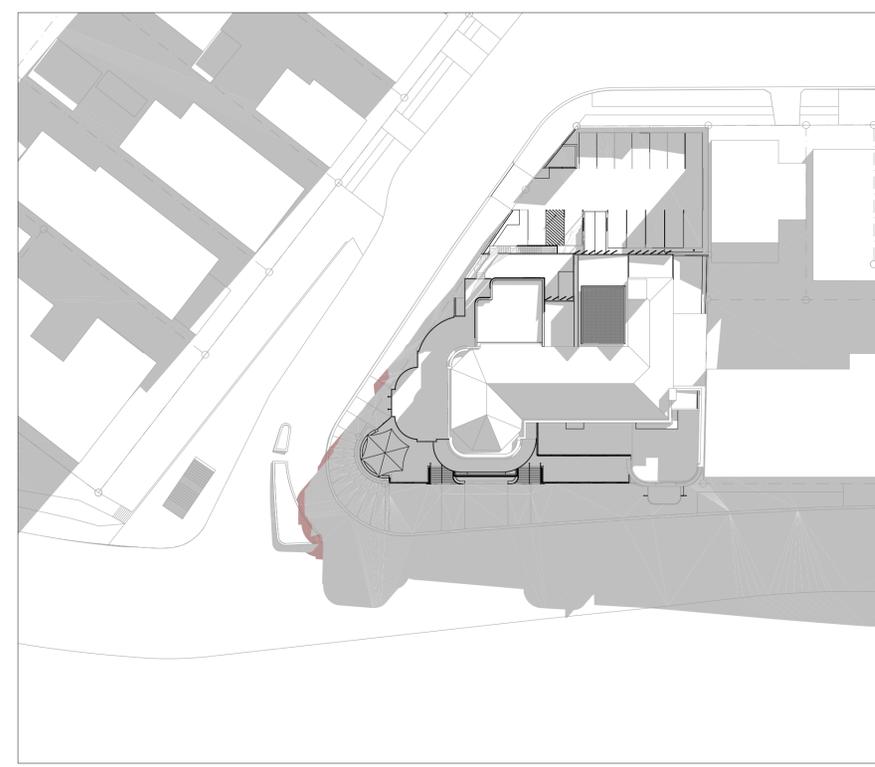
LEGEND	 EXISTING SHADOWS
	 PROPOSED SHADOWS



JUNE-21-9am 1:500



JUNE-21-12pm 1:500



JUNE-21-3pm 1:500

EJE ARCHITECTURE
 ACN 002 912 843 | ABN 82 644 649 849
 Nominated Architect - Bernard Collins
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D	21/10/2020	ISSUED FOR DA
E	16/03/2021	ISSUE TO CLIENT FOR REVIEW
F	18/03/2021	ISSUE TO COUNCIL FOR RFI

DRN	CHKD	VRFD
JAC	RIW	
JAC	RIW	
JAC	RIW	
JAC	DJW	DJW
JAC	DJW	
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 DRAWING: SHADOW DIAGRAMS

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
 FILENAME : 13001-DA_F.ppt
 DRAWN : JAC DATE : 18/03/2021 SCALES @A1 : 1:500
 PROJECT No : 13001 DA PHASE : DA DRAWING No : A13 REV : F



0 25mm 100mm 200mm ON ORIGINAL A1

ABBREVIATIONS	ACC. ACCESSIBLE	NGL. NATURAL GROUND LEVEL
ALS. VERTICAL ALUMINIUM SCREEN	PT. PAINT FINISH	
AP. ACCESS PANEL	REF. REFER	
AS. AUSTRALIAN STANDARD	REQ. REQUIRED	
BAL. BALUSTRADE	RL. REDUCED LEVEL	
BAT. BATTENS	RM. ROOM	
BDY. BOUNDARY	RM. ROOM	
CFC. COMPRESSED FIBRE CEMENT	SW. STORMWATER	
CLNS. CLEANER	TGSI. TACTILE GROUND SURFACE INDICATORS	
CONC. CONCRETE	TME. TO MATCH EXISTING	
COS. CONFIRM ON SITE	WC. WATER CLOSET	
CR. CEMENT RENDER		
(E). EXISTING		
EXTO. EXISTING		
FFL. FINISHED FLOOR LEVEL		
FRL. FIRE RESISTANCE LEVEL		
MRS. METAL ROOF SHEETING		



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DRN	CHKD	VRFD
JAC	RIW	
JAC	DJW	DJW
JAC	DJW	
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 DRAWING: 3D PERSPECTIVE 1

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
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 PROJECT No: 13001 DA
 PHASE: DA
 DRAWING No: A14
 REV: G



ABBREVIATIONS

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ALS	VERTICAL ALUMINIUM SCREEN	PT	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	SW	STORMWATER
CFC	COMPRESSED FIBRE CEMENT	TGSI	TACTILE GROUND SURFACE INDICATORS
CLNS	CLEANER	TME	TO MATCH EXISTING
CONC	CONCRETE	WC	WATER CLOSET
COS	CONFIRM ON SITE		
CR	CEMENT RENDER		
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JAC	DJW	DJW
JAC	DJW	
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER

CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291

DRAWING: 3D PERSPECTIVE 2

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.

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DRAWN: JAC DATE: 18/03/2021 SCALES @A1: N.T.S.

PROJECT No: 13001 DA PHASE: DA DRAWING No: A15 REV: G



ABBREVIATIONS

ACC.	ACCESSIBLE	NGL.	NATURAL GROUND LEVEL
ALS	VERTICAL ALUMINIUM SCREEN	PT.	PAINT FINISH
AP	ACCESS PANEL	REF.	REFER
AS	AUSTRALIAN STANDARD	REQ.	REQUIRED
BAL	BALUSTRADE	RL	REDUCED LEVEL
BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	SW	STORMWATER
CFC	COMPRESSED FIBRE CEMENT	TS&I	TACTILE GROUND SURFACE INDICATORS
CLNS	CLEANER	TME	TO MATCH EXISTING
CONC	CONCRETE	WC	WATER CLOSET
COS	CONFIRM ON SITE		
CR	CEMENT RENDER		
(E)	EXISTING		
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JAC	DJW	
JAC	DJW	

PROJECT: BEACH HOTEL MEREWETHER

CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291

DRAWING: 3D PERSPECTIVE 3

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.

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DRAWN: **JAC** DATE: **18/03/2021** SCALES @A1: **N.T.S.**

PROJECT No: **13001 DA** PHASE: **DA** DRAWING No: **A16** REV: **G**



ABBREVIATIONS

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BAT	BATTENS	RM	ROOM
BDY	BOUNDARY	SW	STORMWATER
CFC	COMPRESSED FIBRE CEMENT	TSSI	TACTILE GROUND SURFACE INDICATORS
CLNS	CLEANER	TME	TO MATCH EXISTING
CONC	CONCRETE	WC	WATER CLOSET
COS	CONFIRM ON SITE		
CR	CEMENT RENDER		
(E)	EXISTING		
EXTD	EXISTING		
FFL	FINISHED FLOOR LEVEL		
FRL	FIRE RESISTANCE LEVEL		
MRS	METAL ROOF SHEETING		



1 COMPRESSED FIBRE CEMENT SHEET CLADDING

2 BATTES

3 RENDER FOR PAINT FINISH

4 FEATURE PLANTING

5 RETAIN AND CELEBRATE HERITAGE BRICKWORK

6 CONCRETE

7 PAINT FINISH TO AREAS OF EXISTING NON-HERITAGE BRICK



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PROJECT: BEACH HOTEL MEREWETHER
 CLIENT: THE BEACH HOTEL
 99 FREDERICK ST, MEREWETHER
 NSW, 2291

SITE: LOT 1 DP79757
 99 FREDERICK STREET
 MEREWETHER, NSW, 2291
 DRAWING: SCHEDULE OF MATERIALS

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK. REPORT ALL ERRORS AND OMISSIONS.
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 PROJECT No: 13001 DA
 PHASE: DA
 DRAWING No: A17
 REV: G





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**PV 20/04/21 – 99 FREDERICK STREET, MEREWETHER –
DA2020/01212 – PUB - ALTERATIONS, ADDITIONS AND SIGNAGE**

ITEM-1 **Attachment B:** Processing Chronology

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PROCESSING CHRONOLOGY

DA2020/01212 – 99 Frederick Street, Merewether

- 27 October 2020 - Application lodged
- 5 November 2020 – 19 November 2020 - Public notification period
- 28 January 2021 - Applicant sent correspondence to submit additional information regarding various matters
- 03 March 2021 - Meeting with License Premises Reference Group
- 18 March 2021 - Applicant submitted response to request for additional information

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**PV 20/04/21 – 120 PARRY STREET AND 16 HALL STREET,
NEWCASTLE WEST – DA2020/00322 – DEMOLITION (EXISTING
BUILDINGS) AND MIXED-USE DEVELOPMENT (EIGHT
STOREY) - INCLUDING RESIDENTIAL (30 APARTMENTS) AND
GROUND FLOOR RETAIL / BUSINESS**

PAGE 3 ITEM-2 Attachment A: Submitted Plans

PAGE 55 ITEM-2 Attachment B: Processing Chronology

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ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**PV 20/04/21 – 120 PARRY STREET AND 16 HALL STREET,
NEWCASTLE WEST – DA2020/00322 – DEMOLITION (EXISTING
BUILDINGS) AND MIXED-USE DEVELOPMENT (EIGHT STOREY) -
INCLUDING RESIDENTIAL (30 APARTMENTS) AND
GROUND FLOOR RETAIL / BUSINESS**

ITEM-2 Attachment A: Submitted Plans

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Five Elements Newcastle West Residential Flat Building

120 Parry St, 16 Hall St,
Newcastle West

Development Application Council RFI Response



BASIX Summary

Five Elements 120 Parry St Newcastle West NSW 2302		Basix Requirements Summary - Multi Units Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914	
Water Target	40	Water Score	41
Energy Target	20	Energy Score	20
Max Average Heating Load is (MJ/m ²)	54	Actual Average Heating Load	51.6
Max Average Cooling Load is (MJ/m ²)	32	Actual Average Cooling Load	23.4
Basix Commitments			
Landscaping	Total area of garden & lawn (m ²)	150	Area of indigenous/low water use plants (m ²)
Fixtures	Shower heads	3 star (> 7.5 but <= 9 l/min)	Toilets 4 star All taps 4 star
Energy	Hot water system	Gas instantaneous	Rating 5 star
	Bathroom ventilation	Individual fan, ducted to facade or roof	with Manual switch on/off
	Kitchen ventilation	Individual fan, ducted to facade or roof	with Manual switch on/off
	Laundry ventilation	Individual fan, ducted to facade or roof	with Manual switch on/off
	Cooling - living areas	Central system - refer to Basix	Zoned
	Cooling - bedrooms	Central system - refer to Basix	
	Heating - living areas	Central system - refer to Basix	
Heating - bedrooms	Central system - refer to Basix		
Alternate Energy	Photovoltaic system able to generate at least	2	peak kilowatts of electricity
	Electric cooktop & electric oven	No outdoor clothesline required	Indoor clothesline required
Thermal Performance Assessment Based on the Following Requirements			
Floor Types	Suspended concrete slab	with	R2.5 insulation
Floor Coverings	Tiles	Kitchens and wet areas	Timber Nil
	Carpet	Bedrooms and living area	Concrete Nil
External Walls	Cavity block, battened and sheeted	with	R1.2 insulation Colour Light
	Stud walls Fibro clad	with	Sarking and R2.5 bulk insulation Colour Dark
Internal Walls	Plasterboard	with	No insulation required
Ceiling (floor over)	Concrete above plasterboard	with	No insulation required
Ceilings (roof over)	Concrete above plasterboard (balcony above)	with	R2.5 insulation
	Concrete above plasterboard (uppermost level)	with	R2.5 insulation
	Timber above plasterboard	with	R3.0 bulk insulation
Roof	Concrete (balcony or rooftop terrace)	with	Nil Colour Medium
	Metal	with	Sarking Colour Medium
Windows and Doors	AF single glazed clear to all windows and glazed doors unless noted otherwise	Group A ALM-001-01 U-Value 6.70 or less SHGC 0.57 +/- 5% Group B ALM-002-01 U-Value 6.70 or less SHGC 0.70 +/- 5%	
	AF single glazed LowE (clear) To D101-02, D103-02, D202-01, D202-02, D301-01, D301-02, D301-04, D401-01, D401-02, D601-01, D601-02 and all glazing in Unit 702 except as noted below	Group A ALM-001-03 U-Value 5.40 or less SHGC 0.49 +/- 5% Group B ALM-002-03 U-Value 5.40 or less SHGC 0.58 +/- 5%	
	AF double glazed LowE (clear) D103-02, D301-03, D303-01, D303-02, D401-03, D401-04, D601-03, D601-04, all glazing in Unit 701, D702-05	Group B ALM-004-03 U-Value 4.30 or less SHGC 0.53 +/- 5%	
	Group A windows are Awning, Bifold, Casement or Tilt'n'turn Group B windows are Double hung, Fixed, Louvre or Sliding	Group A doors are Bifold, Entry, French or Hinged Group B doors are Sliding or Stacker	
AF = Aluminium Framed TB = Thermally Broken Aluminium Framed TF = Timber Framed			

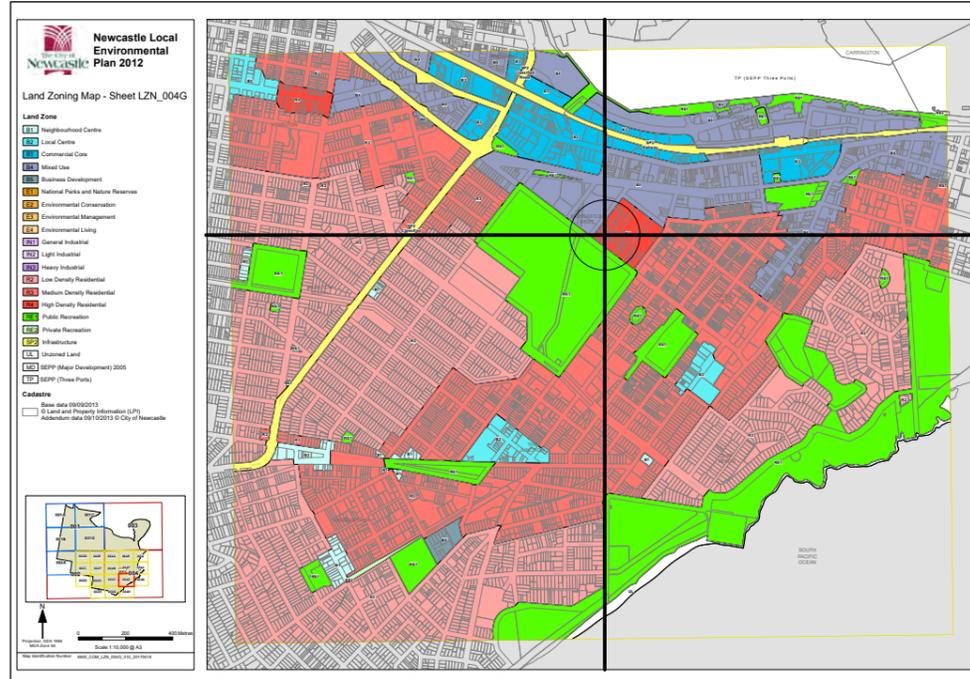
Notes

Drawing List

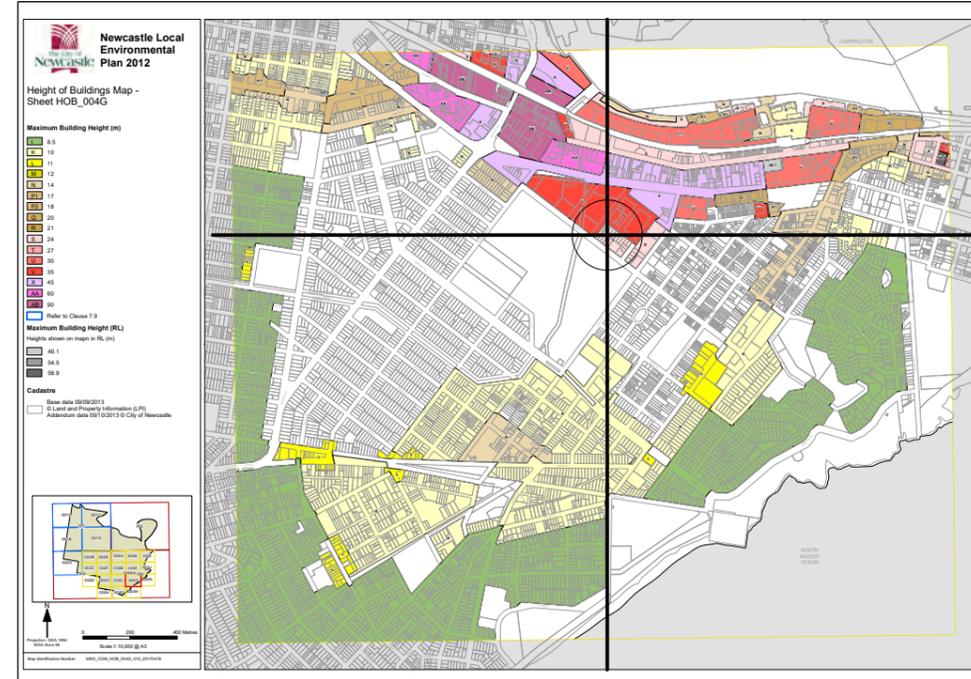
ID	Title	
DA-001	Cover Sheet	DA-504 Shadow Diagrams
DA-002	Drawing Register	DA-505 Shadow Diagrams
DA-003	Council LEP Maps	DA-506 Shadow Diagrams
DA-004	LEP/DCP Controls	DA-507 Shadow Diagrams
DA-005	Site Analysis	DA-508 Shadow Diagrams
DA-006	Massing Strategy	DA-509 Shadow Diagrams
DA-007	SEPP 65 Compliance	DA-510 Shadow Diagrams
DA-008	Compliance Table	DA-511 Shadow Diagrams
DA-009	Compliance Table - Storage	DA-512 Shadow Diagrams
DA-010	Compliance Table - Solar	DA-513 Shadow Diagrams
DA-011	Solar Studies	DA-514 Door & Window Schedule
DA-012	Solar Studies	DA-515 Door & Window Schedule
DA-013	Solar Studies	N1 Notification Plan
DA-014	Solar Studies	
DA-015	Solar Studies	
DA-016	Solar Studies	
DA-017	Solar Studies	
DA-018	Solar Studies	
DA-019	Site Plan	
DA-100	Basement Plan	
DA-101	Ground Floor Plan	
DA-102	Levels 1 Floor Plan	
DA-103	Levels 2 Floor Plan	
DA-104	Levels 3 Floor Plan	
DA-105	Levels 4 Floor Plan	
DA-106	Levels 5 Floor Plan	
DA-107	Levels 6 Floor Plan	
DA-108	Level 7 Floor Plan	
DA-109	Rooftop Floor Plan	
DA-200	South Elevation - Parry St.	
DA-201	North Elevation - Hall St.	
DA-202	Courtyard Elevations	
DA-203	East Elevation	
DA-204	West Elevation	
DA-301	Site Section	
DA-501	Material Selections	
DA-502	Perspective - Parry St.	
DA-503	Perspective - Hall St.	

DEVELOPMENT APPLICATION - RFI

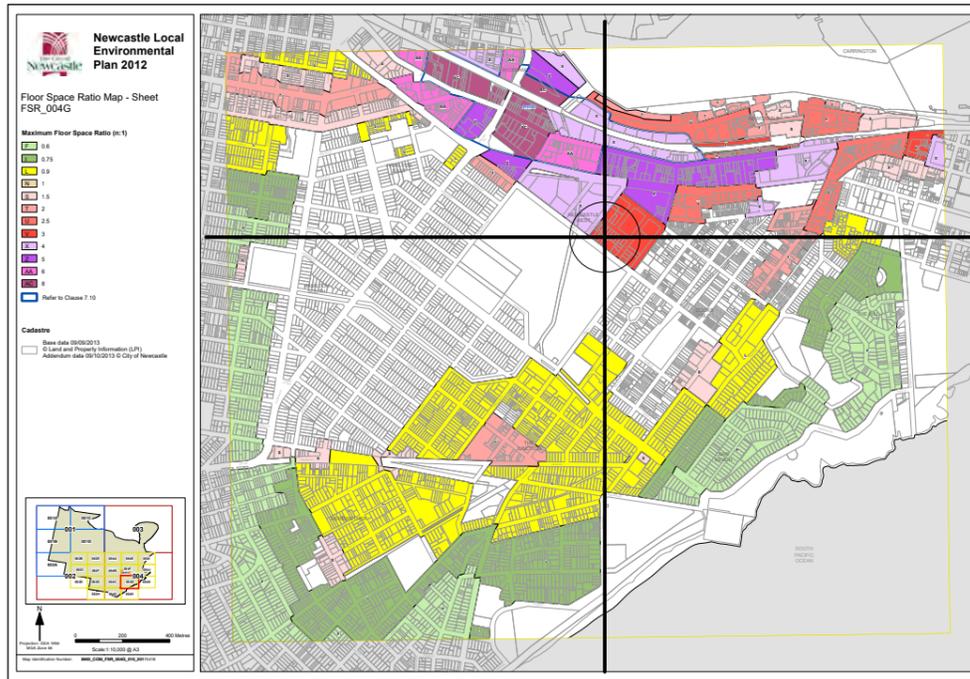
LEP Planning Controls



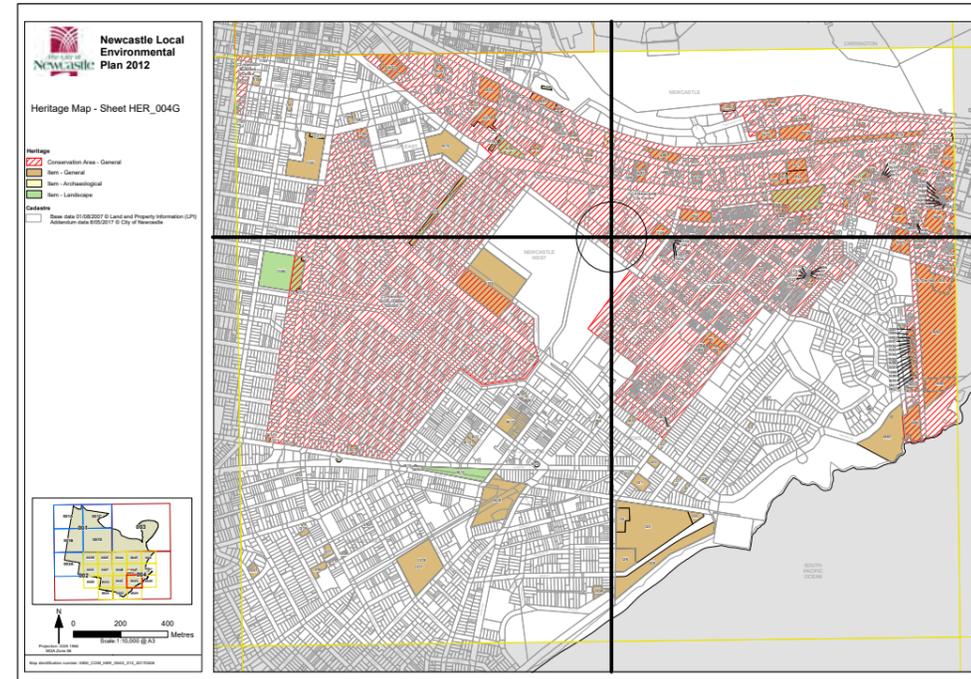
Land Zoning- R4 High Density Residential



Height of Building - "S" 24m



Floor Space Ratio- "V" 3:1



Heritage Map - C4: Newcastle City centre Conservation Zone

DEVELOPMENT APPLICATION - RFI



A1. Street wall heights

Street wall heights refer to the height of the building that addresses the public street from the ground level up to the top of the parapet. They are an important element to ensure a consistent building scale in streets that have a

Street wall heights can provide a sense of enclosure to the street and contribute to the city's character through street alignment with appropriate street-width to building height ratios. They can also have a direct impact on sunlight access to the public domain.



Photo 6.01-17

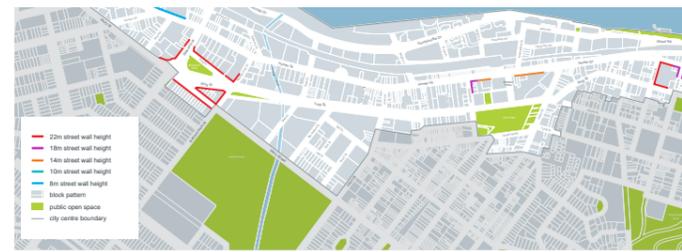


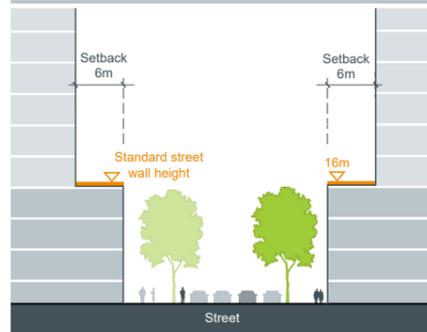
Figure 6.01-11 Street wall heights plan

Performance criteria

A1.01 enclose the street, are appropriately scaled and respond to adjacent development.

Acceptable solutions

- New buildings have a street wall height of 16m unless indicated otherwise in Figure 6.01-11.
- Any development above the street wall height is set back a minimum of 6m, as shown in Figure 6.01-12.
- Corner sites may be emphasised by design elements that incorporate some additional height above the nominated street height.



Performance criteria

A2.01 and public domain spaces, and respond to adjacent buildings

Acceptable solutions

- Front setbacks are nil (zero) unless shown otherwise in Figure 6.01-13 and Table 6.01-1.
- Where it is not possible to meet the setbacks in Figure 6.01-13 and Table 6.01-1 new development aligns with the adjoining front setbacks.
- When a setback is used, footpaths, steps, ramps and the like may be provided within it.
- Minor projections beyond the setback are possible for Juliette balconies, sun shading devices, and awnings.
- Projections into the setbacks are complementary to the style and character of adjoining buildings.

Performance criteria

A2.02 Side and rear setbacks enhance amenity and allow for ventilation, daylight access, view sharing and privacy for adjoining buildings.

Acceptable solutions

- Development may be built to the side and rear boundary (a nil setback) below the street wall height.

Alternative solutions

- Where there is no adjoining development to respond to, half the separation distances to boundary recommended in the Residential Flat Design Code may be acceptable.
- Where there are no openings within the wall, the side setbacks are consistent with Table 6.01-1 and Figure 6.01-14.

Performance criteria

A3.01 Sites that accommodate more than one building achieve adequate daylight, ventilation, outlook, view sharing and privacy for each building.

Acceptable solutions

- Buildings achieve the minimum building separation for commercial buildings within the same site, as shown in Table 6.01-2 and Figure 6.01-15.
- Building separation distances may be longer for residential and mixed-use developments to satisfy SEPP65 guidance.

Table 6.01-2 Minimum building separation

Up to 16m	Up to 45m	Above 45m
Nil or 6m for link	9m	21m

Performance criteria

A4.01 desired urban form and skyline of the city centre.

Acceptable solutions

- Buildings achieve the maximum building depth and Table 6.01-3.

Table 6.01-3

Building typology	Floor plates affected	Maximum GFA per	Maximum Building Depth*
Residential tower	Above street wall height	900m ²	18m

*excluding balconies

- separate building elements, as shown in Figure 6.01-16.
- Buildings above street wall height have a maximum building length of 50m.
-

Performance criteria

A4.02 Buildings achieve good internal amenity with

Acceptable solutions

- W natural light. Design solutions include windows, atria, courtyards or light wells and by locating workspaces within 10-12m from a window or daylight source.

Front Setbacks

(b) If there is no established building line, the front setback is:

Road Type	Front Setback	
	R2	R3, R4 or B4
Primary road	4.5m	4.5 m
Corner lot (secondary road)	2m	2m
Classified road	As defined in any applicable Environmental Planning Instrument, or if none exists 9m.	

Side & Rear Setbacks

(b) In the R3 and B4 Mixed Use zones:

Wall height	Side and rear setbacks
Up to 4.5	1.5m
4.5 - 8.5m	3m
Over 8.5m	6m

The following controls apply to all forms of residential development

- Landscaped areas are provided as follows:

Zone	Minimum landscaped area (% of site area)	Minimum deep soil zone (% of site area)
R2 zone	30%	15%
R2 zone - Moderate Growth Precinct	25%	12%
R3 zone	25%	12%
R4 and B4 zones	20%	10%

- Landscaped areas have a minimum width of 1.5m and the following items are excluded from the landscaped area calculation:
 - paving wider than 1m, impervious or otherwise
 - structures such as air conditioning units, awnings, decks, patios, garden sheds, hot water systems, LPG storage tanks, water tanks and the like.

- A minimum 25% of the front setback is landscaped area.
- A minimum 3m wide landscaped area is located along the rear boundary.
- Landscaped areas are distributed throughout the site and incorporated into both private open space and communal open space areas.
- Landscaped areas take advantage of existing site conditions and respond to significant site features such as:
 - significant landscape features including existing trees
 - change of levels
 - views.
- One large tree or two medium sized trees are provided for every 90m² of landscaped area.
- A medium sized tree with a minimum mature height of 5m is provided in the front setback, where the setback is greater than 3m.
- Landscaping is consistent with Section 7.02 Landscape, Open Space and Visual Amenity of this DCP.

E. Private open space

Performance criteria

- Private open space and balconies are located and sized to enhance residential amenity and liveability.

Acceptable solutions

The following controls apply to all residential flat buildings

- Compliance with the standards for 'Private open space and balconies' in the Apartment Design Guide, for all residential flat buildings required to comply with that standard.
- For residential flat buildings that are not required to comply with the Apartment Design Guide, each dwelling has:
 - A minimum area of private open space as follows:

Dwelling size	Private Open Space
1 bedroom	8m ²
2 + bedrooms	12m ²
Ground floor dwellings	16m ²

- The minimum dimension of the included area is 2m, excluding any storage space.
- Primary private open space and balconies are located adjacent to living room, dining room or kitchen to extend the living space.
- 50% of the minimum required private open space is covered to provide shade and protection from rain.
- Balconies and terraces above ground floor level are orientated towards the street or rear of the site and not to a side boundary.

Controls applying to all development consisting of attached dwellings, dual occupancy, multi-dwelling housing, residential flat building and semi-detached dwellings as defined in the Newcastle Local Environmental Plan 2012

- Open space is clearly defined to distinguish between communal and private open space.
- Private open space is to be provided in accordance with the development type and Newcastle Urban Strategy precinct, as detailed in Table 7.1 below.

Table 7.1: Private Open Space Area ('Courtyards') per Dwelling by Development Type and Density Precinct.

Development Type	Limited	Moderate	Substantial
Dual Occupancy	40m ²	35m ²	30m ²
Villa/Town House	35m ²	30m ²	25m ²
Residential Flat Buildings **	25m ²	20m ²	16m ²

** It is noted that RFBs typically provide their private open space as balconies with the remainder being provided as communal open space. Where a RFB development includes ground floor dwellings, these can provide 'private open space' as either a courtyard to each dwelling or provide an area equal to the equivalent minimum balcony area, as a ground level 'balcony', with the remainder of the private open space area being available as communal open space.

Example: An RFB has ground floor units. The RFB within the Substantial precinct are required to provide 16m² courtyards on the ground floor. The balcony requirements for Substantial would be 15% of the dwelling size. As the dwellings are smaller, eg. 50m², the minimum balcony allowed would be 7.5m². The designer has the option to provide these ground floor dwellings with 16m² private open space (ie. 'courtyards') OR a smaller 'balcony sized area' of 7.5m² (which would be potentially designed as an articulated feature as part of the building and may mirror the balcony arrangement) - the remainder of the 16m² (ie. 8.5m²) would then be combined with the communal open space of the development.

- The area between the street front boundary and the building line (ie normally 5 metres) is to be used as a prime deep soil zone for taller tree planting and will not be included as an area of private open space. No fencing greater than 1.2m in height is to be erected within this area or on any street front boundary associated within this area. Any paving within this area is to be minimised and designed to be compatible with the tree planting.
- The private open space area must include a principal area of private open space* (exceptions may be allowed for RFBs in accordance with Table 7.1).

*The principal area of private open space is a 4m x 4m level area of private open space directly accessible from the main living area of the dwelling.
- Private open space areas (ie. 'courtyards') which directly adjoin the principal area of private open space, so to form a continuous 'courtyard', can be considered private open space if 3.0m wide or greater. Note: Where private open space is separated into multiple separate areas, each area must meet the principal area of private open space requirements (ie. 4m x 4m).
- Landscaping area required for residential development under Section 7.02.03 Landscape, Open Space and Visual Amenity can include any private open space area in excess of the principal area of private open space, provided it satisfies other landscape requirements under the DCP.
- Where a dwelling is above ground level, a balcony is to be provided having a minimum area and dimensions in accordance with the criteria within Table 7.2 and having a direct access from the main living area of the dwelling.

Table 7.2: Required Balcony Areas as a percentage of dwelling size by Newcastle Urban Strategy Density Precinct (Residential Flat Buildings Only).

Development Type	Limited	Moderate	Substantial
Balcony Area as percentage of Dwelling Size (ie. per dwelling)	25%	20%	15%
Example: 80m ² Dwelling	20m ²	16m ²	12m ²
Example: 35m ² Dwelling	8.75m ²	7m ²	5.25m ² becomes 6m ² **

** All balconies are required to be greater than the minimum 6m² notwithstanding the percentage calculation.

Land Use	Car Parking	Bike Parking	Motorbike Parking
Attached Dwellings, Dual occupancy, Multi Dwelling Housing, Residential Flat Buildings, Semi-detached dwellings, Shop Top Housing	Newcastle City Centre and Renewal Corridors: Small (<75m ² or 1 bedroom) average 0.6 spaces per dwelling Medium (75m ² - 100m ² or 2 bedrooms) average 0.9 spaces per dwelling Large (>100m ² or 3 bedrooms) average 1.4 spaces per dwelling 1 space for the first 3 dwellings plus 1 space for every 5 thereafter or part thereof for visitors		

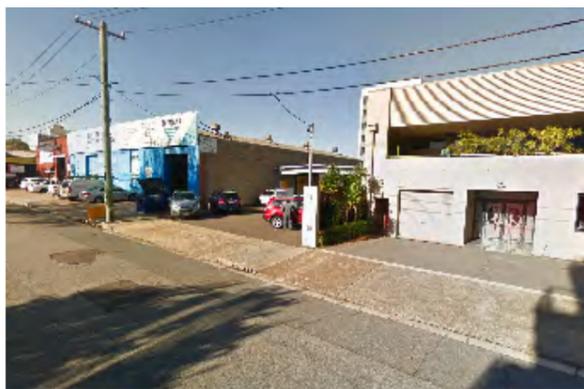
Site Analysis



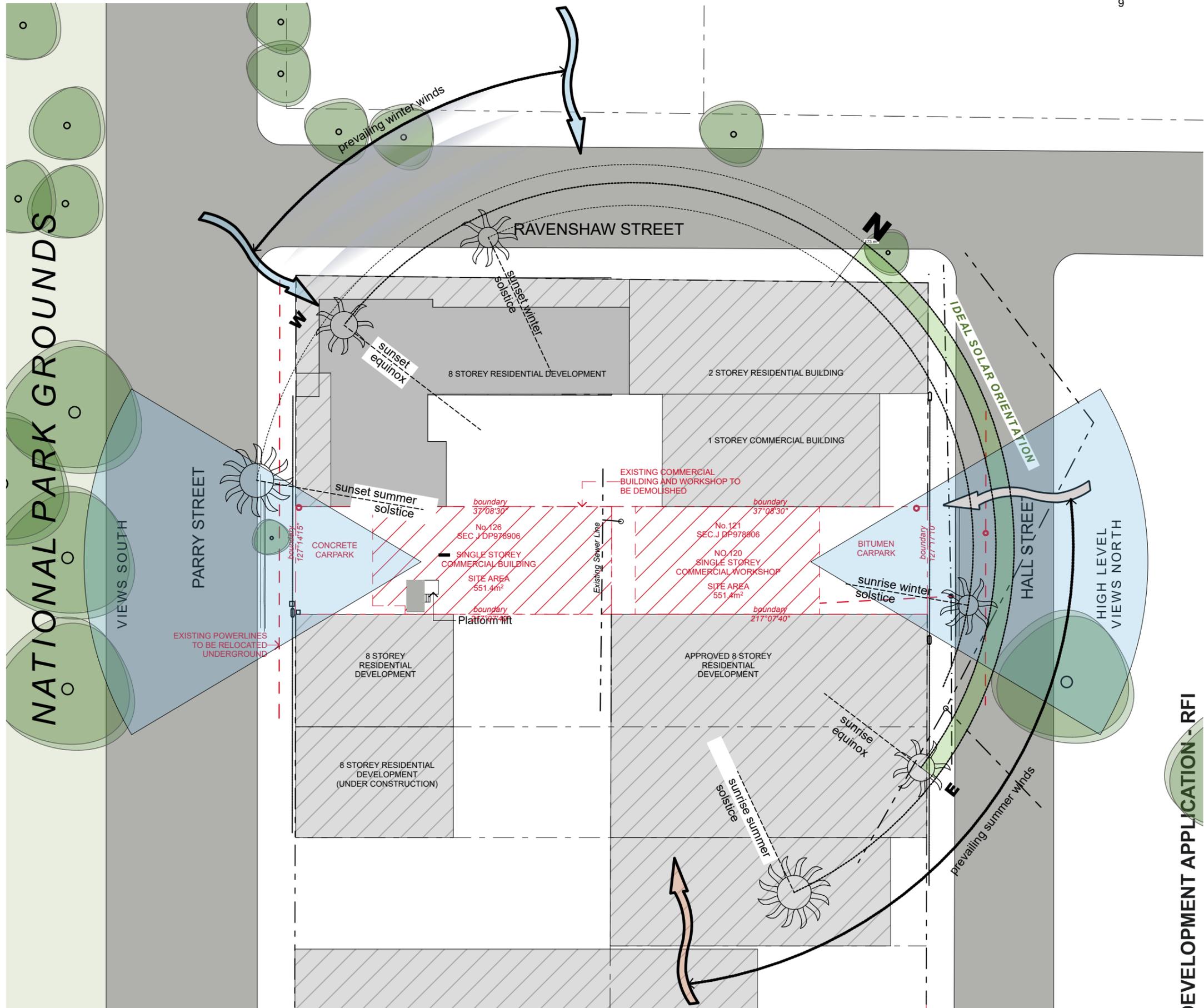
Parry Street View East



Ravenshaw & Parry Street View East

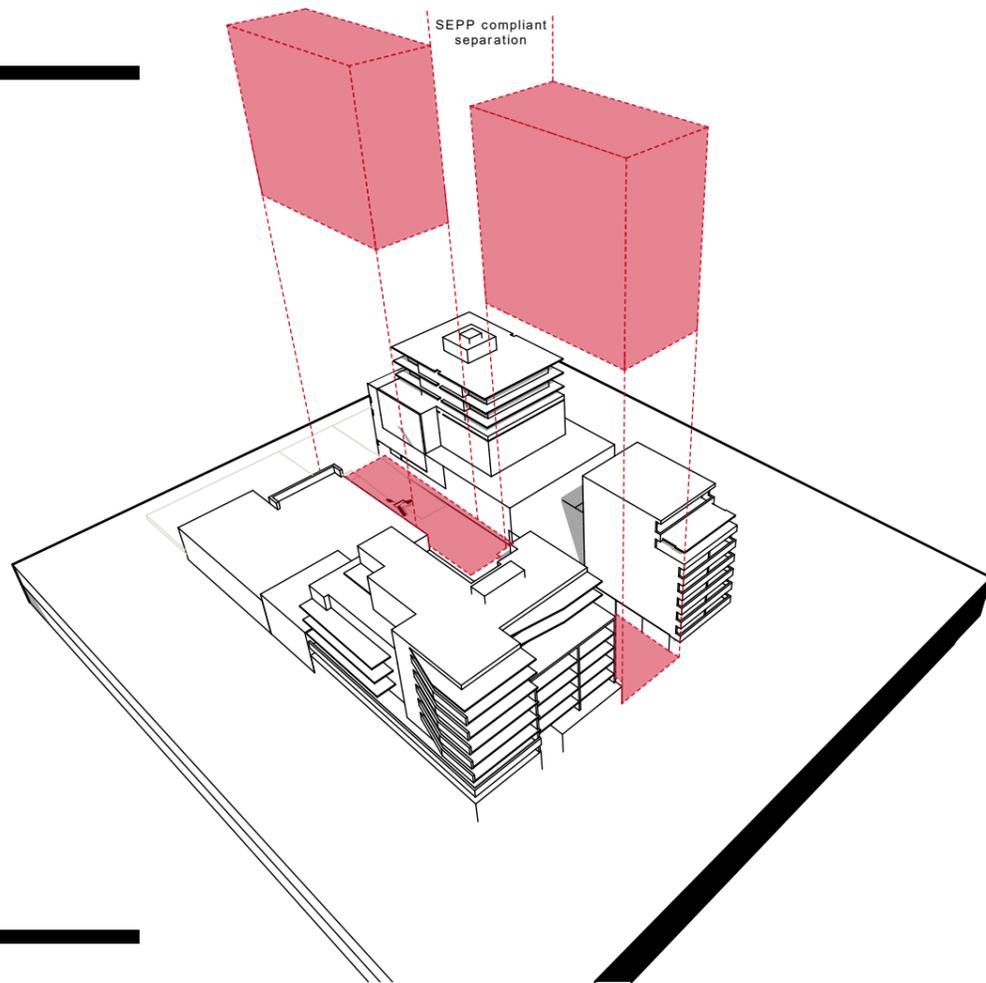


Hall Street View South-East

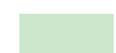


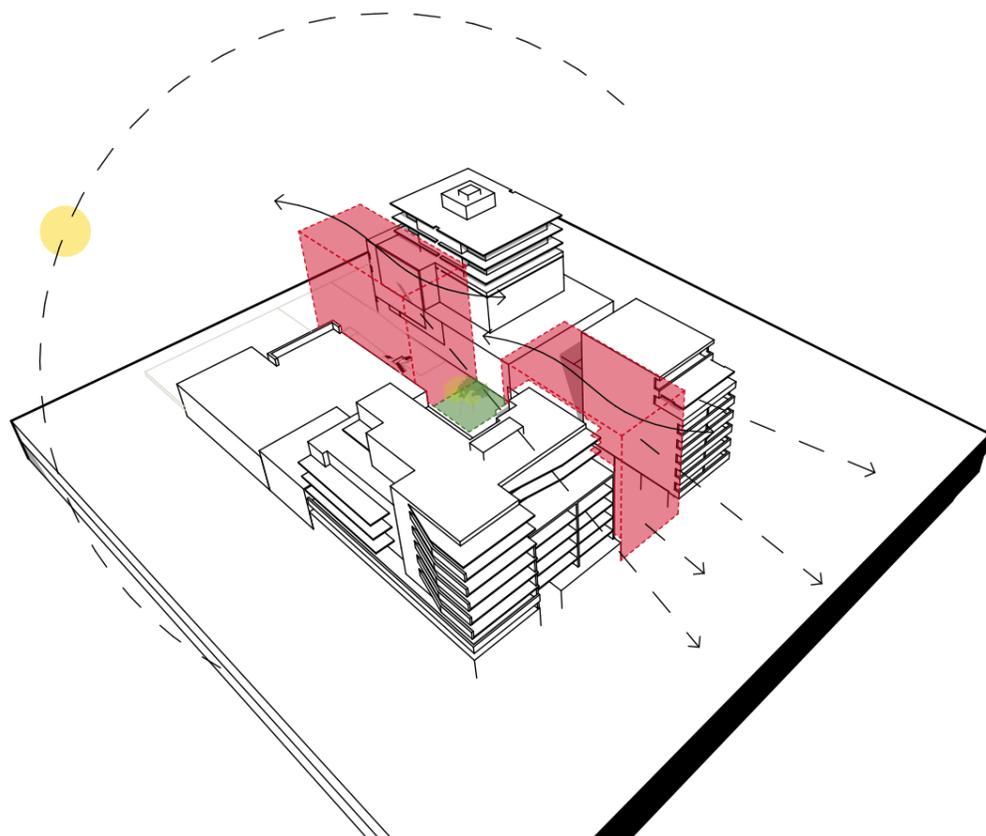
DEVELOPMENT APPLICATION - RFI

Infill Site Approach



Site Approach

-  **01 - Streetscape Activation**
-  **02 - Lower Level Communal Landscaping**
-  **03 - Solar Access and Orientation**
-  **04 - Views**
-  **05 - Cross Ventilation**



Streetscape Approach



-  **01 - Streetscape Activation**
-  **02 - Dominant massing to street.**
-  **03 - Street wall height**

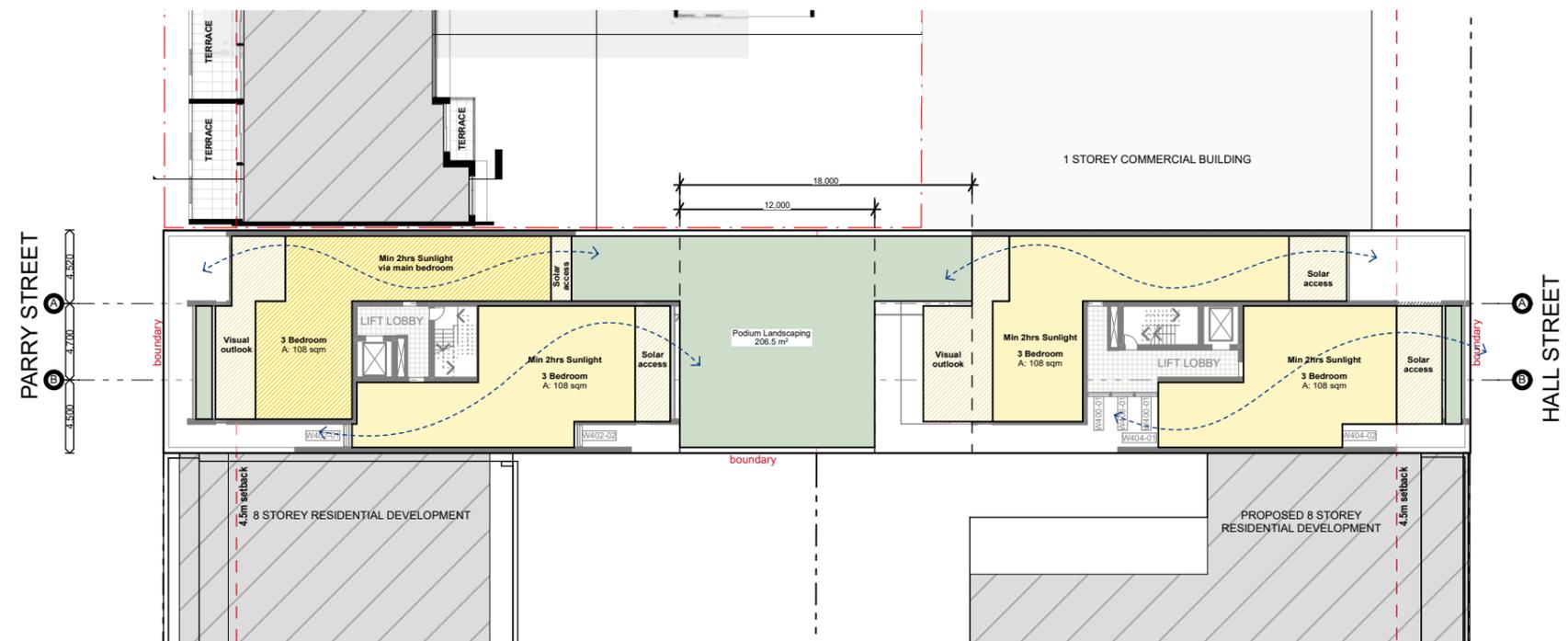


DEVELOPMENT APPLICATION - RFI



SEPP 65 Compliance

Objective	Proposal	Compliance
3E. Deep Soil Zones <i>Deep soil zones are to meet the following minimum requirements:</i> Site area – min. dimensions – DSZ % >1500m ² – 6m – 7%	The site currently does not have any deep soil area for site permeability. The communal podium landscaped area will allow for deep soil planting for up to medium trees that equates to 20% of the site area.	MERIT
3F. Visual Privacy <i>Building height – Habitable rooms and balconies – non habitable</i> Up to 12m (4 stories) – 6m - 3m Up to 25m (5-8 stories) – 9m - 4.5m Over 25m (9+ stories) – 12m - 6m	Side setback have not been included with building to the boundary to suit the infill nature of the site. Apartments have been orientated to the street and internal landscaped area with compliant separation for privacy	MERIT
4A. Solar and Daylight Access <i>living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9am and 3pm at mid winter</i>	Living rooms / Balcony spaces to 53% (16 of 30) of the units will achieve a minimum of 2hrs sunlight during mid winter. Due to the orientation of the units facing Parry Street, the main bedroom and balcony achieves a minimum of 2hrs sunlight during mid winter. This would equate to 70% of units (21 of 30).	MERIT
4B. Natural Ventilation <i>At least 60% of apartments are natural cross-ventilated in the first nine storeys of the building.</i>	A minimum of 80% (24 of 30) of apartments have achieved cross ventilation.	YES
4C. Ceiling Heights <i>Measured from finished floor level to finished ceiling level, minimum ceiling heights are:</i> Habitable rooms – 2.7 Non-habitable – 2.4	2.7m minimum floor to ceilings for habitable rooms Yes and 2.4m minimum for non-habitable rooms has been achieved	YES
Apartment Size and Layout <i>Apartments are required to have the following minimum internal areas:</i> 1 Bedroom – 50m ² 2 Bedroom – 75m ² 3 Bedroom – 95m ²	All apartments comply with the minimum internal area requirements.	YES
4E. Private Open Space and Balconies <i>All apartments are required to have primary balconies as follows:</i> 1 bedroom apartments – 8m ² (2m min.) 2 bedroom apartments – 10m ² (2m min.) 3 bedroom apartments – 12m ² (2.4m min.)	All apartments have balcony areas and depths which comply with the minimum area requirements.	YES



Typical Level - SEPP 65 Compliance Diagram

DEVELOPMENT APPLICATION - RFI

Project Address Description	Five Elements Residential Development 120 Parry Street, 16 Hall Street, Newcastle West Residential Flat Building	9/11/20 Rev C
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FIVE ELEMENTS RESIDENTIAL DEVELOPMENT	
Site Area	1102.8
FSR Control	3.0
GFA Allowable	3308.4

Unit Schedule							
	Common	Commercial	1 Bed	2 Bed	3 Bed	4 Bed	TOTAL
Ground							0
Level 01			2	1	2		5
Level 02			4	1	1		6
Level 03			2		3		5
Level 04					4		4
Level 05				1	3		4
Level 06				1	3		4
Level 07						2	2
Rooftop							
TOTAL			8	4	16	2	30
Total Mix (%)			26.7%	13.3%	53.3%	6.7%	100.0%

FSR Schedule							
	Common	Commercial	1 Bed	2 Bed	3 Bed	4 Bed	TOTAL
Ground	66.5	40.5					107
Level 01	46		125	78.5	203.5		407
Level 02	35		192.5	155	98		445.5
Level 03	35		125		309.5		434.5
Level 04	35				417		417
Level 05	35			84	319		403
Level 06	35			84	320		404
Level 07						400.5	400.5
Rooftop							
TOTAL	287.5	40.5	442.5	401.5	1667	400.5	3239.5
SITE AREA							1102.8
FSR							2.94

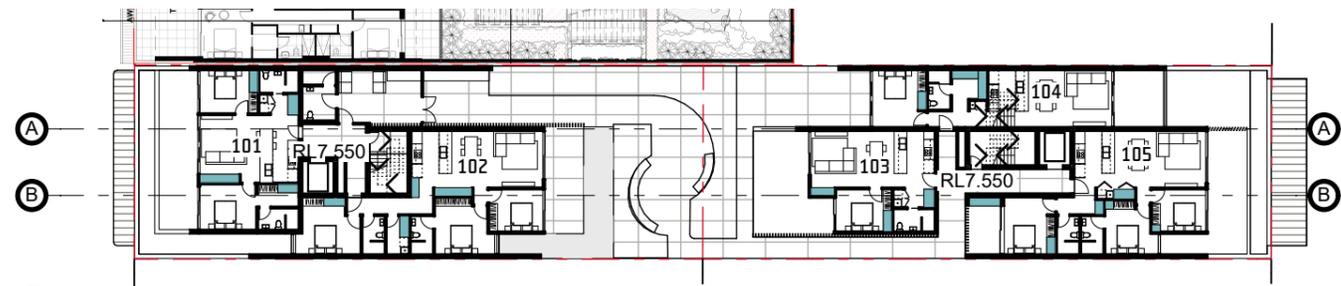
SOLAR & DAYLIGHT ACCESS							
	Common	Commercial	1 Bed	2 Bed	3 Bed	4 Bed	TOTAL
Ground							0
Level 01			1			1	2
Level 02			1			1	2
Level 03			1			1	2
Level 04						3	3
Level 05				1		2	3
Level 06				1		2	3
Level 07						1	1
Rooftop							
TOTAL			3	2	10	1	16
PERCENTAGE							53.33%

NATURAL VENTILATION							
	Common	Commercial	1 Bed	2 Bed	3 Bed	4 Bed	TOTAL
Ground							0
Level 01			1			2	3
Level 02			2			1	3
Level 03			1			3	4
Level 04						4	4
Level 05				1		3	4
Level 06				2		2	4
Level 07						2	2
Rooftop							
TOTAL			4	3	15	2	24
PERCENTAGE							80.00%

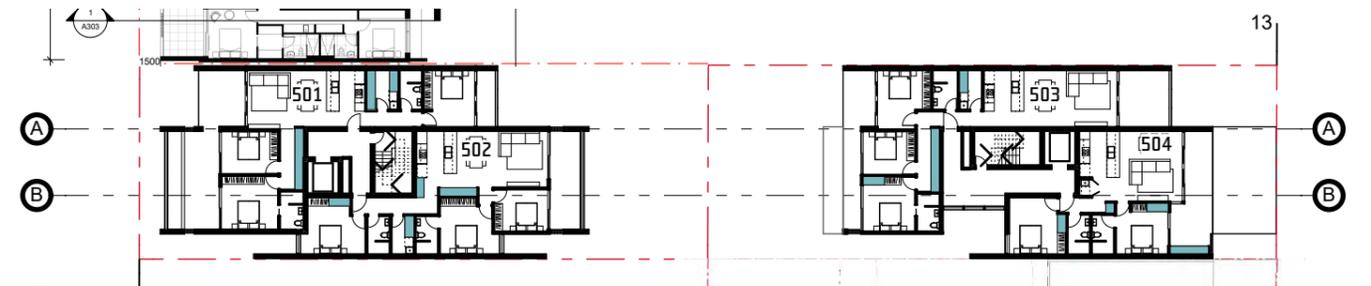
UNIT NUMBER	BEDS	SOLAR	NATURAL VENTILATION	STORAGE (m2)	STORAGE (m3) - @2.4m high	UNIVERSAL DESIGN (20%)	PARKING ALLOCATION
COMMERCIAL							1 (ACCESS.)
VISITOR							7
LEVEL 1							
UNIT 101	2	N	N	4.5	10.8		1
UNIT 102	3	N	Y	4.2	10.08		1
UNIT 103	1	N	N	2.8	6.72	Y	1
UNIT 104	1	Y	Y	3	7.2		1
UNIT 105	3	Y	Y	4.69	11.256		1
LEVEL 2							
UNIT 201	1+S	N	N	2.8	6.72		1
UNIT 202	1+S	N	Y	3	7.2	Y	1
UNIT 203	2	N	N	1	2.4		1
UNIT 204	1	N	N	2.7	6.48	Y	1
UNIT 205	1	Y	Y	3	7.2	Y	1
UNIT 206	3	Y	Y	4.9	11.76		1
LEVEL 3							
UNIT 301	3	N	Y	5.1	12.24		1
UNIT 302	3	N	Y	4.2	10.08		1
UNIT 303	1	N	N	2.8	6.72	Y	1
UNIT 304	1	Y	Y	3	7.2	Y	1
UNIT 305	3	Y	Y	4.56	10.944		1
LEVEL 4							
UNIT 401	3	M	Y	5	12		1
UNIT 402	3	Y	Y	4.2	10.08		1
UNIT 403	3	Y	Y	4.5	10.8		1
UNIT 404	3	Y	Y	4.57	10.968		1
LEVEL 5							
UNIT 501	3	M	Y	5	12		1
UNIT 502	3	Y	Y	4.2	10.08		1
UNIT 503	3	Y	Y	4.56	10.944		2
UNIT 504	2	Y	Y	3.54	8.496		1
LEVEL 6							
UNIT 601	3	M	Y	5.19	12.456		2
UNIT 602	3	Y	Y	4.2	10.08		2
UNIT 603	3	Y	Y	4.56	10.944		2
UNIT 604	2	Y	Y	3.54	8.496		2
LEVEL 7							
UNIT 701	4	M	Y	4.6	11.04		2
UNIT 702	4	Y	Y	4.95	11.88		2
COMPLIANCE TOTAL		16/30 53.30%	24/30 80%		29/30 96.60%		45

DEVELOPMENT APPLICATION - RFI

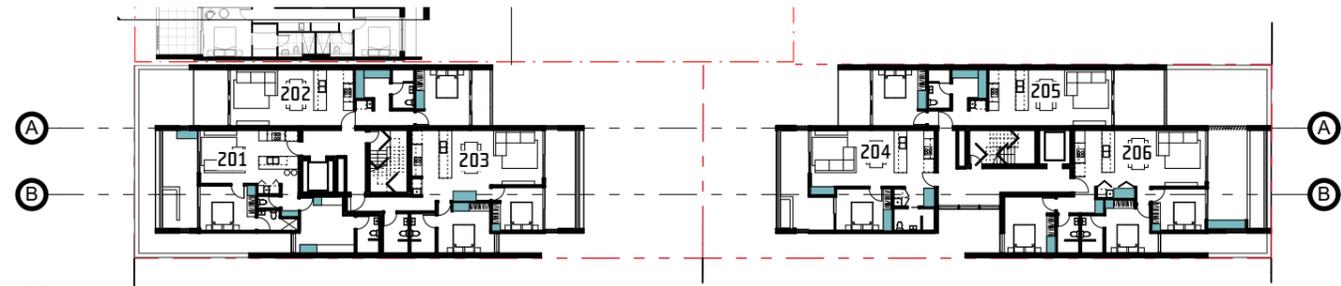




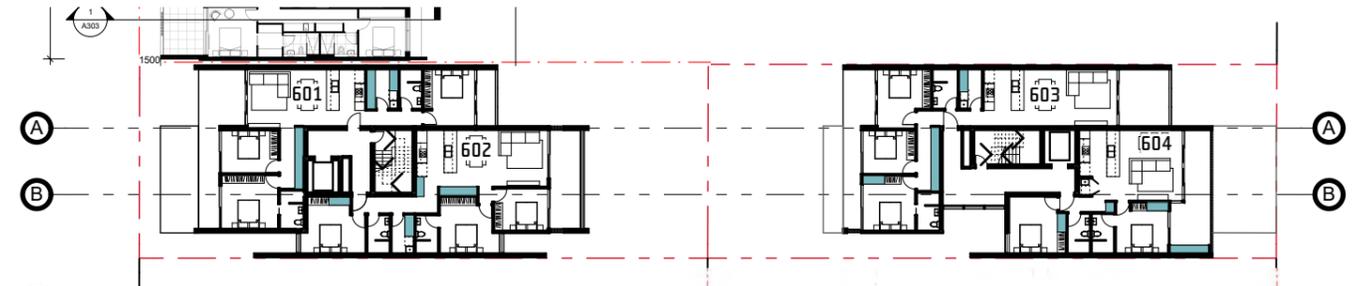
1 First Floor - Storage
SCALE 1:500 @ A3



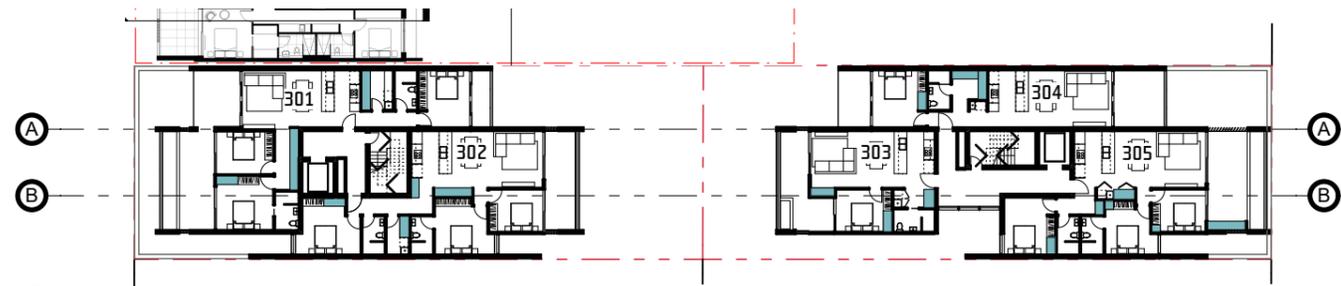
1 Fifth Floor - Storage
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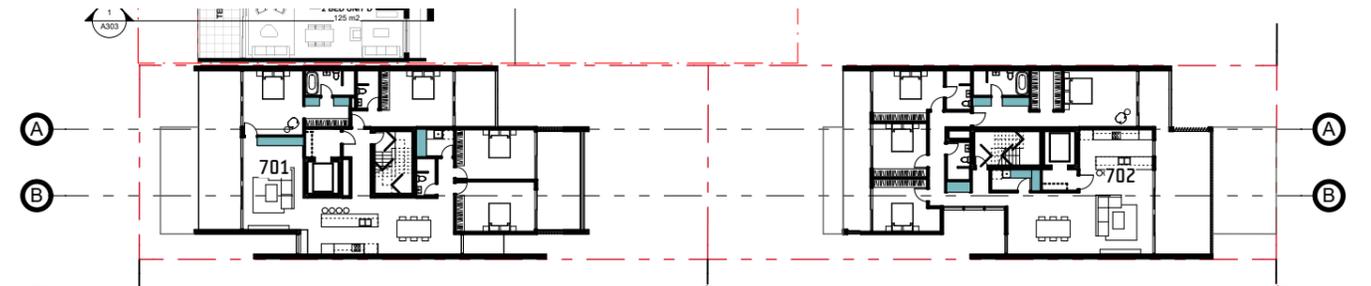
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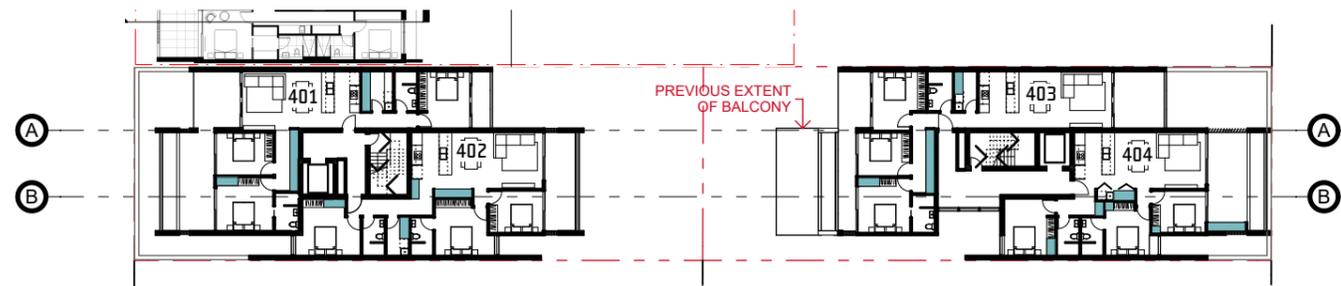
1 Sixth Floor - Storage
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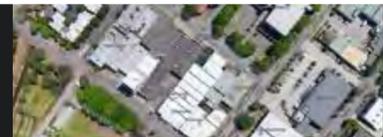
1 Third Floor - Storage
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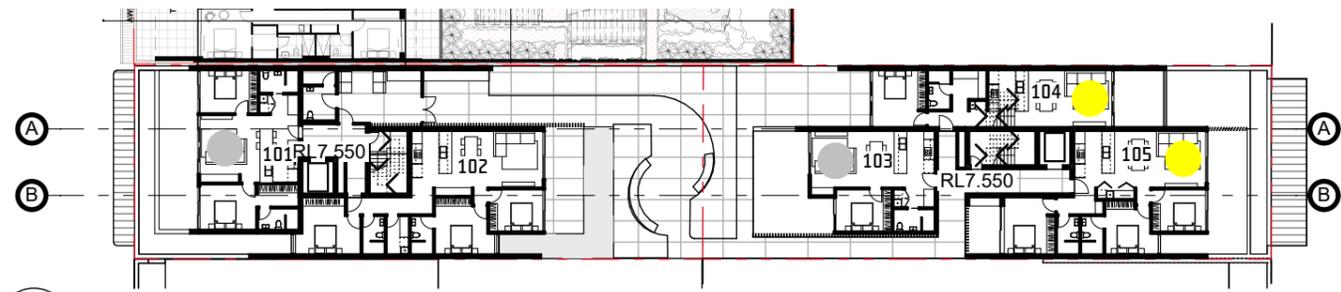


1 Seventh Floor - Storage
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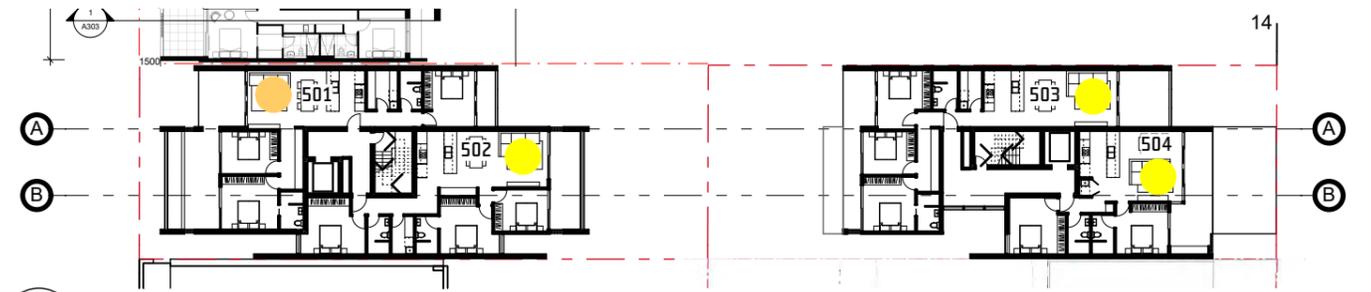


1 Fourth Floor - Storage
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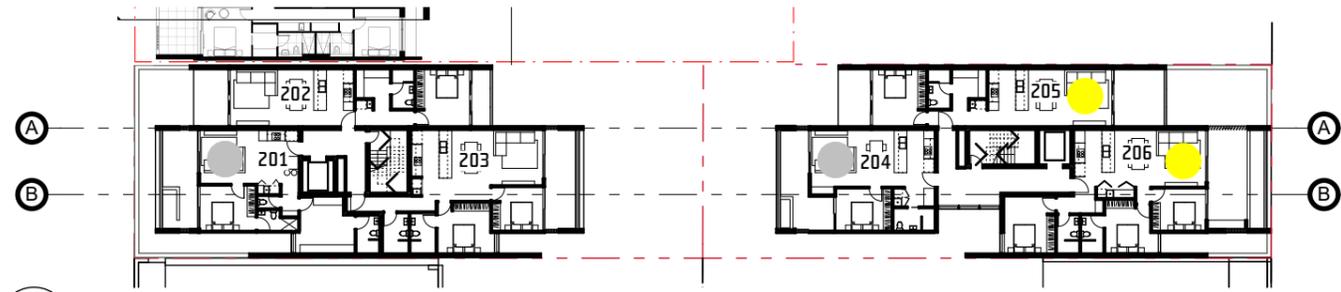




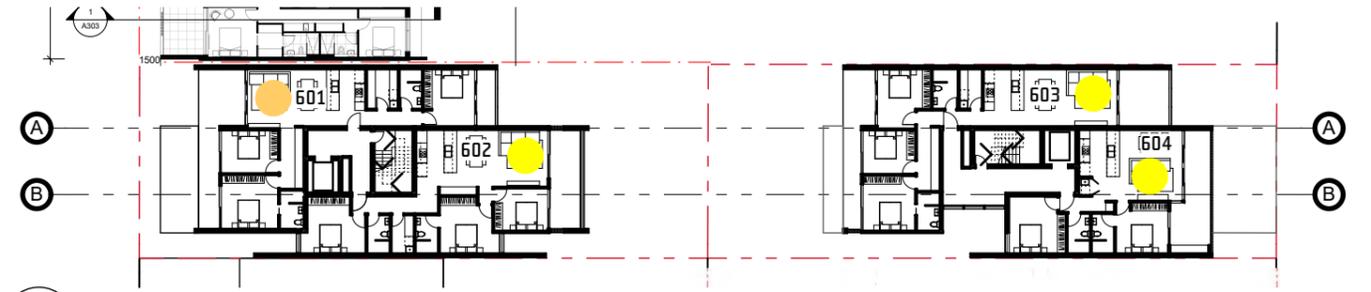
1 First Floor - ADG
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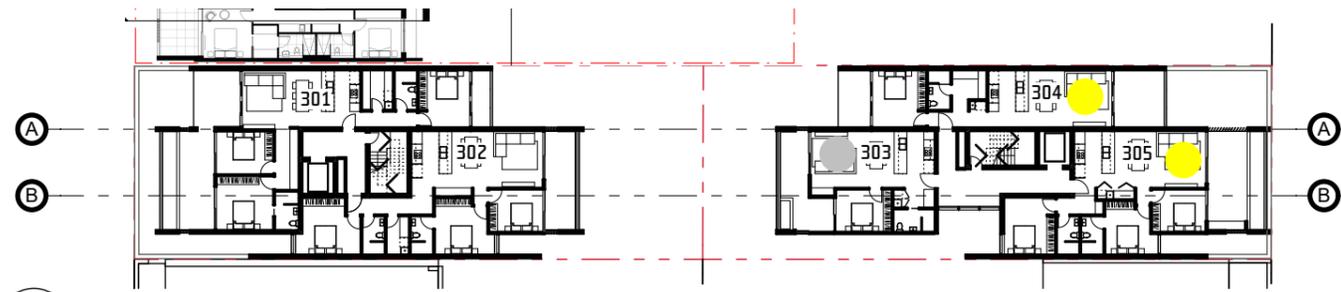
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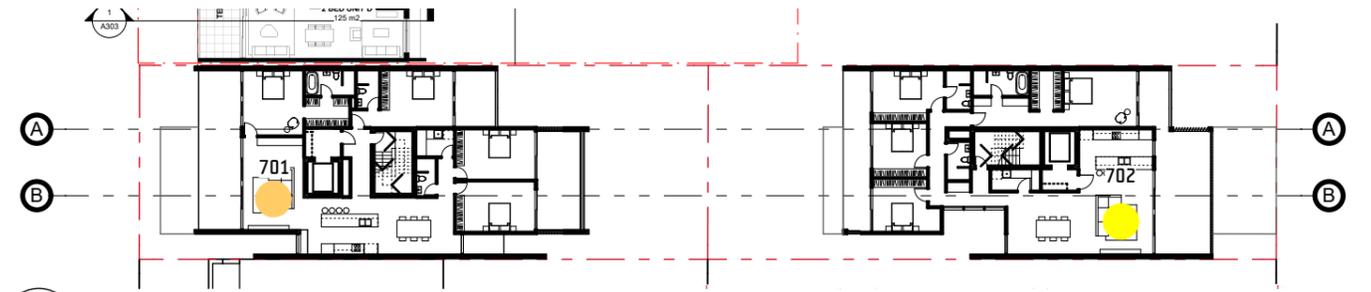
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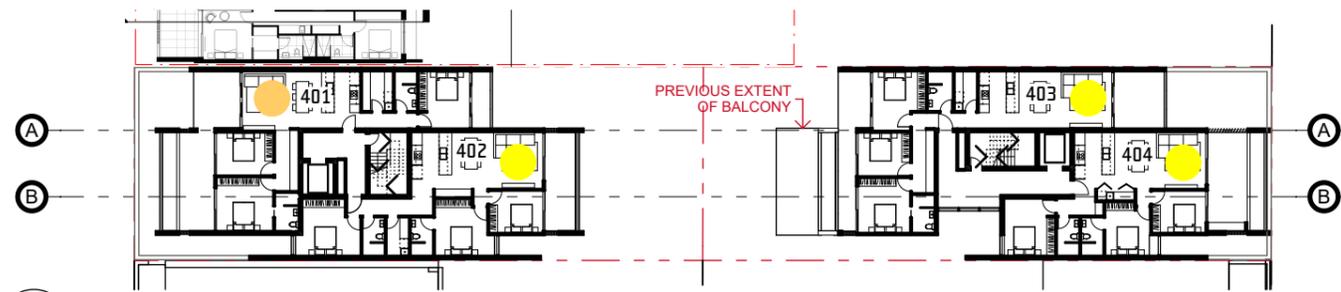
1 Sixth Floor - ADG
SCALE 1:500 @ A3



1 Third Floor - ADG
SCALE 1:500 @ A3



1 Seventh Floor - ADG
SCALE 1:500 @ A3



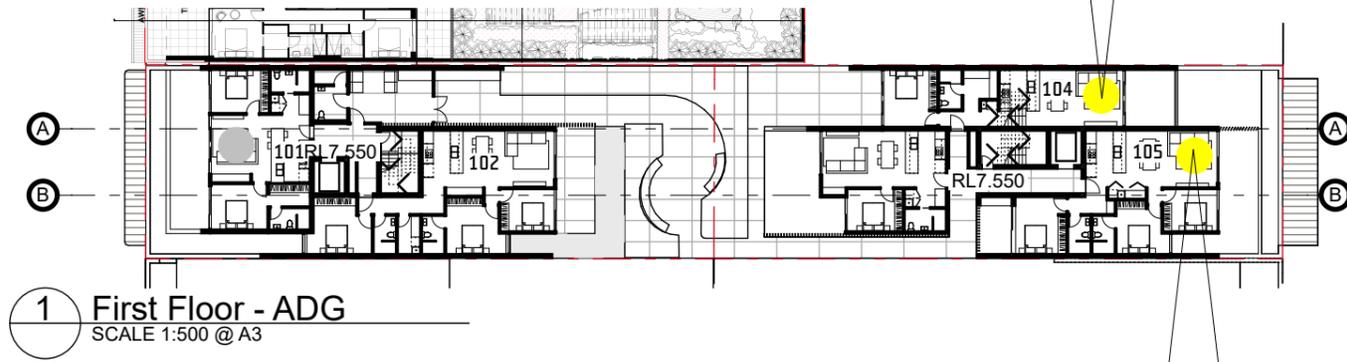
1 Fourth Floor - ADG
SCALE 1:500 @ A3

- ACHIEVES 2 HRS OF SUNLIGHT TO LIVING / P.O.S.
- SIGNIFICANT VIEWS ORIENTED AWAY FROM THE DESIRED ASPECT FOR DIRECT SUNLIGHT - SUNLIGHT TO MAIN BEDROOM
- NO DIRECT SUNLIGHT - SINGLE ASPECT





HALL STREET TOWER - UNIT 104



1 First Floor - ADG
SCALE 1:500 @ A3



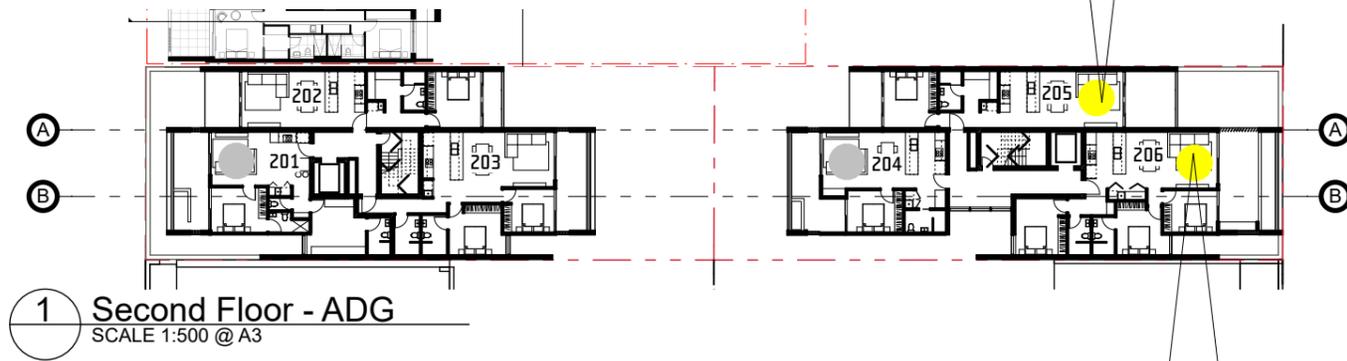
HALL STREET TOWER - UNIT 105

DEVELOPMENT APPLICATION - RFI





HALL STREET TOWER - UNIT 205



1 Second Floor - ADG
SCALE 1:500 @ A3



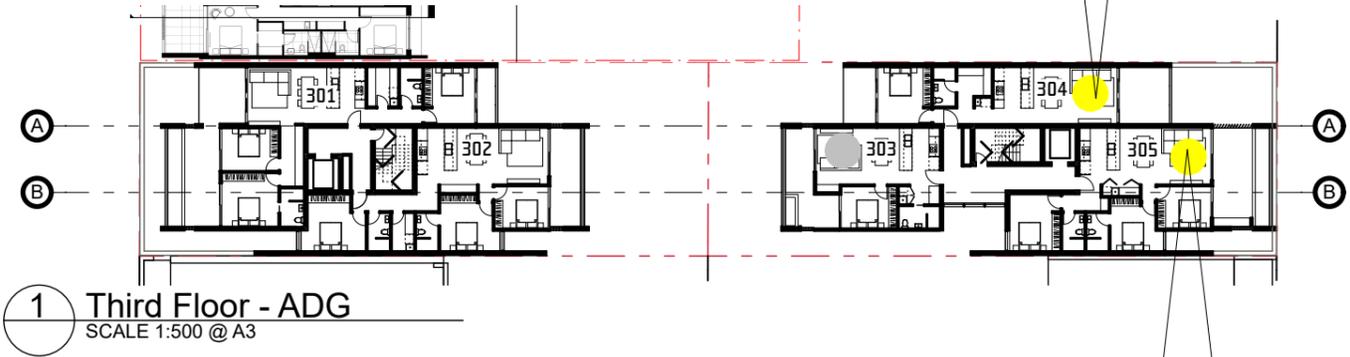
HALL STREET TOWER - UNIT 206

DEVELOPMENT APPLICATION - RFI





HALL STREET TOWER - UNIT 304



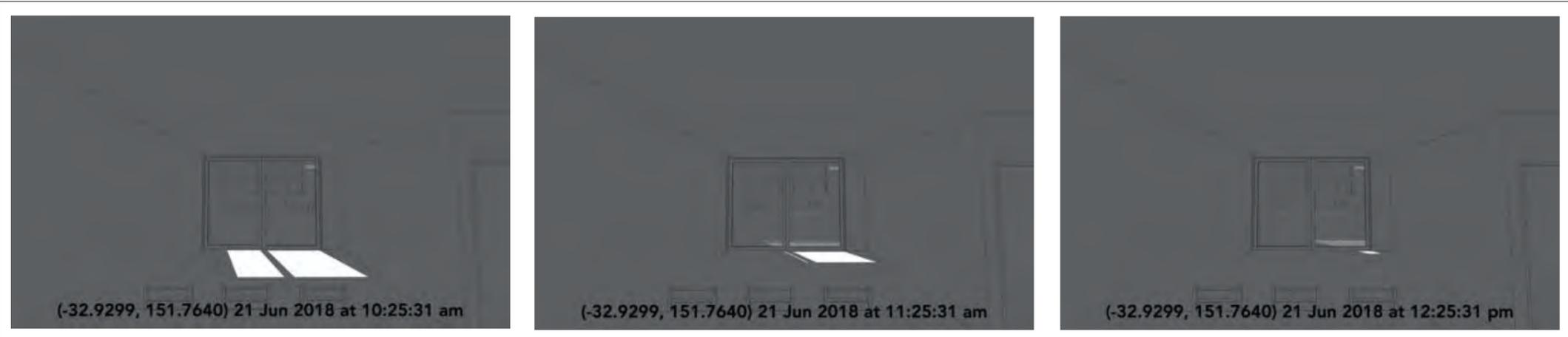
1 Third Floor - ADG
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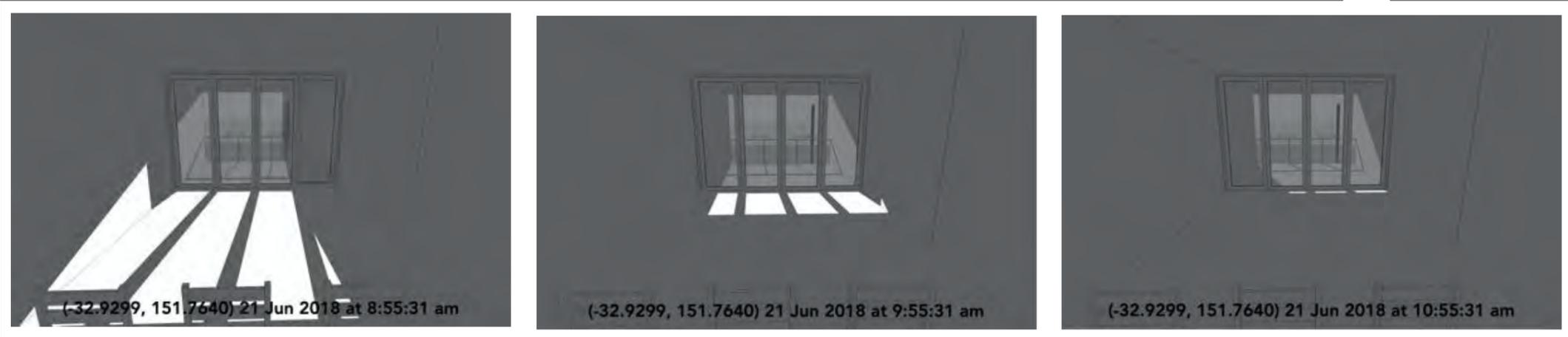
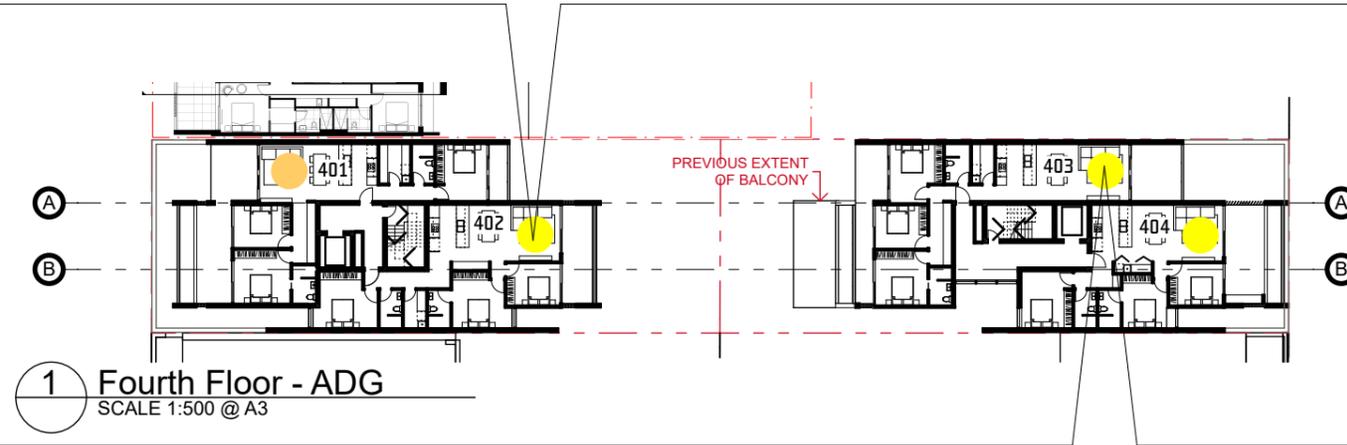
HALL STREET TOWER - UNIT 305

DEVELOPMENT APPLICATION - RFI



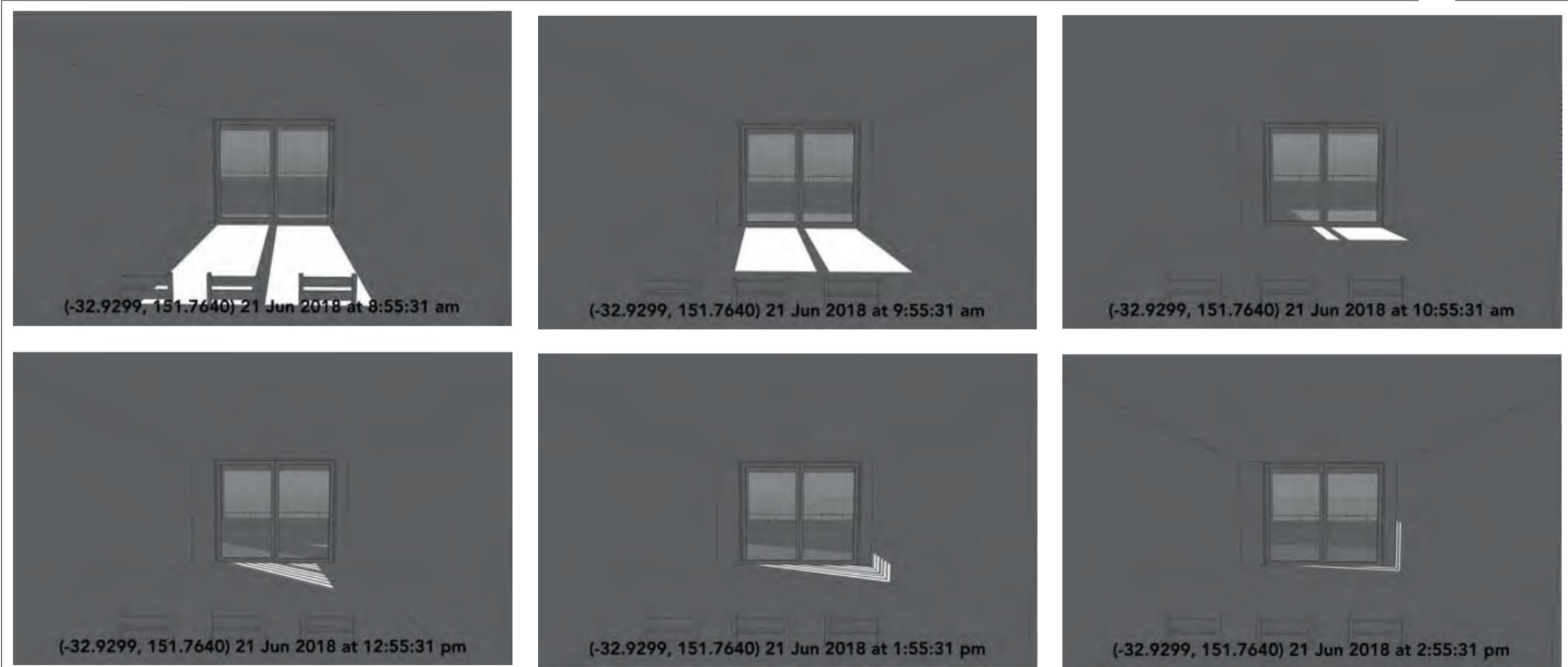
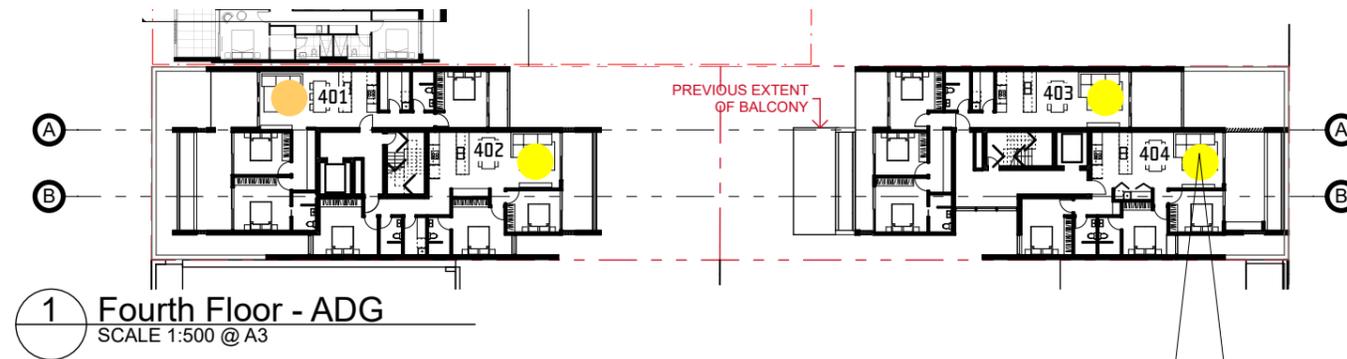


PARRY STREET TOWER - UNIT 402



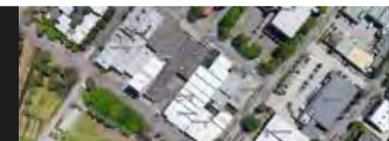
HALL STREET TOWER - UNIT 403

DEVELOPMENT APPLICATION - RFI



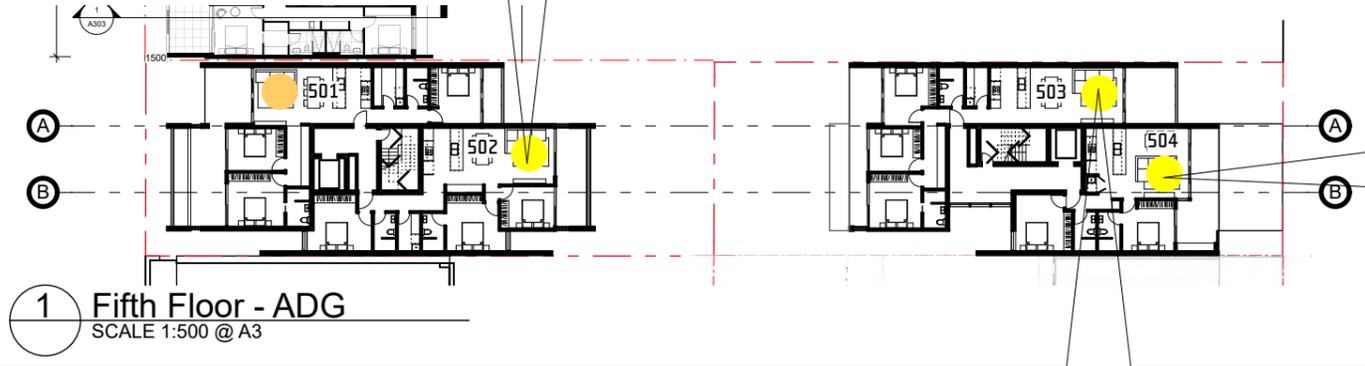
HALL STREET TOWER - UNIT 404

DEVELOPMENT APPLICATION - RFI

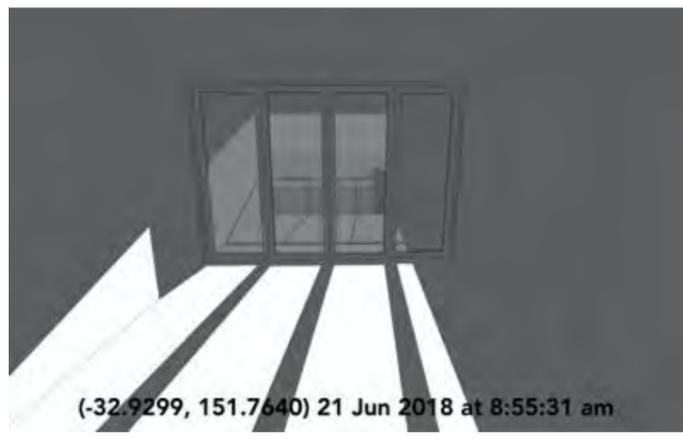
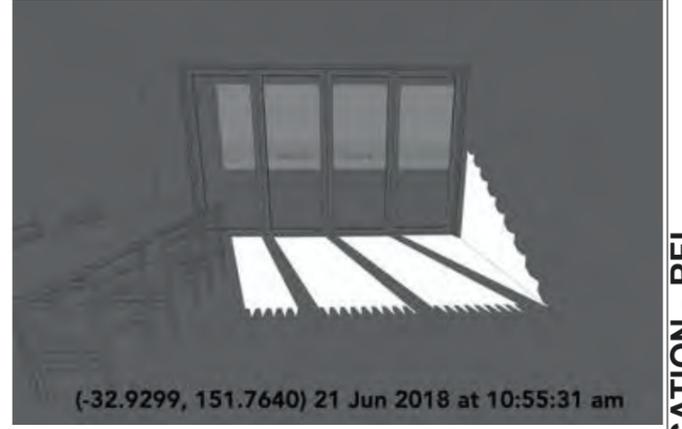




PARRY STREET TOWER - UNIT 502



1 Fifth Floor - ADG
SCALE 1:500 @ A3



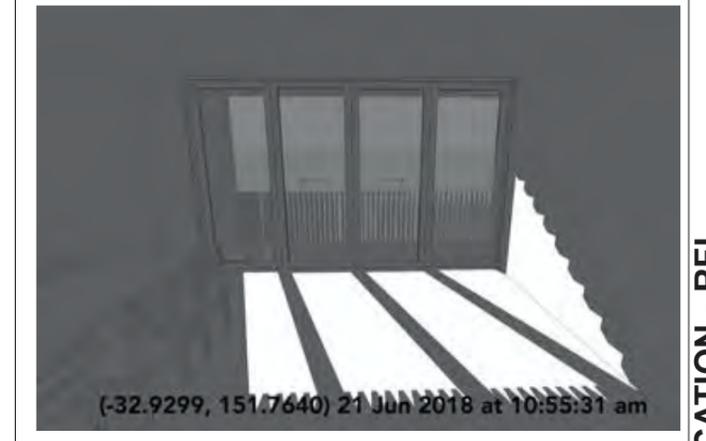
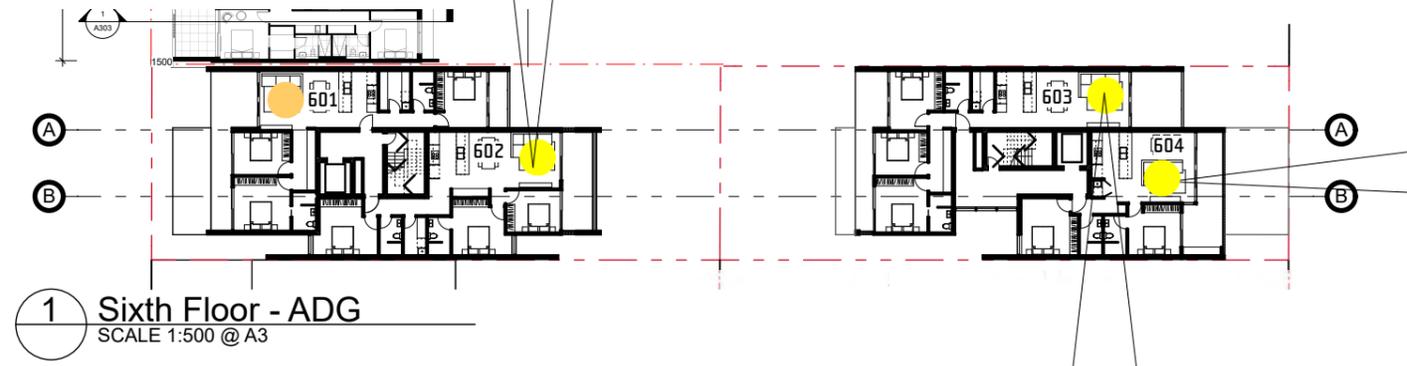
HALL STREET TOWER - UNIT 503

HALL STREET TOWER - UNIT 504

DEVELOPMENT APPLICATION - RFI



PARRY STREET TOWER - UNIT 602

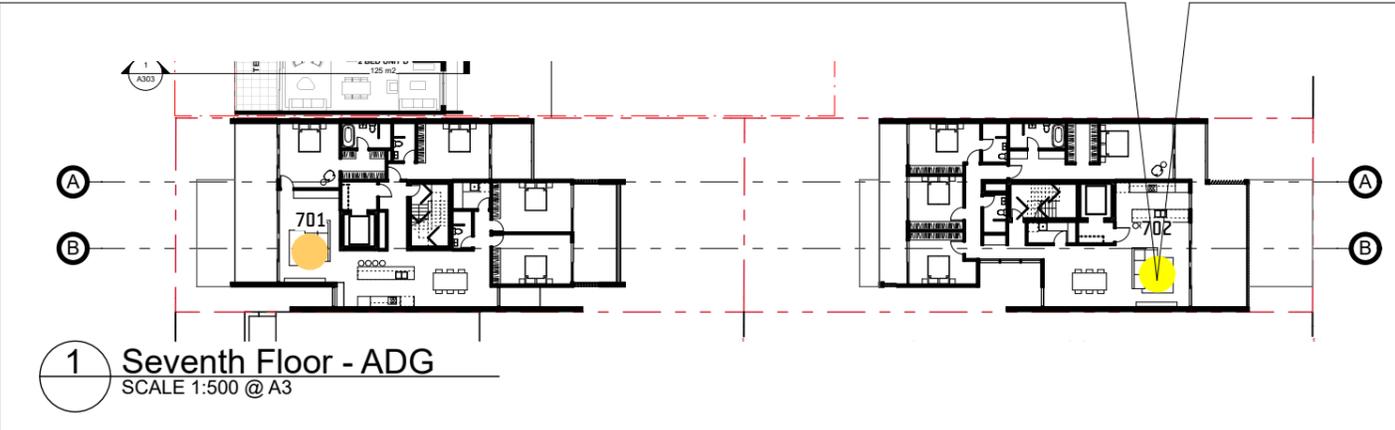


HALL STREET TOWER - UNIT 603



HALL STREET TOWER - UNIT 604

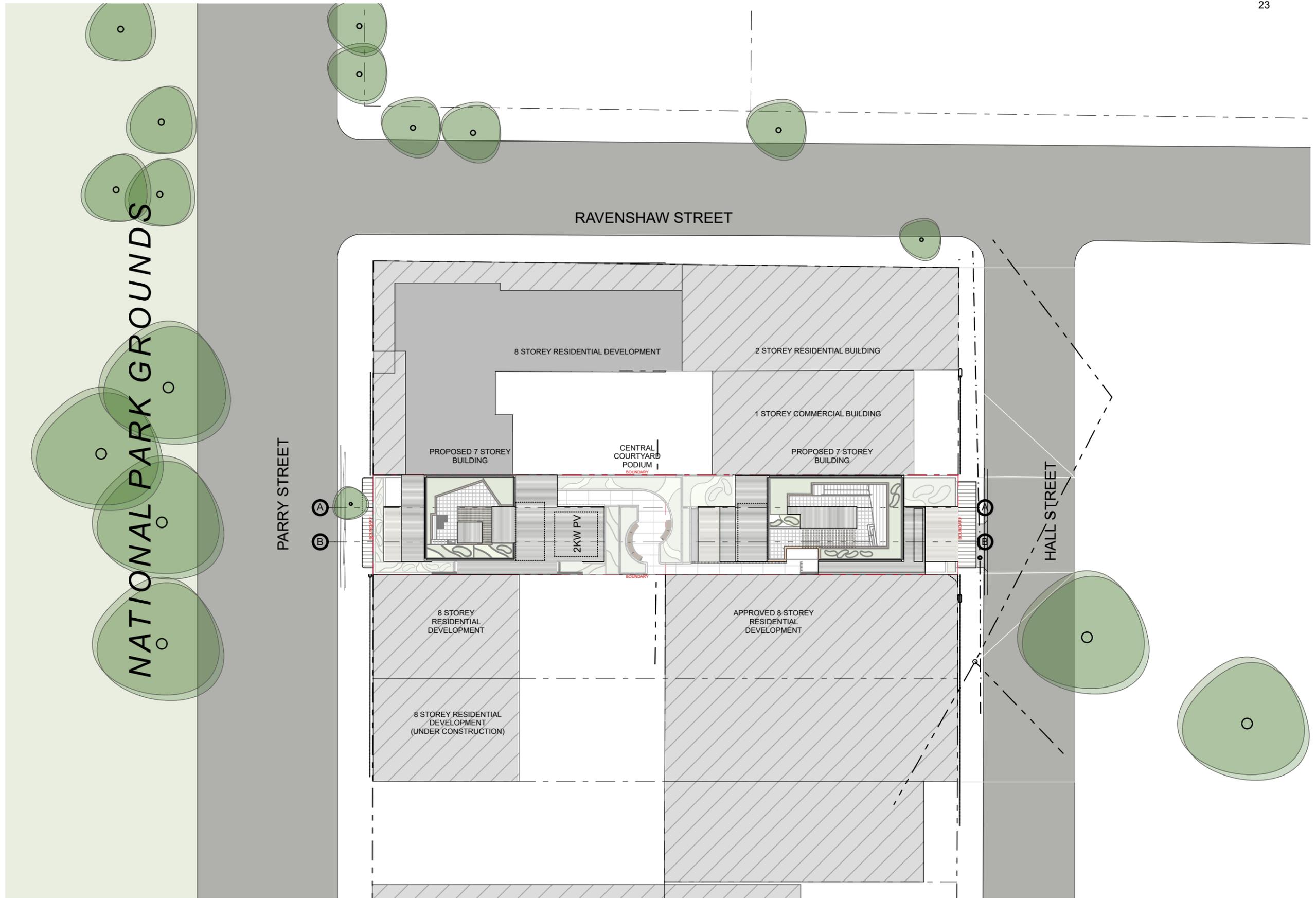
DEVELOPMENT APPLICATION - RFI



HALL STREET TOWER - UNIT 702

DEVELOPMENT APPLICATION - RFI





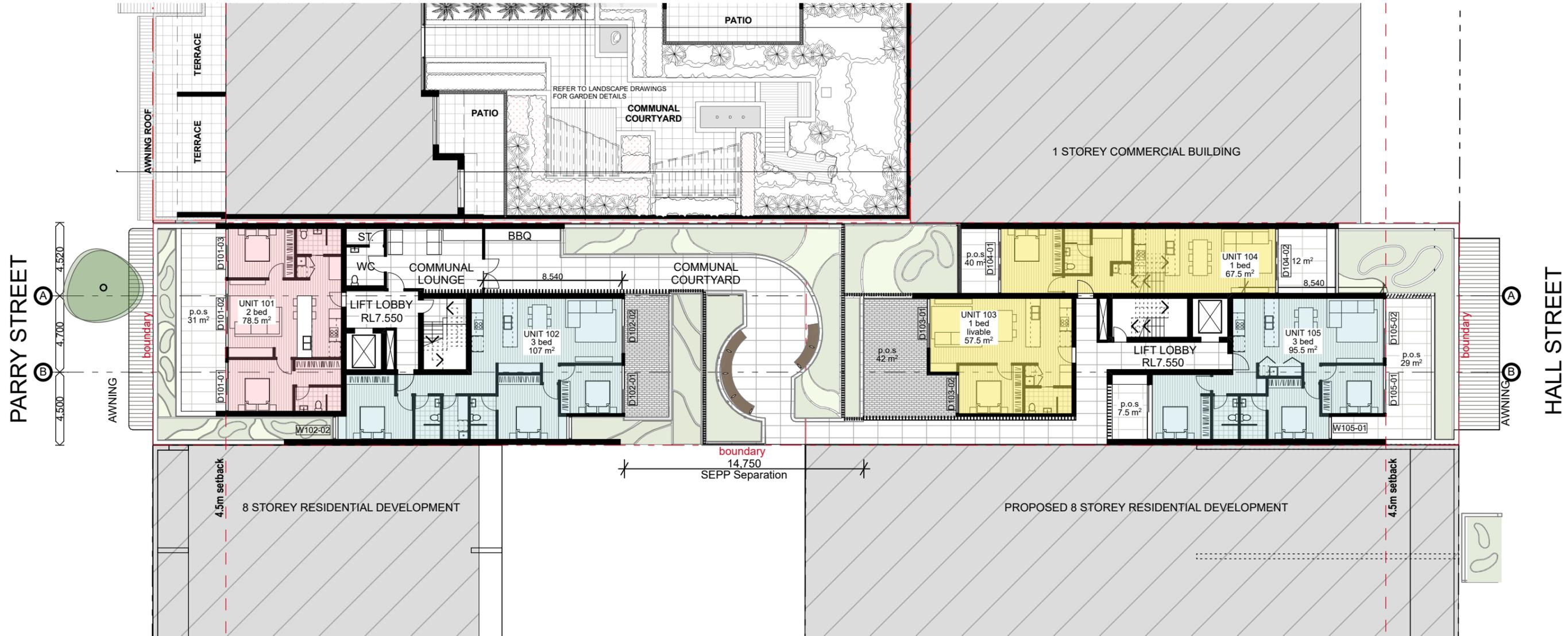
DEVELOPMENT APPLICATION - RFI





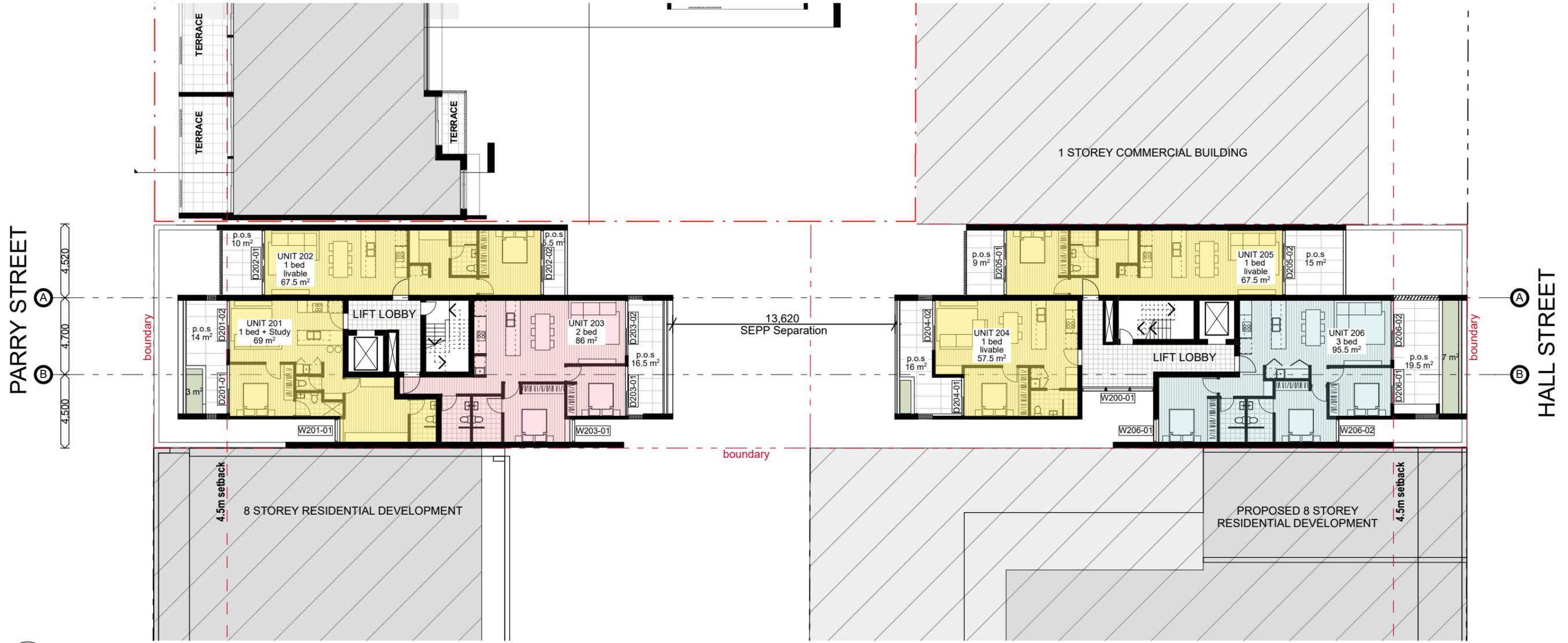
DEVELOPMENT APPLICATION - RFI





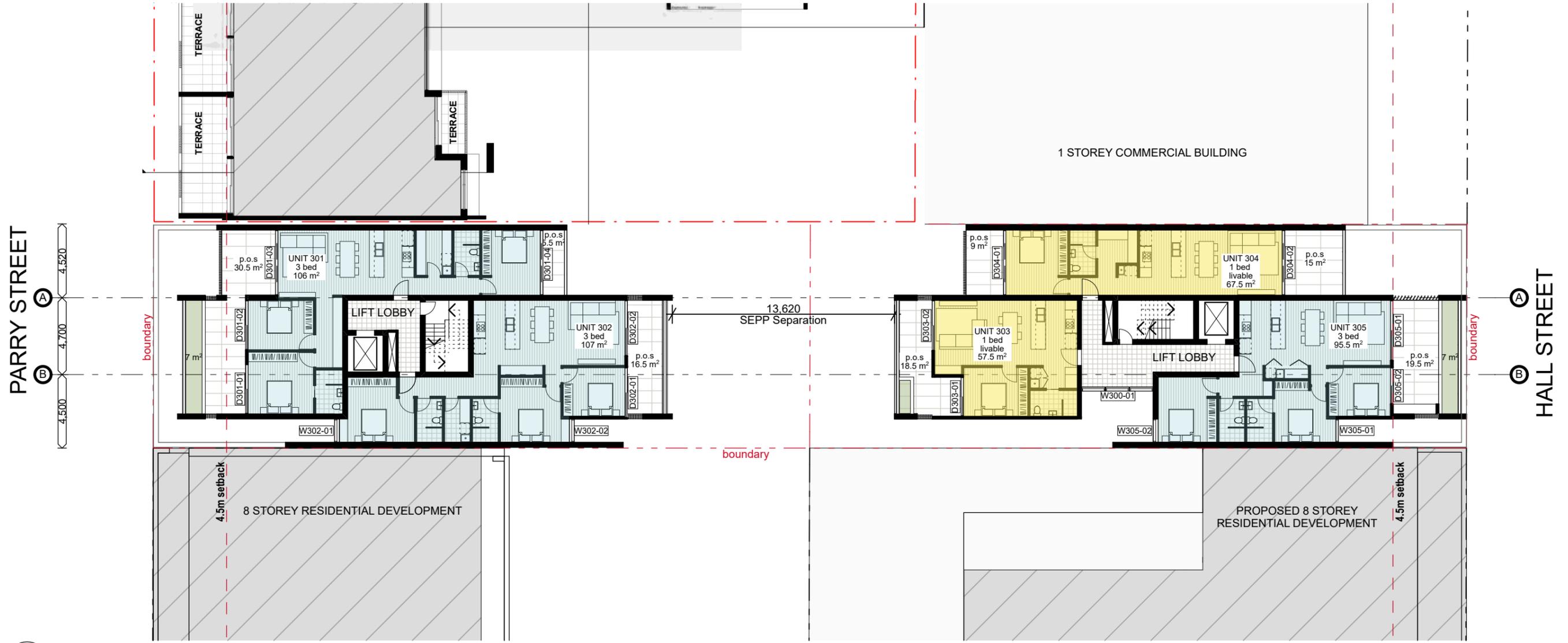
2 Level 1 Floor Plan
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI



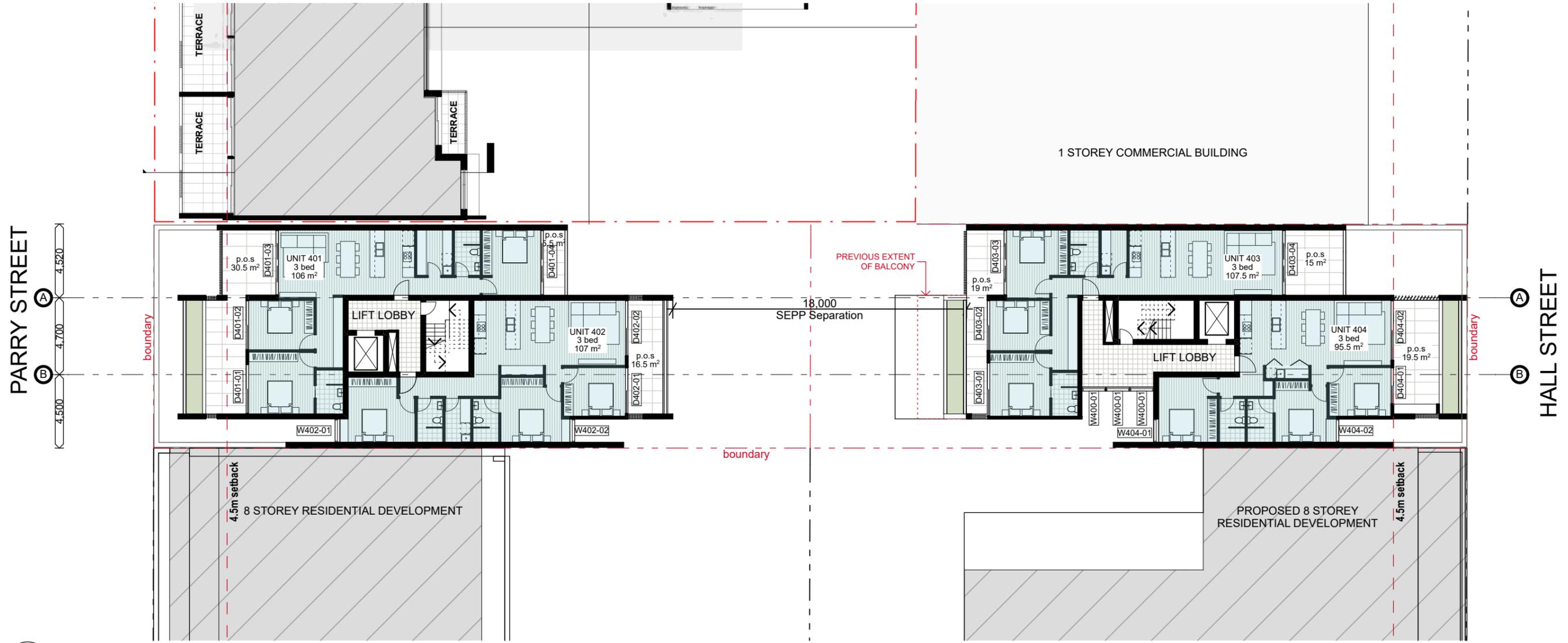
2 Level 2 Floor Plan
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI



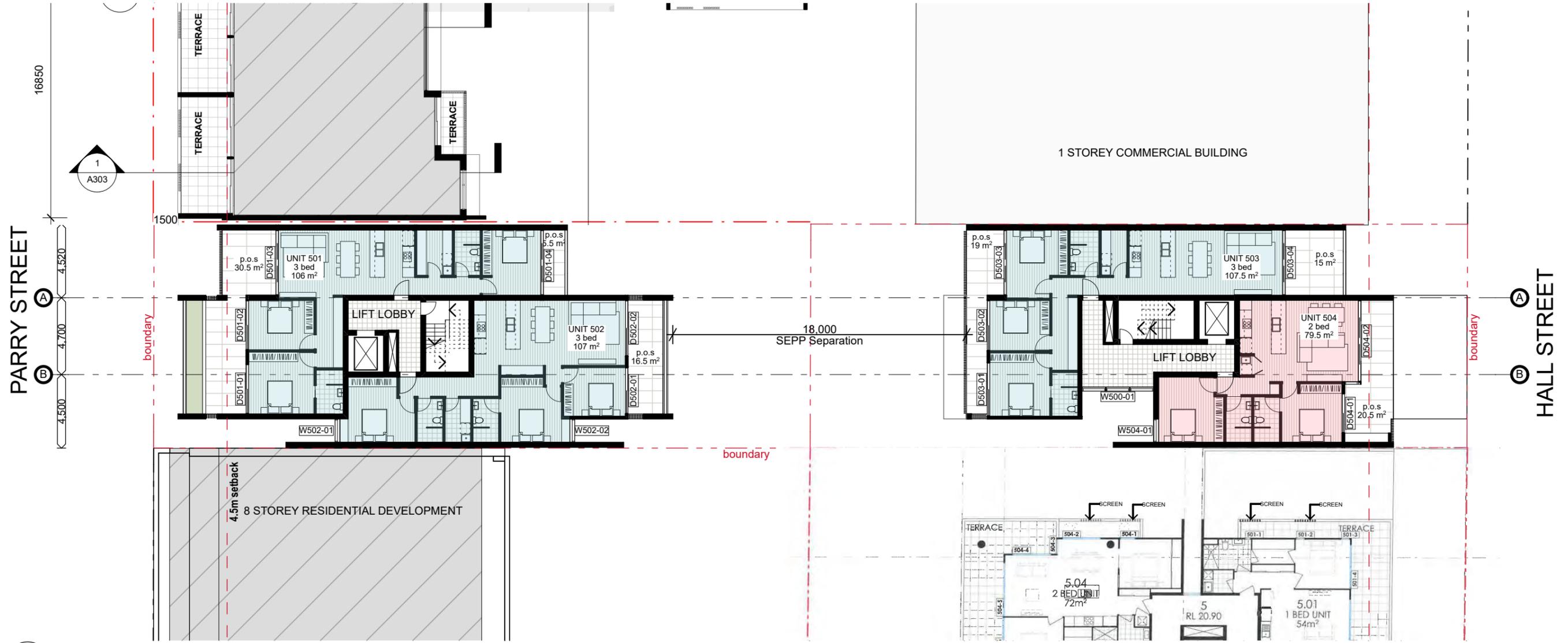
Level 3 Floor Plan
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI



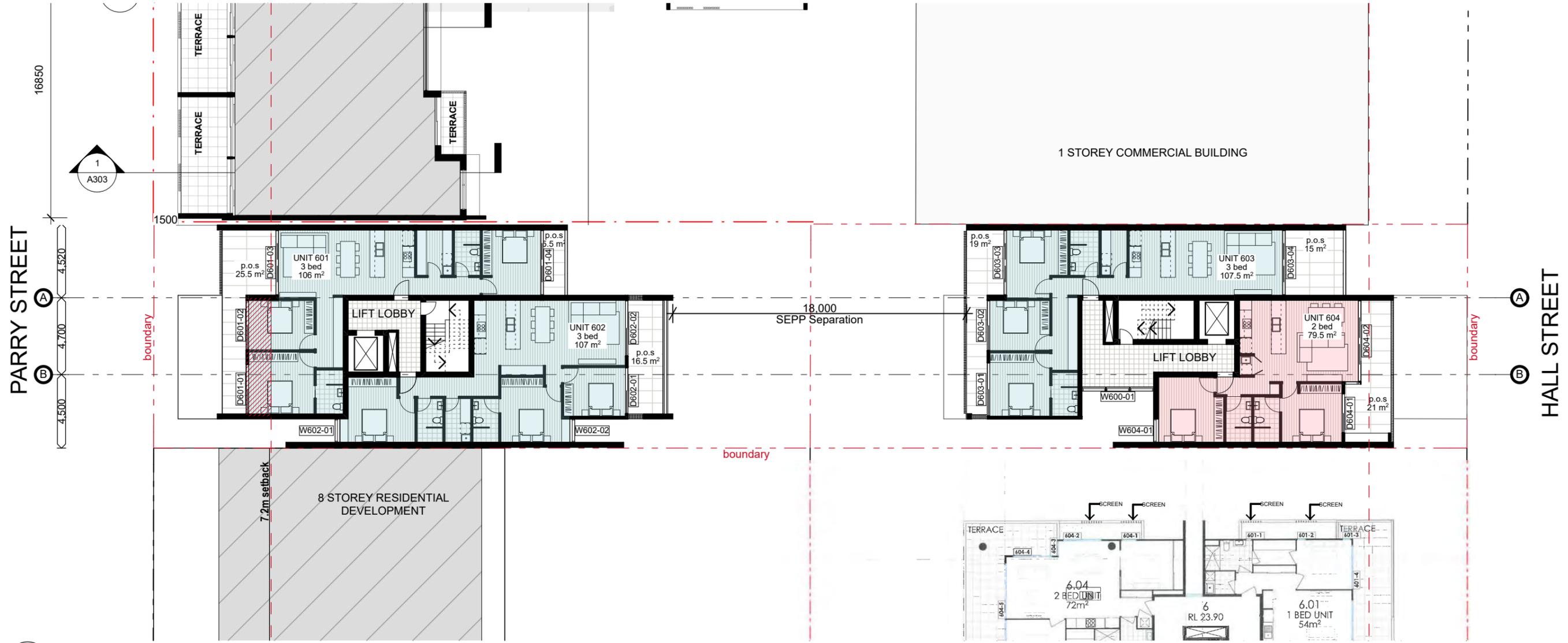
Level 4 Floor Plan
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI



Level 5 Floor Plan
SCALE 1:250 @ A3

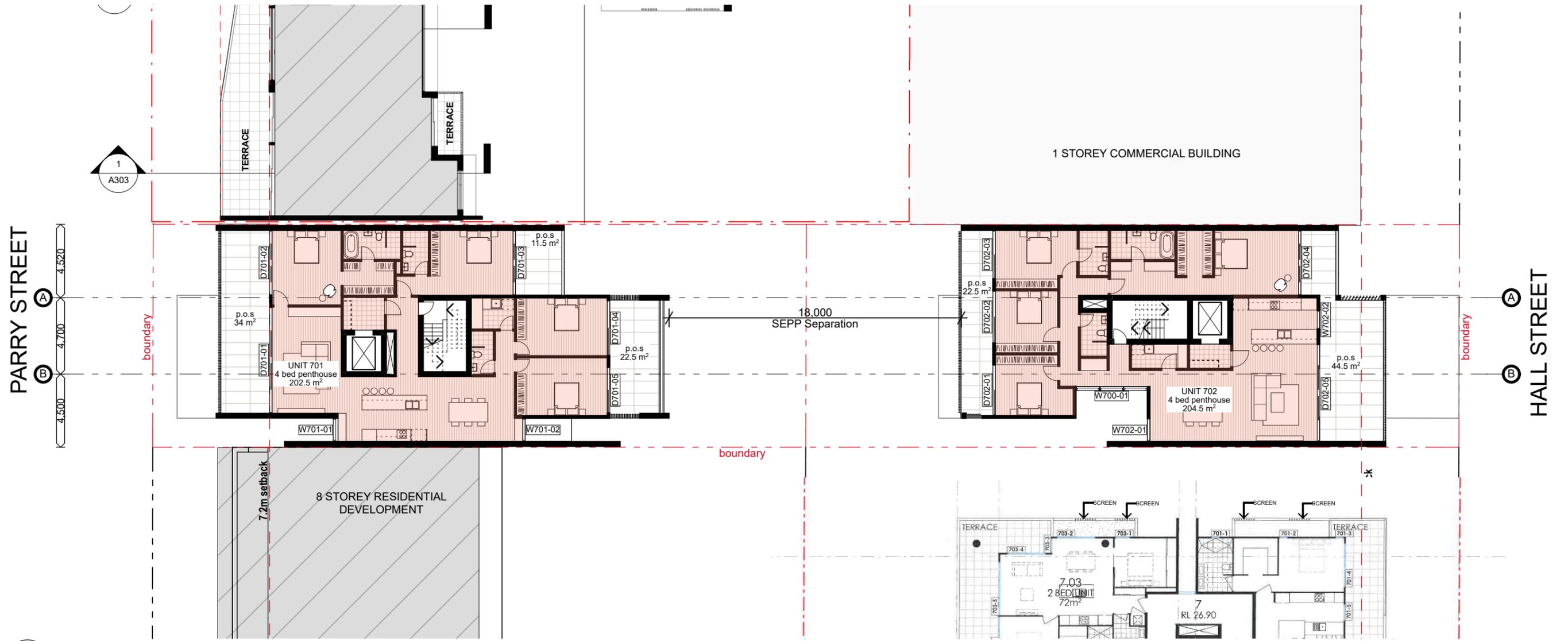
DEVELOPMENT APPLICATION - RFI



Level 6 Floor Plan
SCALE 1:250 @ A3

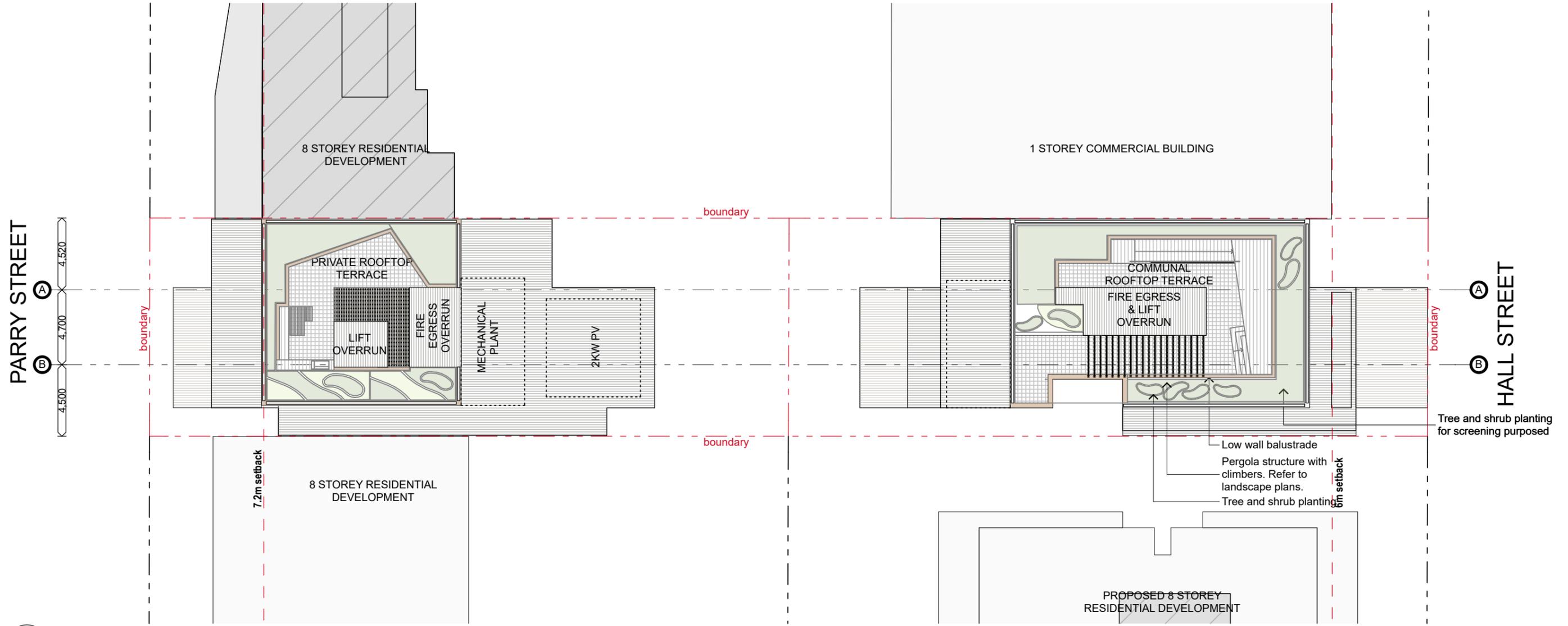
DEVELOPMENT APPLICATION - RFI

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Level 7 Floor Plan
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI



PARRY STREET
 4.500
 4.700
 4.520

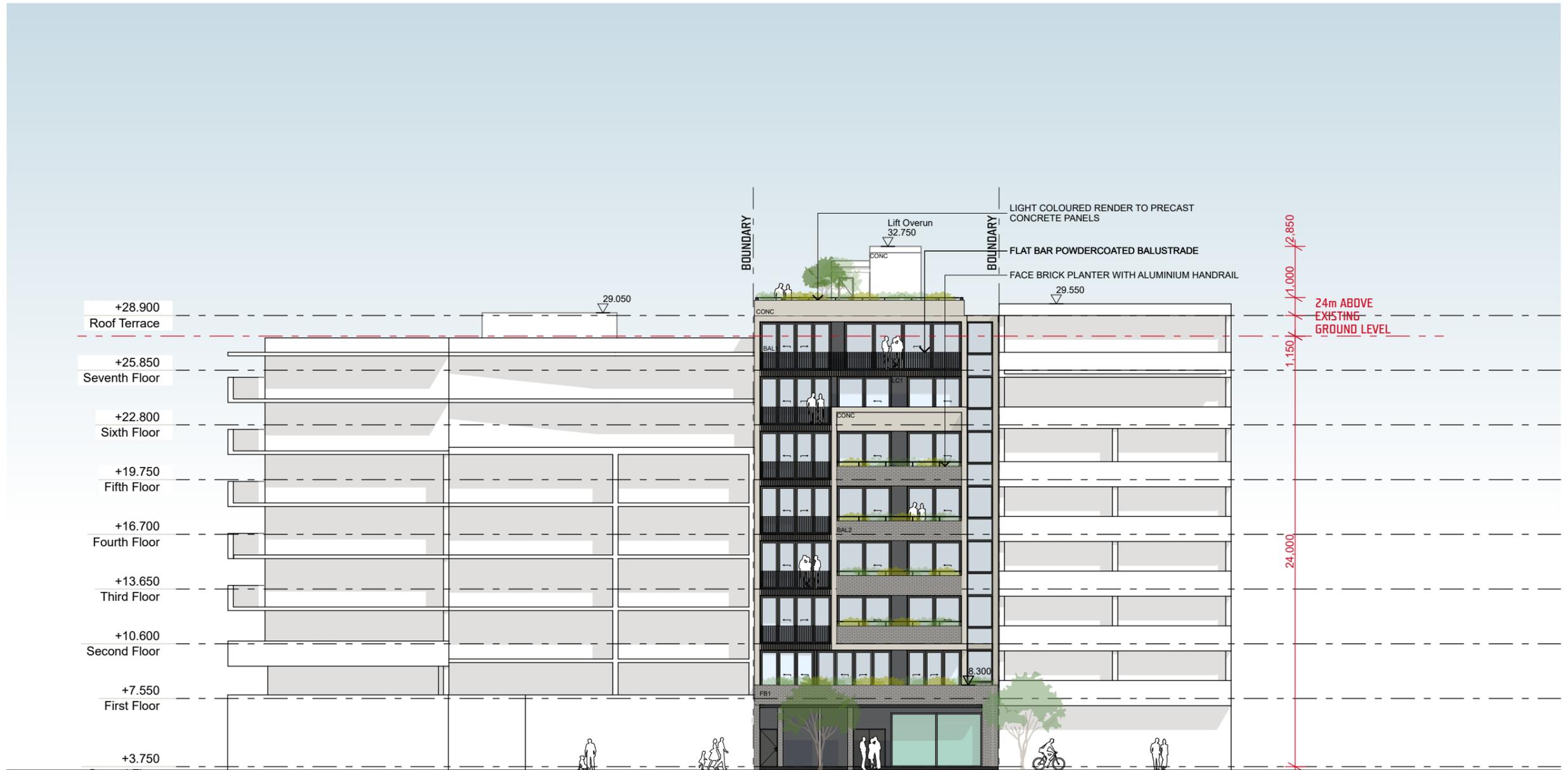
HALL STREET
 A
 B

Rooftop Plan
 SCALE 1:250 @ A3

Tree and shrub planting for screening purposes

Low wall balustrade
 Pergola structure with climbers. Refer to landscape plans.
 Tree and shrub planting

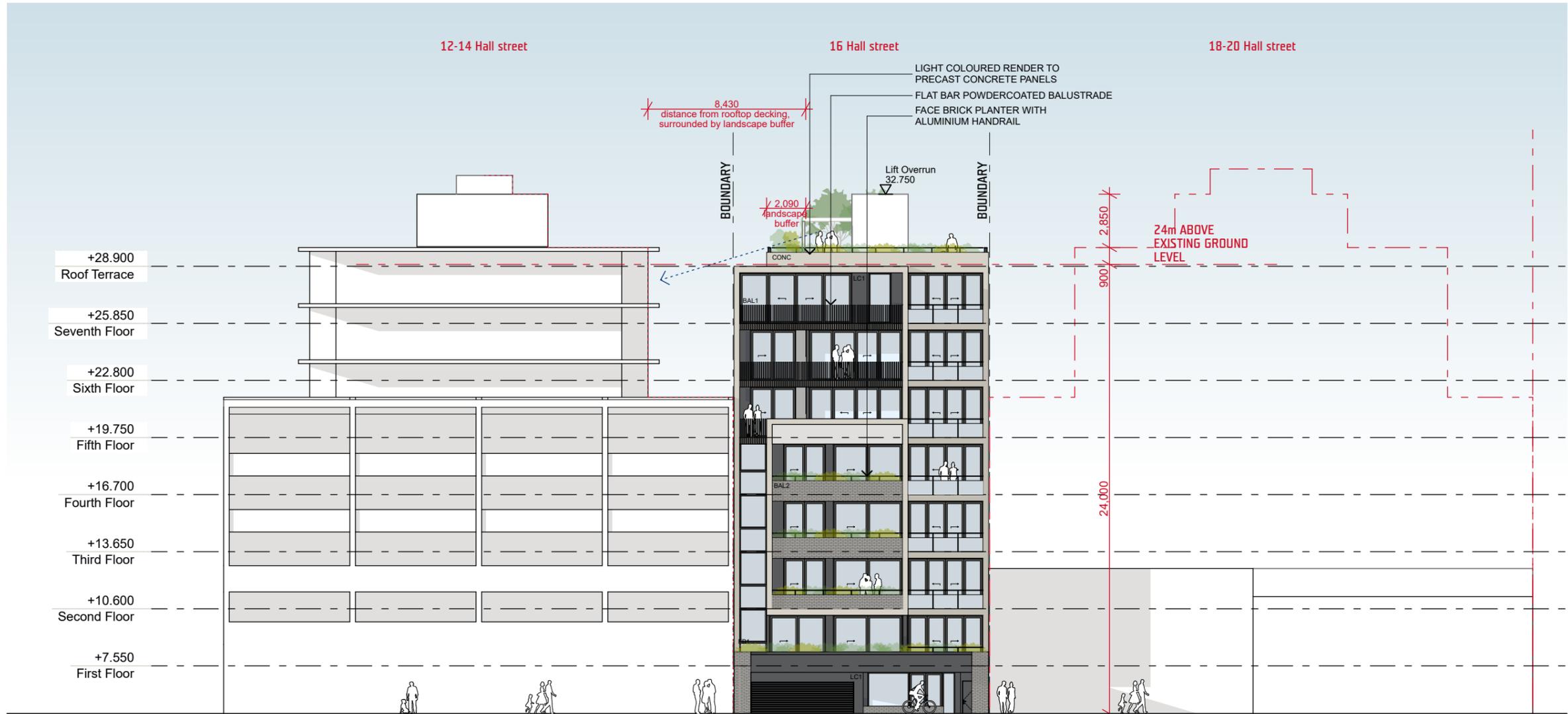
DEVELOPMENT APPLICATION - RFI



South Elevation - Parry Street
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI

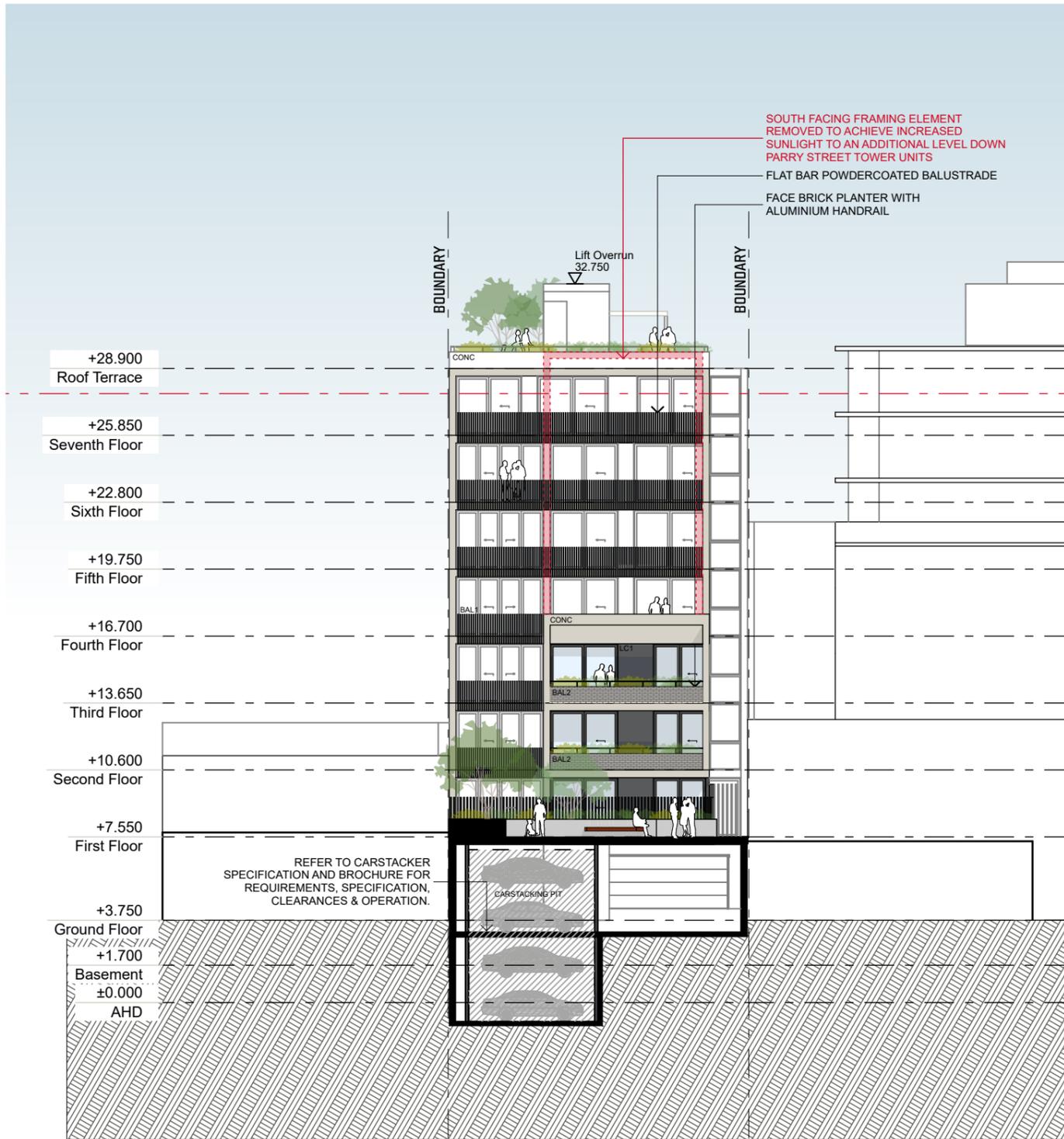




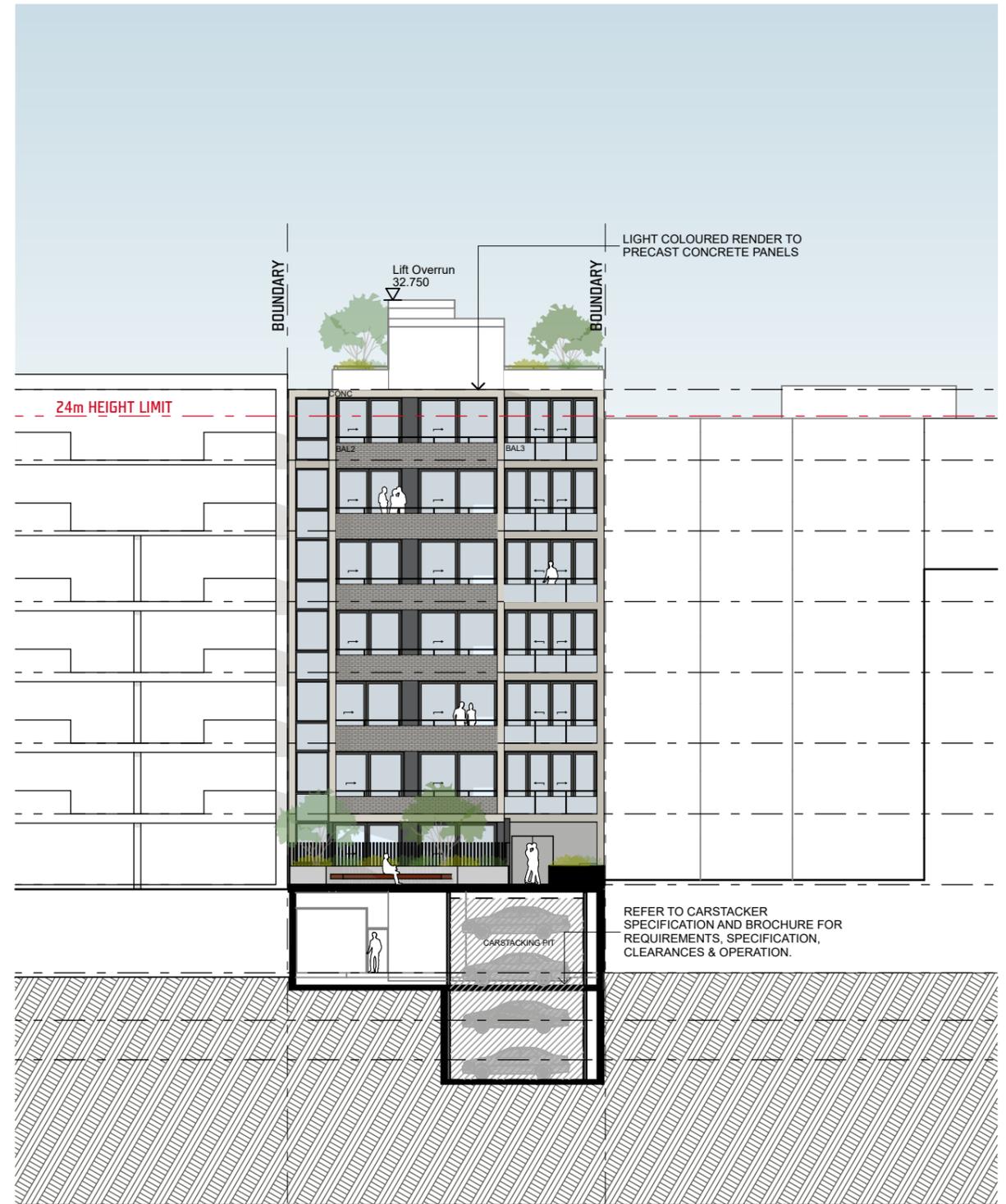
North Elevation - Hall Street
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI



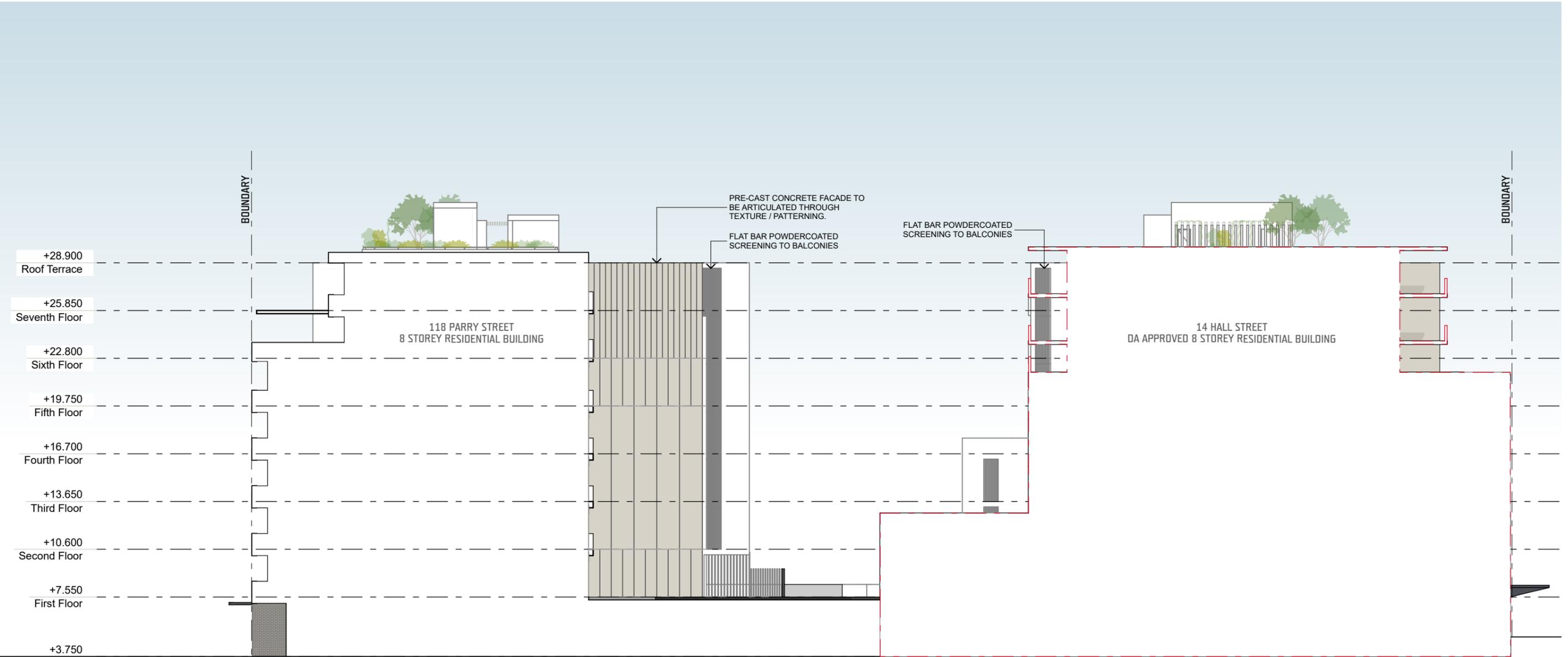


1 South Elevation - Internal
SCALE 1:250 @ A3



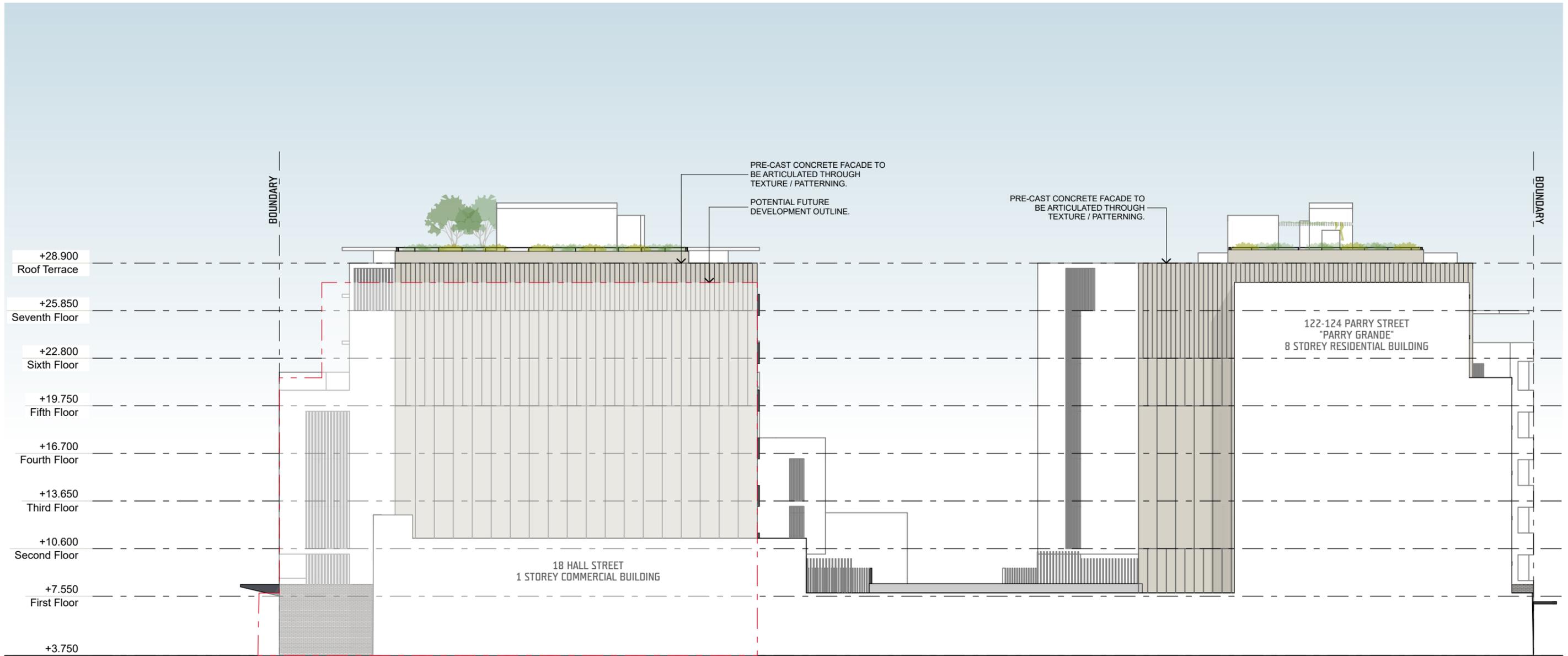
1 North Elevation - Internal
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI



1 EAST ELEVATION
SCALE 1:250 @ A3

DEVELOPMENT APPLICATION - RFI

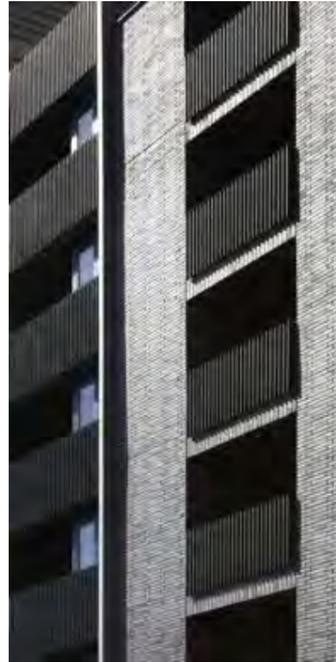


1 WEST ELEVATION
SCALE 1:250 @ A3

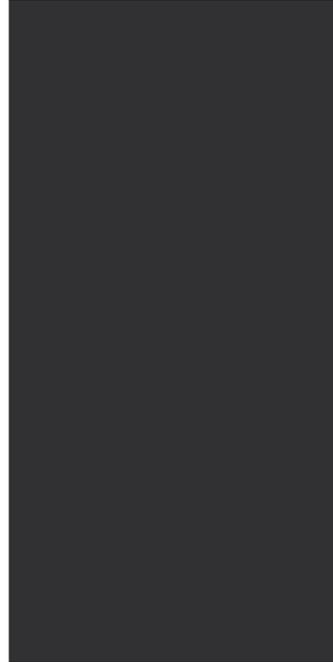
DEVELOPMENT APPLICATION - RFI



BAL1
FLAT BAR POWDERCOATED ALUMINIUM
BALUSTRADE
COLOUR - MONUMENT (OR SIMILAR)



LC1
LIGHTWEIGHT CLADDING
COMPRESSED FIBER CEMENT SHEETING.
COLOUR - MONUMENT (OR SIMILAR)



LANDSCAPED PODIUM AND ROOF TERRACE



BAL2
LGHT BRICK EXPOSURE GRADE TO
SELECTED BALUSTRADE



CONC
LGHT RENDER APPLIED TO PRE-CAST
CONCRETE PANEL



FB1
LGHT BRICK EXPOSURE GRADE TO
EXTERIOR WALLS & LOBBY

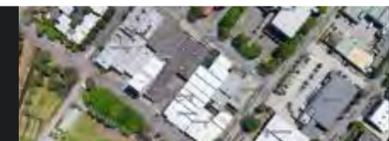


LANDSCAPED MASONRY PLANTERS



**EXPRESSED CONCRETE SLAB & WALL
EDGE**

RFI



Parry Street Perspective



DEVELOPMENT APPLICATION - RFI

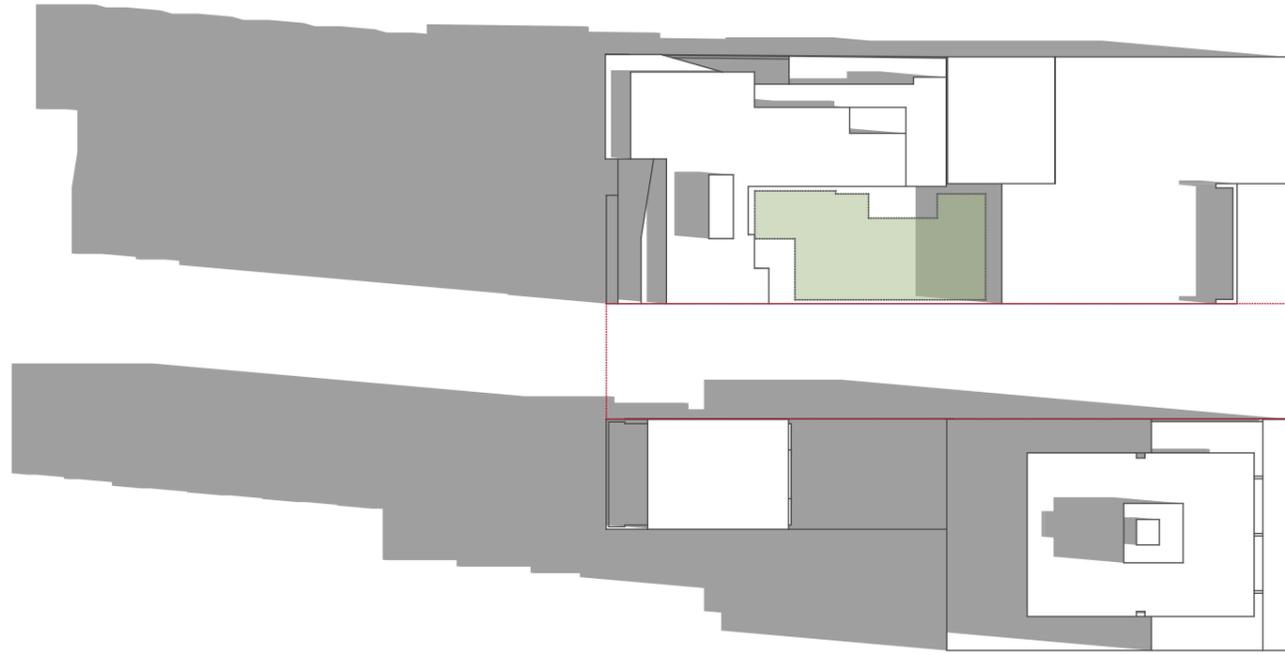


Hall Street Perspective



DEVELOPMENT APPLICATION - RFI





21 JUN 09AM - EXTG
SCALE 1:833.33 @ A3

21 JUN 09AM - PROP
SCALE 1:833.33 @ A3

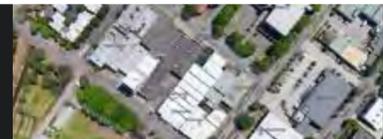


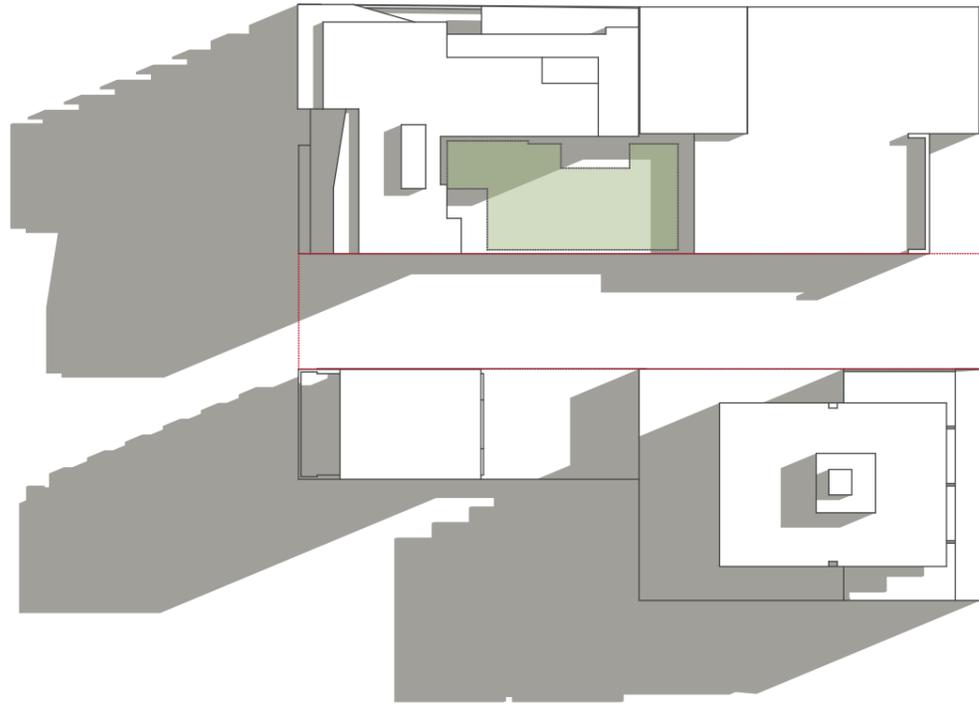
21 JUN 10AM - EXTG
SCALE 1:833.33 @ A3

21 JUN 10AM - PROP
SCALE 1:833.33 @ A3

- GROUND FLOOR COMMUNAL LANDSCAPING
- EXISTING SHADOWS
- ADDITIONAL SHADOW FROM PROPOSED DEVELOPMENT

DEVELOPMENT APPLICATION - RFI

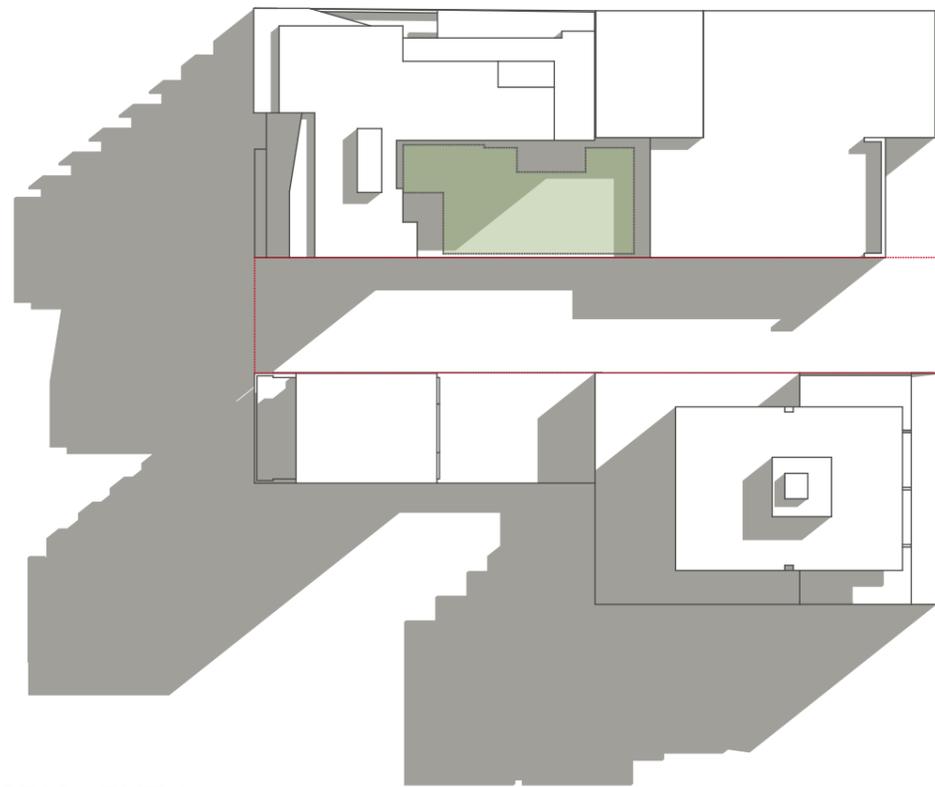




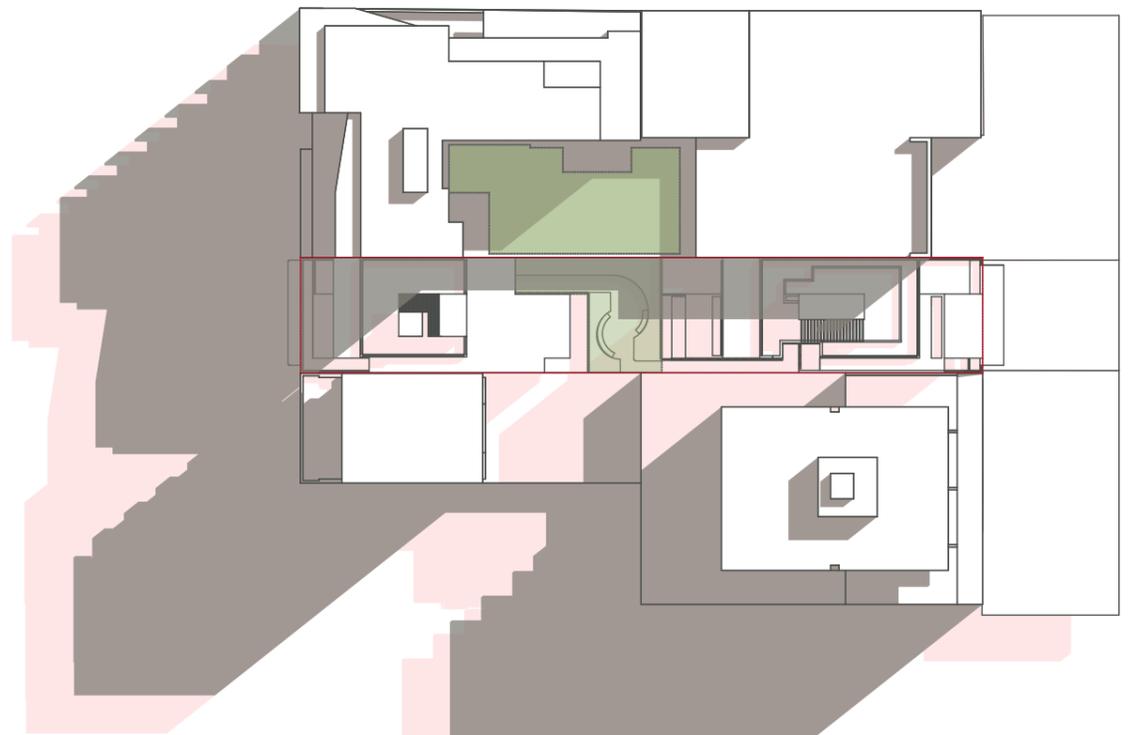
21 JUN 11AM - EXTG
SCALE 1:833.33 @ A3



21 JUN 11AM - PROP
SCALE 1:833.33 @ A3



21 JUN 12PM - EXTG
SCALE 1:833.33 @ A3



21 JUN 12PM - PROP
SCALE 1:833.33 @ A3

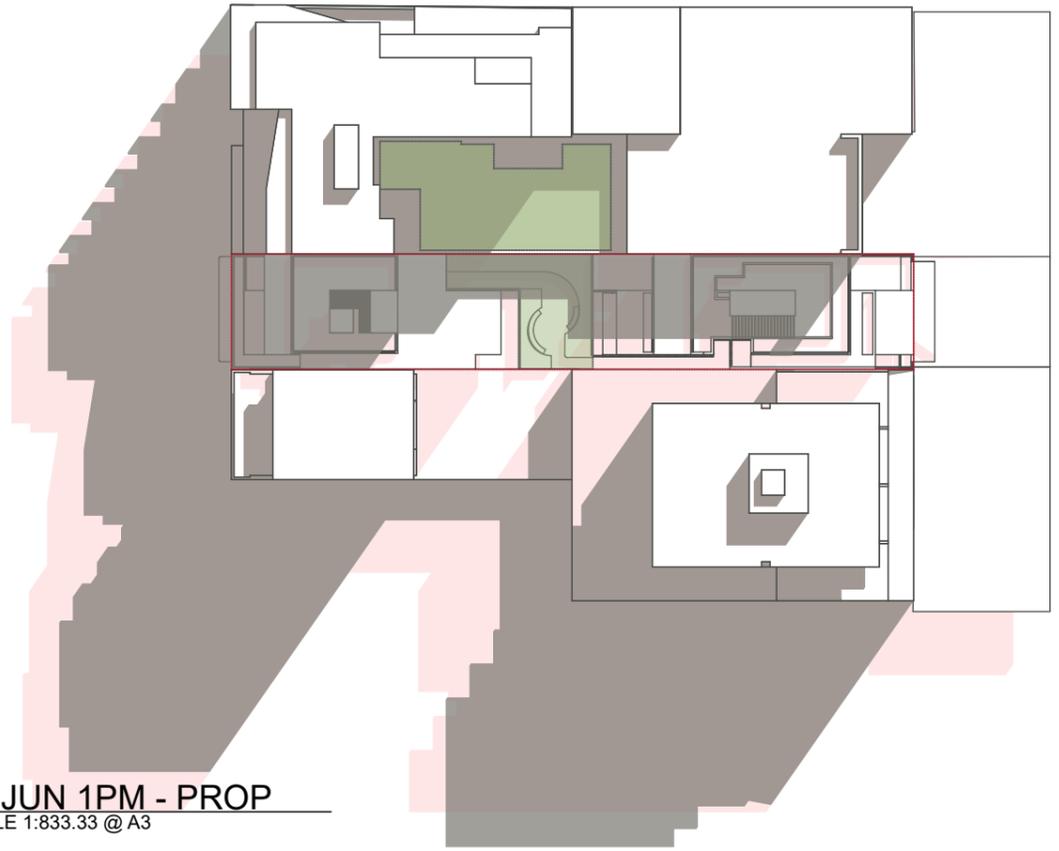
- GROUND FLOOR COMMUNAL LANDSCAPING
- EXISTING SHADOWS
- ADDITIONAL SHADOW FROM PROPOSED DEVELOPMENT

DEVELOPMENT APPLICATION - RFI

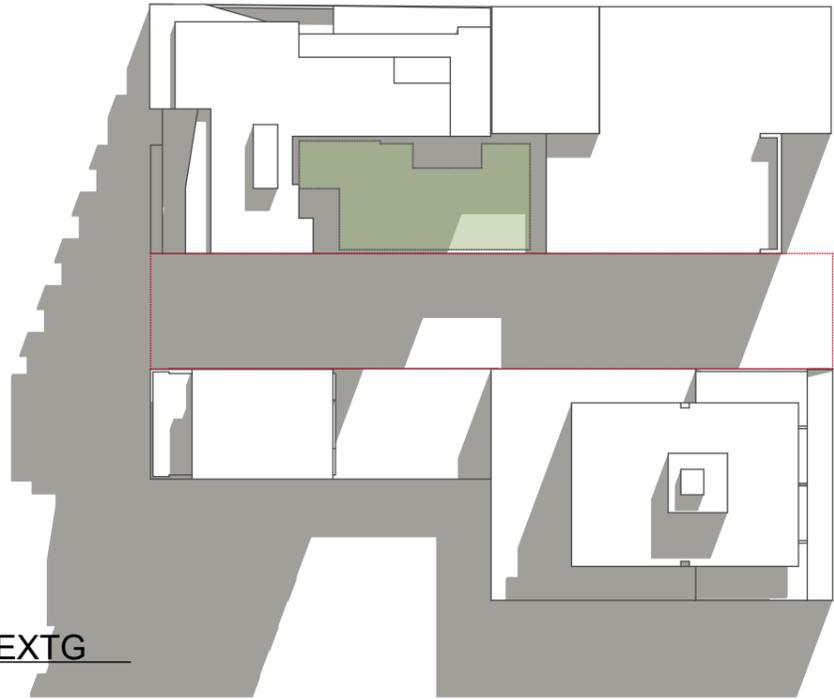




21 JUN 01PM - EXTG
SCALE 1:833.33 @ A3



21 JUN 1PM - PROP
SCALE 1:833.33 @ A3



21 JUN 02PM - EXTG
SCALE 1:833.33 @ A3



21 JUN 02PM - PROP
SCALE 1:833.33 @ A3

-  GROUND FLOOR COMMUNAL LANDSCAPING
-  EXISTING SHADOWS
-  ADDITIONAL SHADOW FROM PROPOSED DEVELOPMENT

DEVELOPMENT APPLICATION - RFI





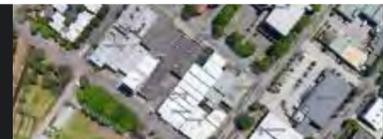
21 JUN 03PM- EXISTING
SCALE 1:833.33 @ A3

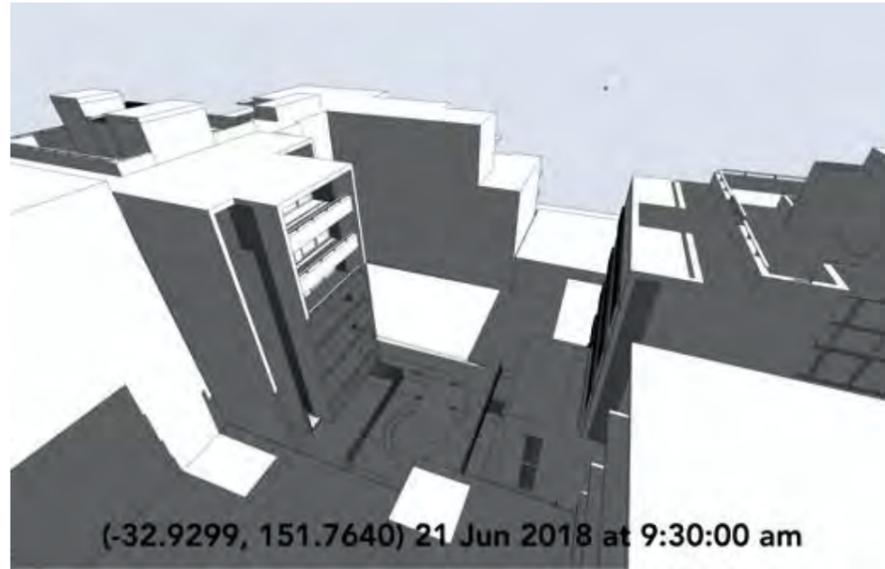


21 JUN 3PM - PROPOSED
SCALE 1:833.33 @ A3

- GROUND FLOOR COMMUNAL LANDSCAPING
- EXISTING SHADOWS
- ADDITIONAL SHADOW FROM PROPOSED DEVELOPMENT

DEVELOPMENT APPLICATION - RFI

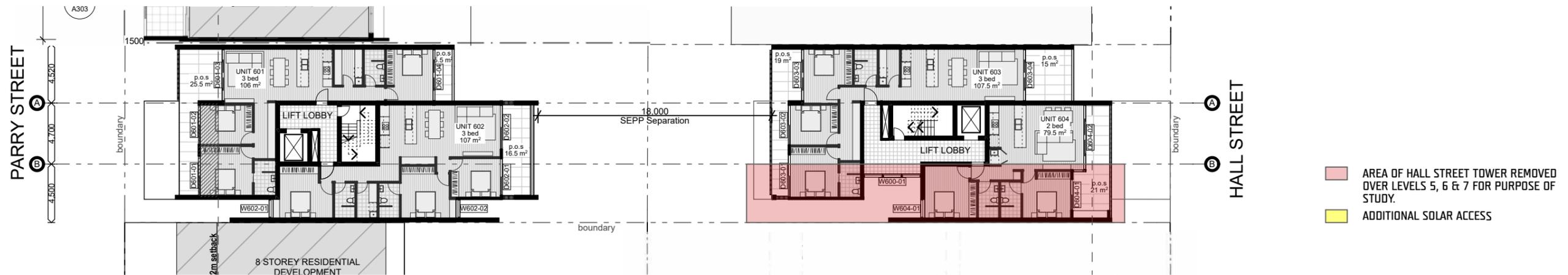




CURRENT PROPOSED ENVELOPE



REVISED ENVELOPE - ADDITION SETBACK TO EASTERN SIDE OF HALL STREET TOWER

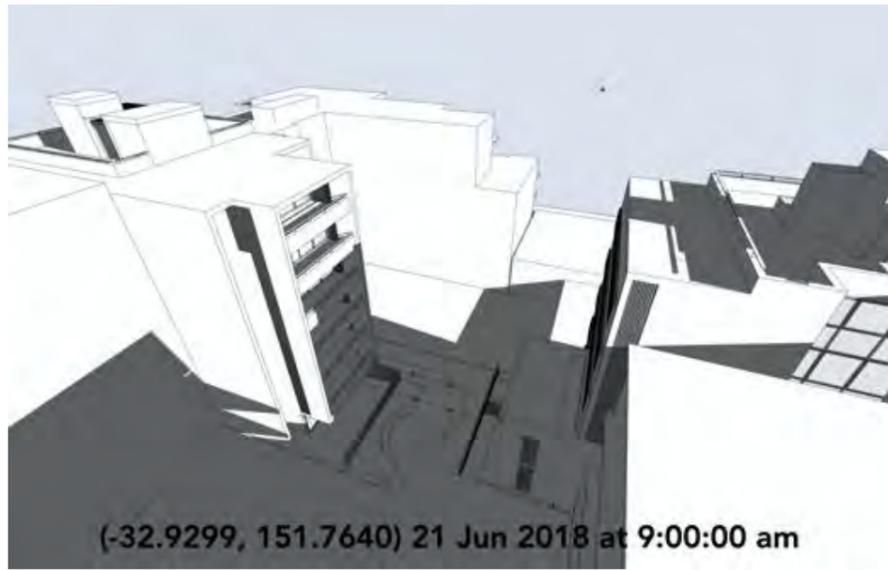


AREA OF HALL STREET TOWER REMOVED OVER LEVELS 5, 6 & 7 FOR PURPOSE OF STUDY.

ADDITIONAL SOLAR ACCESS

DEVELOPMENT APPLICATION - RFI





CURRENT PROPOSED ENVELOPE



REVISED ENVELOPE - REDUCED DEPTH TO HALL STREET TOWER



DEVELOPMENT APPLICATION - RFI



(-32.9299, 151.7640) 21 Jun 2018 at 10:30:00 am



(-32.9299, 151.7640) 21 Jun 2018 at 11:00:00 am



(-32.9299, 151.7640) 21 Jun 2018 at 11:30:00 am

CURRENT PROPOSED ENVELOPE



(-32.9299, 151.7640) 21 Jun 2018 at 10:30:00 am



(-32.9299, 151.7640) 21 Jun 2018 at 11:00:00 am



(-32.9299, 151.7640) 21 Jun 2018 at 11:30:00 am

REVISED ENVELOPE - REDUCED DEPTH TO HALL STREET TOWER



DEVELOPMENT APPLICATION - RFI

EXISTING OVERSHADOWING - VACANT SITE

CURRENT PROPOSED ENVELOPE

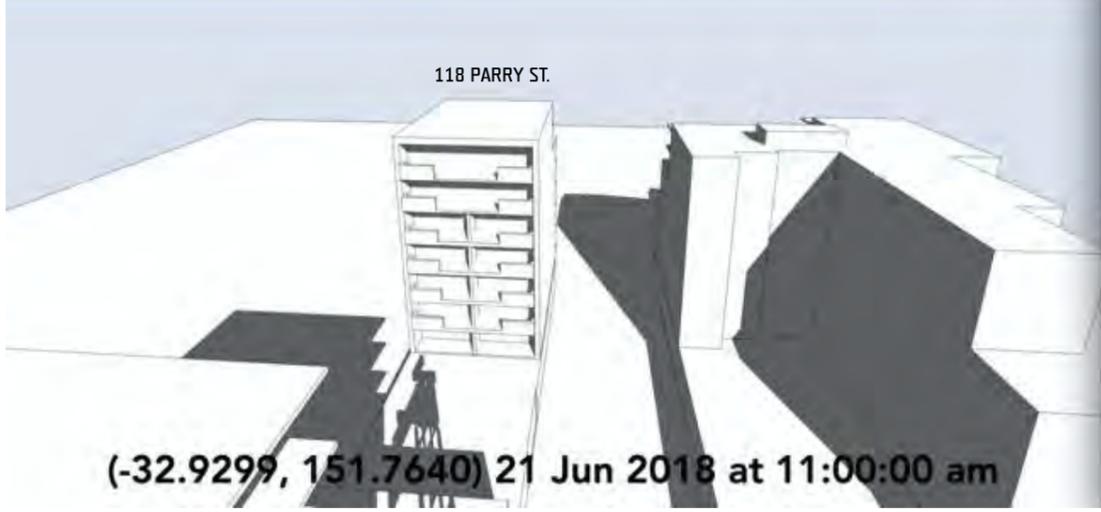
ADDITIONAL OVERSHADOWING IMPACT FROM PROPOSED DEVELOPMENT TO NORTHERN FACADE OF 118 PARRY STREET.



9 AM: NO ADDITIONAL OVERSHADOWING IMPACT



10 AM: NO ADDITIONAL OVERSHADOWING IMPACT



■ ADDITIONAL OVERSHADOWING
 11 AM: ADDITIONAL SHADOWING IMPACT SHOWN WITH FILL.

DEVELOPMENT APPLICATION - RFI

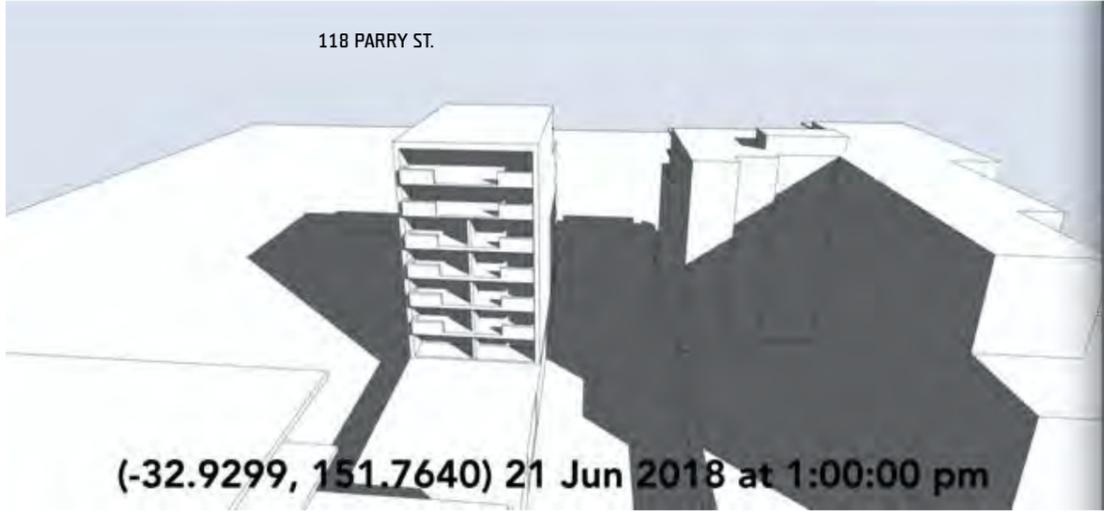
EXISTING OVERSHADOWING - VACANT SITE

CURRENT PROPOSED ENVELOPE

ADDITIONAL OVERSHADOWING IMPACT FROM PROPOSED DEVELOPMENT TO NORTHERN FACADE OF 118 PARRY STREET.



ADDITIONAL OVERSHADOWING
12 PM: ADDITIONAL SHADOWING IMPACT SHOWN WITH FILL.



ADDITIONAL OVERSHADOWING
01 PM: ADDITIONAL SHADOWING IMPACT SHOWN WITH FILL.



ADDITIONAL OVERSHADOWING
02 PM: ADDITIONAL SHADOWING IMPACT SHOWN WITH FILL.

DEVELOPMENT APPLICATION - RFI

EXISTING OVERSHADOWING - VACANT SITE

CURRENT PROPOSED ENVELOPE

ADDITIONAL OVERSHADOWING IMPACT FROM PROPOSED DEVELOPMENT TO NORTHERN FACADE OF 118 PARRY STREET.



ADDITIONAL OVERSHADOWING

03 PM: ADDITIONAL SHADOWING IMPACT SHOWN WITH FILL.

DEVELOPMENT APPLICATION - RFI



GLAZING SCHEDULE																					
ID Number	D101-01	D101-02	D101-03	D102-01	D102-02	D103-01	D103-02	D104-01	D104-02	D105-01	D105-02	D105-03	D201-01	D201-02	D202-01	D202-02	D203-01	D203-02	D204-01	D204-02	D205-01
Width	3,050	4,190	3,050	3,000	3,425	3,100	2,410	4,000	4,000	3,000	3,700	3,400	3,050	3,050	4,000	4,000	3,100	3,425	2,410	3,100	4,000
Height	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700
2D Symbol																					
View from Reveal Side																					

GLAZING SCHEDULE																					
ID Number	D205-02	D206-01	D206-02	D301-01	D301-02	D301-03	D301-04	D302-01	D302-02	D303-01	D303-02	D304-01	D304-02	D305-01	D305-02	D401-01	D401-02	D401-03	D401-04	D402-01	D402-02
Width	4,000	2,250	3,700	3,050	3,050	4,000	4,000	3,100	3,425	2,410	3,100	4,000	4,000	3,700	2,250	3,050	3,050	4,000	4,000	2,850	3,425
Height	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700
2D Symbol																					
View from Reveal Side																					

GLAZING SCHEDULE																					
ID Number	D403-01	D403-02	D403-03	D403-04	D404-01	D404-02	D501-01	D501-02	D501-03	D501-04	D502-01	D502-02	D503-01	D503-02	D503-03	D503-04	D504-01	D504-02	D601-01	D601-02	D601-03
Width	3,300	3,100	4,000	4,000	2,250	3,700	3,050	3,050	4,000	4,000	2,850	3,425	3,300	3,100	4,000	4,000	2,434	4,990	3,050	3,050	4,000
Height	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700
2D Symbol																					
View from Reveal Side																					

GLAZING SCHEDULE																				
ID Number	D601-04	D602-01	D602-02	D603-01	D603-02	D603-03	D603-04	D604-01	D604-02	D701-01	D701-02	D701-03	D701-04	D701-05	D702-01	D702-02	D702-03	D702-04	D702-05	DG01
Width	4,000	2,850	3,425	3,300	3,100	4,000	4,000	2,433	4,990	6,550	4,000	4,000	3,425	2,850	3,150	3,240	3,000	4,000	6,000	900
Height	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,100
2D Symbol																				
View from Reveal Side																				

DEVELOPMENT APPLICATION - RFI

GLAZING SCHEDULE																					
ID Number	DG02	W102-01	W102-02	W105-01	W200-01	W201-01	W203-01	W206-01	W206-02	W300-01	W302-01	W302-02	W305-01	W305-02	W400-01	W402-01	W402-02	W404-01	W404-02	W500-01	W502-01
Width	1,800	1,441	1,441	1,440	1,467	1,441	1,441	1,440	1,440	1,467	1,441	1,441	1,440	1,440	1,467	1,441	1,441	1,440	1,440	1,467	1,441
Height	2,550	2,700	2,700	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050	3,050
2D Symbol																					
View from Reveal Side																					

GLAZING SCHEDULE												
ID Number	W502-02	W504-01	W600-01	W602-01	W602-02	W604-01	W700-01	W701-01	W701-02	W702-01	W702-02	WG02
Width	1,441	1,440	1,467	1,441	1,441	1,440	1,467	1,441	1,441	1,441	1,200	651
Height	3,050	3,050	3,050	3,050	3,050	3,050	2,700	3,050	2,700	2,700	2,700	2,550
2D Symbol												
View from Reveal Side												

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**PV 20/04/21 – 120 PARRY STREET AND 16 HALL STREET,
NEWCASTLE WEST – DA2020/00322 – DEMOLITION (EXISTING
BUILDINGS) AND MIXED-USE DEVELOPMENT (EIGHT STOREY) -
INCLUDING RESIDENTIAL (30 APARTMENTS) AND
GROUND FLOOR RETAIL / BUSINESS**

ITEM-2 **Attachment B:** Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER



PROCESS CHRONOLOGY

DA2020/00322 – 120 Parry Street & 16 Hall Street Newcastle West

7 April 2020	Application lodged and outstanding information requested (amended application form)
May 2020	Additional information requested
15 May 2020	Public notification (first round)
27 May 2020	Urban Design Consultative Group meeting
September 2020	Additional information received
14 September 2020	Additional information requested
Sept-Oct 2020	Additional information received
2 November 2020	Additional information requested
27 November 2020	Additional information received
4 December 2020	Outstanding information received (amended application form)
8 December 2020	Amended information received
15 December 2020	Amended information received (current amended proposal)
25 January 2021	Public notification of current amended proposal (second round)